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Tuesday, September 12, 2023 6:00 PM

BERKELEY CITY COUNCIL MEETING

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702 TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY 94708

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI
DISTRICT 2 – TERRY TAPLIN
DISTRICT 3 – BEN BARTLETT
DISTRICT 7 – RIGEL ROBINSON
DISTRICT 4 – KATE HARRISON
DISTRICT 8 – MARK HUMBERT

This meeting will be conducted in a hybrid model with both in-person attendance and virtual participation. For inperson attendees, face coverings or masks that cover both the nose and the mouth are encouraged. If you are feeling sick, please do not attend the meeting in person.

Live captioned broadcasts of Council Meetings are available on Cable B-TV (Channel 33) and via internet accessible video stream at http://berkeley.granicus.com/MediaPlayer.php?publish_id=1244.

Remote participation by the public is available through Zoom. To access the meeting remotely: Join from a PC, this Mac. iPad. iPhone. or Android device: Please use URL: https://citvofberkeleyinfo.zoomgov.com/j/1606796328. If you do not wish for your name to appear on the screen, then use the drop down menu and click on "rename" to rename yourself to be anonymous. To request to speak, use the "raise hand" icon by rolling over the bottom of the screen. To join by phone: Dial 1-669-254-5252 or 1-833-568-8864 (Toll Free) and enter Meeting ID: 160 679 6328. If you wish to comment during the public comment portion of the agenda, Press *9 and wait to be recognized by the Chair.

Please be mindful that the meeting will be recorded and all rules of procedure and decorum apply for in-person attendees and those participating by teleconference or videoconference.

To submit a written communication for the City Council's consideration and inclusion in the public record, email council@berkeleyca.gov.

This meeting will be conducted in accordance with the Brown Act, Government Code Section 54953 and applicable Executive Orders as issued by the Governor that are currently in effect. Any member of the public may attend this meeting. Questions regarding this matter may be addressed to Mark Numainville, City Clerk, (510) 981-6900. The City Council may take action related to any subject listed on the Agenda. Meetings will adjourn at 11:00 p.m. - any items outstanding at that time will be carried over to a date/time to be specified.

Preliminary Matters

Roll Call:

Land Acknowledgement Statement: The City of Berkeley recognizes that the community we live in was built on the territory of xučyun (Huchiun (Hooch-yoon)), the ancestral and unceded land of the Chochenyo (Cho-chen-yo)-speaking Ohlone (Oh-low-nee) people, the ancestors and descendants of the sovereign Verona Band of Alameda County. This land was and continues to be of great importance to all of the Ohlone Tribes and descendants of the Verona Band. As we begin our meeting tonight, we acknowledge and honor the original inhabitants of Berkeley, the documented 5,000-year history of a vibrant community at the West Berkeley Shellmound, and the Ohlone people who continue to reside in the East Bay. We recognize that Berkeley's residents have and continue to benefit from the use and occupation of this unceded stolen land since the City of Berkeley's incorporation in 1878. As stewards of the laws regulating the City of Berkeley, it is not only vital that we recognize the history of this land, but also recognize that the Ohlone people are present members of Berkeley and other East Bay communities today. The City of Berkeley will continue to build relationships with the Lisjan Tribe and to create meaningful actions that uphold the intention of this land acknowledgement.

Ceremonial Matters: In addition to those items listed on the agenda, the Mayor may add additional ceremonial matters.

1. Pledge of Allegiance to the Flag

City Manager Comments: The City Manager may make announcements or provide information to the City Council in the form of an oral report. The Council will not take action on such items but may request the City Manager place a report on a future agenda for discussion.

Public Comment on Non-Agenda Matters: Persons will be selected to address matters not on the Council agenda. If five or fewer persons wish to speak, each person selected will be allotted two minutes each. If more than five persons wish to speak, up to ten persons will be selected to address matters not on the Council agenda and each person selected will be allotted one minute each. Persons attending the meeting in-person and wishing to address the Council on matters not on the Council agenda during the initial ten-minute period for such comment, must submit a speaker card to the City Clerk in person at the meeting location and prior to commencement of that meeting. The remainder of the speakers wishing to address the Council on non-agenda items will be heard at the end of the agenda.

Public Comment by Employee Unions (first regular meeting of the month): This period of public comment is reserved for officially designated representatives of City of Berkeley employee unions, with five minutes allocated per union if representatives of three or fewer unions wish to speak and up to three minutes per union if representatives of four or more unions wish to speak.

Consent Calendar

The Council will first determine whether to move items on the agenda for "Action" or "Information" to the "Consent Calendar", or move "Consent Calendar" items to "Action." Three members of the City Council must agree to pull an item from the Consent Calendar or Information Calendar for it to move to Action. Items that remain on the "Consent Calendar" are voted on in one motion as a group. "Information" items are not discussed or acted upon at the Council meeting unless they are moved to "Action" or "Consent".

No additional items can be moved onto the Consent Calendar once public comment has commenced. At any time during, or immediately after, public comment on Information and Consent items, any Councilmember may move any Information or Consent item to "Action." Following this, the Council will vote on the items remaining on the Consent Calendar in one motion.

For items moved to the Action Calendar from the Consent Calendar or Information Calendar, persons who spoke on the item during the Consent Calendar public comment period may speak again at the time the matter is taken up during the Action Calendar.

Public Comment on Consent Calendar and Information Items Only: The Council will take public comment on any items that are either on the amended Consent Calendar or the Information Calendar. Speakers will be entitled to two minutes each to speak in opposition to or support of Consent Calendar and Information Items. A speaker may only speak once during the period for public comment on Consent Calendar and Information items.

Additional information regarding public comment by City of Berkeley employees and interns: Employees and interns of the City of Berkeley, although not required, are encouraged to identify themselves as such, the department in which they work and state whether they are speaking as an individual or in their official capacity when addressing the Council in open session or workshops.

Recess Items

1. Contract: Downtown Berkeley YMCA for Fitness Center Memberships for City Employees

From: City Manager

Recommendation: Adopt a Resolution ratifying the action taken by the City Manager during recess to execute a contract and any amendments with the Downtown Berkeley YMCA in the amount of \$130,176 for fitness center memberships for City employees for the period July 1, 2023 through June 30, 2024.

Financial Implications: See report

Contact: Sharon Friedrichsen, Budget Manager, (510) 981-7000

2. Contract No. 32200058 Amendment: ACI Payments, Inc for Recreation Online Registration System Credit Card Transaction Processing Fees From: City Manager

Recommendation: Adopt a Resolution ratifying the action taken by the City Manager to execute an amendment to Contract No. 32200058 with ACI Payments, Inc (ACI) increasing the contract amount by \$35,000 for a total not to exceed amount of \$185,000.

Financial Implications: See report

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

3. Stipend for Echo Lake Camp Staff

From: City Manager

Recommendation: Adopt a Resolution approving up to a \$500/week stipend for certain Echo Lake Camp daily-rated staff working in the summer of 2023, starting July 30, 2023.

Financial Implications: See report

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

Recess Items

4. Contract No. 100692-4 Amendment: Serological Research Institute for DNA

Testing Services From: City Manager

Recommendation: Adopt a Resolution ratifying the action taken by the City Manager during recess to amend Contract No. 100692-4 and any necessary future amendments with Serological Research Institute (SERI) for the Police Department, increasing the contract amount by \$1,000,000 for a total not to exceed amount of \$3,000,000 while the contract expiration will remain June 30, 2025.

Financial Implications: State Proposition 172 Fund - \$1,000,000

Contact: Jennifer Louis, Police, (510) 981-5900

Consent Calendar

5. Minutes for Approval

From: City Manager

Recommendation: Approve the minutes for the Council meetings of July 10 (special closed), July 11 (regular), July 18 (special), July 24 (special closed and special) and July 25 (special and regular).

Financial Implications: None

Contact: Mark Numainville, City Clerk, (510) 981-6900

6. Establish 2024 City Council Meeting Schedule

From: City Manager

Recommendation: Adopt a Resolution establishing the City Council regular meeting

schedule for 2024, with starting times of 6:00 p.m.

Financial Implications: None

Contact: Mark Numainville, City Clerk, (510) 981-6900

7. Police Accountability Board – Appointment of New Member

From: City Manager

Recommendation: Adopt a Resolution appointing a new member to the Police

Accountability Board nominated by Councilmember Humbert.

Financial Implications: None

Contact: Mark Numainville, City Clerk, (510) 981-6900

8. Contract: NetFile for Online Campaign Report, Public Financing, and Form 700

Filing and Tracking From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract with Westcoast Online Information Systems, Inc. dba NetFile for an amount not to exceed \$170,700 for the period October 1, 2023 through September 30, 2028 for online campaign report, public financing, and Form 700 filing, processing, web posting, and tracking.

Financial Implications: General Fund - \$170,700 Contact: Mark Numainville. City Clerk. (510) 981-6900

9. Formal Bid Solicitations and Request for Proposals Scheduled for Possible Issuance After Council Approval on September 12, 2023

From: City Manager

Recommendation: Approve the request for proposals or invitation for bids (attached to staff report) that will be, or are planned to be, issued upon final approval by the requesting department or division. All contracts over the City Manager's threshold will be returned to Council for final approval.

Financial Implications: Varous Funds - \$9,990,000 Contact: Henry Oyekanmi, Finance, (510) 981-7300

10. Contract: Swifthawk LLC for Project Management & Consulting

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract and any amendments with Swifthawk, LLC to provide project management and consulting services for the Fire Department from August 7, 2023 to August 31, 2025 in an amount not to exceed \$600,000.

Financial Implications: Measure FF Fund - \$600,000

Contact: David Sprague, Fire, (510) 981-3473

11. Contract No. 32300094 Amendment: Restoration Family Counseling Center for Counseling, Education and Support

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32300094 for Counseling, Education and Support for the Fire Department (Department); with Restoration Family Counseling Center Inc. (RFCC), increasing the total contract amount from \$80,000 to \$308,000.

Financial Implications: Various Funds - \$228,000 Contact: David Sprague, Fire, (510) 981-3473

12. Accept Future of Public Health Funds from the State of California

From: City Manager

Recommendation: Adopt a Resolution authorizing the City manager to submit grant agreements to the State of California, to accept the grants, and to execute any resultant revenue agreements and amendments for the Future of Public Health program for an amount of \$912,213 for each of the following: Fiscal Year 2024, Fiscal Year 2025, and Fiscal Year 2026.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

13. Taxi Scrip Redemption Window Cash Drawer Increase

From: City Manager

Recommendation: Adopt a Resolution authorizing City Manager or her designee to increase the cash drawer amount for the weekly Taxi Scrip Redemption window from \$15,000 to \$20,000.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

14. Contract: The Housing Workshop for Social Housing Models & Market Analysis From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract and any amendments with The Housing Workshop to provide policy model research and market analysis to inform social housing initiatives for the Department of Health, Housing, and Community Services (HHCS) from September 13, 2023 to September 13, 2024 in an amount not to exceed \$175,000.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

15. Expenditure Contract: Persimmony International for Electronic Medi-Cal Administrative Activities and Targeted Case Management Documentation From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to execute an expenditure agreement, and any amendments or extensions, with Persimmony International for ongoing system maintenance of web-based Medi-Cal Administrative Activities (MAA) time study documentation, and Targeted Case Management (TCM) documentation. The contract will be in an encumbered amount of \$289,011 for the period July 1, 2023 through June 30, 2027.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

16. Contract No. 31900009 Amendment: Building Opportunities for Self-Sufficiency (BOSS) for McKinley House (2111 McKinley Avenue, Berkeley, CA 94703) From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to execute an amendment to Contract No. 31900009 with Building Opportunities for Self-Sufficiency (BOSS) through November 1, 2025, adding \$287,712 for a total contract amount of \$945,424, to fund Mental Health clients living at 2111 McKinley Avenue in Berkeley. This will extend the contract by two years.

Financial Implications: See report.

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

17. Contract: Sensis, Inc. for Recruitment and Marketing Services From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract with Sensis, Inc. for recruitment and marketing services, in an amount not to exceed \$250,000 over two years: \$125,000 in the first year, with an option to renew for a second year for an additional \$125,000.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

18. Establish Classification and Salary Range – Lactation Counselor From: City Manager

Recommendation: Adopt a Resolution establishing the unrepresented classification of Lactation Counselor with an hourly salary range of \$41.1351 - \$50.0000, and an annual salary range of \$85,561.0080 - \$104,000.00, in order to utilize grant funding to employ an International Board Certified Lactation Consultant (IBCLC) who will oversee the City's Breastfeeding Peer Counselor Program and provide additional public health services to the City of Berkeley community.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

19. Revise Classification and Salary Range – Paramedic

From: City Manager

Recommendation: Adopt a Resolution revising the classification of Paramedic to an hourly salary range of \$30.00-\$40.00 per hour (currently \$30.00-\$45.00 per hour) to offset unanticipated budgetary impacts due to overtime. This recommendation and proposed Resolution follow Council consideration of this item in Closed Session on July 24, 2023.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

20. Memorandum of Understanding: Berkeley Police Association From: City Manager

Recommendation: Adopt a Resolution 1) approving a successor Memorandum of Understanding (hereafter referred to as "MOU") with the Berkeley Police Association (hereafter referred to as the "Union") for a three-year term from July 1, 2023 through June 30, 2026 and authorizing the City Manager to execute and implement the terms and conditions of employment set forth in the new MOU and to make non-substantive edits to the format and language of the MOU in alignment with the tentative agreement, and conforming to legal requirements; and 2) approving a new Classification and Salary table for Representation Units E and F that implement the salary adjustments reflected in the new MOU and supersede Resolution No. 69,965,-N.S. The terms of the proposed 2023-2026 MOU are within the parameters of authority approved by Council in closed session. The proposals were ratified by the Union following a three-day vote that concluded on August 14, 2023.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

21. Grant Applications: Bipartisan Infrastructure Law (BIL) and State Funds For Six City Infrastructure Improvement Projects

From: City Manager

Recommendation: Adopt six Resolutions authorizing the City Manager or her designee to submit grant applications to six federal (BIL) and state-funded competitive grant programs for City Infrastructure improvement projects; accept any grants; execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the projects and appropriation of funding for related expenses, subject to securing the grants.

Financial Implications: See report

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

22. Utility Easement: Bolivar Drive – East Bay Municipal Utility District From: City Manager

Recommendation: Adopt first reading of an Ordinance authorizing and directing the City Manager to convey a utility easement to the East Bay Municipal Utility District along Bolivar Drive at Aquatic Park.

Financial Implications: None

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

23. Serving inclement weather needs, RV dwellers, and other vehicle dwellers through the Encampment Mobile Mental Health Wellness Team, as is feasible, within parameters of the state-approved project plan

From: Homeless Services Panel of Experts

Recommendation: That Council refer to staff to include providing services to meet inclement weather needs of the unhoused and provide services to RV, and other vehicle, dwellers, as is feasible, within the parameters of the state-approved plan.

Financial Implications: See report

Contact: Josh Jacobs, Commission Secretary, (510) 981-5400

24. Authorization for an Additional Homeless Services Panel of Experts meeting in October 2023

From: Homeless Services Panel of Experts

Recommendation: Adopt a Resolution authorizing one additional meeting of the Homeless Services Panel of Experts in October 2023, which would restore one general meeting given that 3 special meetings were otherwise used to address Measure P allocations.

Financial Implications: See report

Contact: Josh Jacobs, Commission Secretary, (510) 981-5400

25a. Accommodating Client Literacy and Cognitive Challenges in Community Agency Allocation Funding Process as to Homeless Providers

From: Homeless Services Panel of Experts

Recommendation: That Council refer to staff to include in the community agency allocation funding RFP a question to homeless services providers as to how homeless services providers plan to accommodate clients with literacy and cognitive challenges.

Financial Implications: See report

Contact: Josh Jacobs, Commission Secretary, (510) 981-5400

25b. Companion Report: Accommodating Client Literacy and Cognitive Challenges in Community Agency Allocation Funding Process as to Homeless Providers From: City Manager

Recommendation: Take no action on the Homeless Services Panel of Experts' recommendation, as staff have already included in the community agency allocation funding Request for Proposals (RFP) a question to homeless services providers as to how they plan to accommodate clients with literacy and cognitive challenges.

Financial Implications: See report

Contact: Peter Radu, City Manager's Office, (510) 981-7000

Council Consent Items

26. Appoint Ayanna Davis to the Berkeley Housing Authority Board

From: Mayor Arreguin (Author)

Recommendation: Adopt a Resolution appointing Ayanna Davis to serve on the

Berkeley Housing Authority Board of Commissioners for a four-year term.

Financial Implications: None

Contact: Jesse Arreguin, Mayor, (510) 981-7100

27. **Excused Absence for Councilmember Kate Harrison**

From: Mayor Arreguin (Author)

Recommendation: Excuse Councilmember Kate Harrison from the September 19. 2023 Council meeting as a result of attending to official business of the City.

Financial Implications: None

Contact: Jesse Arreguin, Mayor, (510) 981-7100

28. Letter to State Legislators Regarding San Pablo Park Pool Project

From: Councilmember Taplin (Author), Councilmember Robinson (Co-

Sponsor)

Recommendation: Send a letter to the requesting state budget allocations for capital improvements at San Pablo Park including the Frances Albrier Community Center and San Pablo Park Pool.

Financial Implications: Staff time

Contact: Terry Taplin, Councilmember, District 2, (510) 981-7120

Council Consent Items

29. 51B BRT + University/Shattuck Corridor Mobility Improvements (Reviewed by the Facilities, Infrastructure, Transportation, Environment & Sustainability Committee)

From: Councilmember Taplin (Author), Councilmember Robinson (Co-Sponsor), Councilmember Humbert (Co-Sponsor)
Recommendation:

- 1. Refer to the City Manager commencement of a feasibility analysis and community engagement process to develop options for the implementation of Bus Rapid Transit (BRT) improvements along AC Transit's 51B route; options are to be developed in tandem with internal city departments, including Public Works, Fire, Police Traffic Unit, and Economic Development, and interagency partners, including AC Transit, the Alameda County Transportation Commission, BART, Caltrans, UC Berkeley, and WETA; community engagement is to emphasize students, transportation advocates, transit riders, the disability rights community, the faith community, the senior community, local merchants, the business community, the arts community, and tenants; consultation with AC Transit and UC Berkeley Bear Transit on planning, scoping, and implementation is to begin as soon as possible; staff are encouraged to explore and pursue quick build improvements.
- 2. Refer \$150,000 to the FY 2024-2025 budget process to increase the budget for the city's ADA Transition Plan capital project to prioritize and implement ADA improvements at the city's intersections, such as curb cuts, auditory functions of crossing signals, bulb-outs, shortening crossing distances, and other safety improvements.
- 3. Refer \$150,000 to the FY 2025-2026 budget process for consulting costs to conduct corridor studies along University Avenue, from Seawall Drive, to Oxford Street, and along Oxford Street and Fulton Street, from Virginia Street to Durant Avenue, to identify appropriate road safety improvements that advance city-adopted safety, transportation, and climate goals and are continuous with work currently underway on the Addison Bicycle Boulevard, and explore improvements for curb management, i.e. accessible parking (blue curbs), management of curb space for third party delivery service, etc.

Policy Committee Recommendation: To forward the item to Council with a positive recommendation.

Financial Implications: See report

Contact: Terry Taplin, Councilmember, District 2, (510) 981-7120

Council Consent Items

30. Budget Referral: Refer \$100,000 to the FY 23 and FY 24 AAO #1 to beautify Vacant Storefronts in Berkeley Commercial Districts

From: Councilmember Harrison (Author)

Recommendation: Refer \$100,000 to the FY 23 and FY 24 AAO #1 to help fund art or district branding vinyl window graphics on vacant storefronts in Berkeley Commercial Districts to beautify our Commercial Districts. The fund would be administered by the Downtown Berkeley Association on behalf of all Commercial Districts, and would reimburse property owners for 50% of the entire cost of the project: 1. Artist fee; 2. Costs associated with non-commercial printed material that is ideally non-plastic (may be vinyl if no alternative exists); 3. Installation of non-commercial window graphics

Financial Implications: See report

Contact: Kate Harrison, Councilmember, District 4, (510) 981-7140

31. Budget Referral: Miyawaki "Pocket Forest" Pilot Program to Support Carbon Sequestration, Biodiversity, Cooling, Noise Reduction, Health, and Equity From: Councilmember Hahn (Author), Councilmember Taplin (Co-Sponsor) Recommendation: Refer to the November 2023 Budget Process \$140,000 to fund staffing, materials, and consultants for a Miyawaki Pocket Forest Pilot Project, including the planting of two pocket forests on City of Berkeley sites, preferably in areas most impacted by poor air quality, and a report to Council on opportunities and funding for a broader Citywide Miyawaki Forest program. Should November 2023 funding not be available, refer to subsequent budget processes for consideration.

Financial Implications: See report

Contact: Sophie Hahn, Councilmember, District 5, (510) 981-7150

Action Calendar

The public may comment on each item listed on the agenda for action as the item is taken up. For items moved to the Action Calendar from the Consent Calendar or Information Calendar, persons who spoke on the item during the Consent Calendar public comment period may speak again at the time the matter is taken up during the Action Calendar.

The Presiding Officer will request that persons wishing to speak line up at the podium, or use the "raise hand" function in Zoom, to determine the number of persons interested in speaking at that time. Up to ten (10) speakers may speak for two minutes. If there are more than ten persons interested in speaking, the Presiding Officer may limit the public comment for all speakers to one minute per speaker. Speakers are permitted to yield their time to one other speaker, however no one speaker shall have more than four minutes. The Presiding Officer may, with the consent of persons representing both sides of an issue, allocate a block of time to each side to present their issue.

Action items may be reordered at the discretion of the Chair with the consent of Council.

Council Action Items

32. Designating Open Space Adjacent to and in Front of Old Berkeley City Hall as a Linear City Park Pursuant to BMC 6.42

From: Councilmember Harrison (Author)

Recommendation: Adopt a resolution designating open space in front of Old City Hall as linear City park space and formally dedicate this site for permanent

recreational use pursuant to BMC 6.42.

Financial Implications: See report

Contact: Kate Harrison, Councilmember, District 4, (510) 981-7140

Information Reports

33. LPO NOD: 60 Panoramic Way, #LMIN2023-0001

From: City Manager

Contact: Jordan Klein, Planning and Development, (510) 981-7400

34. LPO NOD: 1960 San Antonio Avenue/645 Arlington Avenue, #LMSAP2022-0005

From: City Manager

Contact: Jordan Klein, Planning and Development, (510) 981-7400

35. LPO NOD: 803 Delaware Street, LMSAP2023-0002

From: City Manager

Contact: Jordan Klein, Planning and Development, (510) 981-7400

Public Comment - Items Not Listed on the Agenda

Adjournment

NOTICE CONCERNING YOUR LEGAL RIGHTS: If you object to a decision by the City Council to approve or deny a use permit or variance for a project the following requirements and restrictions apply:

1) No lawsuit challenging a City decision to deny (Code Civ. Proc. §1094.6(b)) or approve (Gov. Code 65009(c)(5)) a use permit or variance may be filed more than 90 days after the date the Notice of Decision of the action of the City Council is mailed. Any lawsuit not filed within that 90-day period will be barred. 2) In any lawsuit that may be filed against a City Council decision to approve or deny a use permit or variance, the issues and evidence will be limited to those raised by you or someone else, orally or in writing, at a public hearing or prior to the close of the last public hearing on the project.

Archived indexed video streams are available at:
https://berkeleyca.gov/your-government/city-council/city-council-agendas.

Channel 33 rebroadcasts the following Wednesday at 9:00 a.m. and Sunday at 9:00 a.m.

Communications to the City Council are public record and will become part of the City's electronic records, which are accessible through the City's website. Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to the City Council, will become part of the public record. If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service to the City Clerk Department at 2180 Milvia Street. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the City Clerk Department for further information.

Any writings or documents provided to a majority of the City Council regarding any item on this agenda will be made available for public inspection at the public counter at the City Clerk Department located on the first floor of City Hall located at 2180 Milvia Street as well as posted on the City's website at https://berkeleyca.gov/.

Agendas and agenda reports may be accessed via the Internet at: https://berkeleyca.gov/your-government/city-council/city-council-agendas and may be read at reference desks at the following locations:

City Clerk Department - 2180 Milvia Street, First Floor Tel: 510-981-6900, TDD: 510-981-6903, Fax: 510-981-6901 Email: clerk@berkeleyca.gov

Libraries: Main – 2090 Kittredge Street,
Claremont Branch – 2940 Benvenue, West Branch – 1125 University,
North Branch – 1170 The Alameda, Tarea Hall Pittman South Branch – 1901 Russell

COMMUNICATION ACCESS INFORMATION:

This meeting is being held in a wheelchair accessible location.

To request a disability-related accommodation(s) to participate in the meeting, including auxiliary aids or services, please contact the Disability Services specialist at (510) 981-6418 (V) or (510) 981-6347 (TDD) at least three business days before the meeting date.

Attendees at public meetings are reminded that other attendees may be sensitive to various scents, whether natural or manufactured, in products and materials. Please help the City respect these needs.



Captioning services are provided at the meeting, on B-TV, and on the Internet. In addition, assisted listening devices for the hearing impaired are available from the City Clerk prior to the meeting, and are to be returned before the end of the meeting.

I hereby certify that the agenda for this meeting of the Berkeley City Council was posted at the display case located near the walkway in front of the Maudelle Shirek Building, 2134 Martin Luther King Jr. Way, as well as on the City's website, on August 31, 2023.

Mark Numainville, City Clerk

Mark Morning

Communications

Council rules limit action on Communications to referral to the City Manager and/or Boards and Commissions for investigation and/or recommendations. All communications submitted to Council are public record. Copies of individual communications are available for viewing at the City Clerk Department and through Records Online.

Item #29: 51 BRT + University/Shattuck Corridor Mobility Improvements

- 1. Bike East Bay
- 2. Raul Maldonado

Berkeley Crime

- 3. Anthony Felli, Regional Vice President, Skates on the Bay (2)
- 4. Nina Lyons
- 5. Pamela Michaud
- 6. Benjamin Stein
- 7. Peter Radu
- 8. Colleen McCann
- 9. Mike Kim
- 10. Nina Lyons
- 11. Diana Rossi
- 12. Peter Horsemann
- 13. Linda Laskowski
- 14. Teresa Clarke
- 15. Melissa Little
- 16. Rebecca Thomas
- 17. Ryan Kidd
- 18. Joshua Bloom
- 19. Shok Saidmuradov
- 20. Shannon Holloway
- 21. Peter Hosemann

Automated License Plate Readers (ALPR)

- 22. Emily Benner
- 23. Laura Lake Gediman
- 24. Alex Merenkov
- 25. Rosemarie Klems
- 26. Katie Johnson
- 27. Isaac Dietz
- 28. Mary S.
- 29. Rosa Perez

Daylight Strawberry Creek/Civic Center Park

- 30. Jessica Hall
- 31. Juliet Lamont and Phil Price
- 32. Diana Bohn
- 33. Jennifer Ware
- 34. Stacie Degeneffe
- 35. Summer Brenner

BART Transit Oriented Development and Parking

- 36. John Hitchen
- 37. Barbara Flasher
- 38. Michai Freeman
- 39. Markus Feyh
- 40. Chris Watters
- 41. Mikayla Fussman

- 42. Nat Kane
- 43. Peter Waller
- 44. Christine Goldin
- 45. Marija Hillis
- 46. Peggy Scott

2720 Hillegass/Willard Clubhouse

- 47. Julie Obbard
- 48. Alex Stec

Housing

- 49. Aimee Baldwin (3)
- 50. Meryl Siegal

Reforest Berkeley

- 51. Glenn Alex
- 52. Ruby Lee
- 53. Mike Vandeman

Shellmound

54. Sophia DeWitt, on behalf of East Bay Housing Organizations

Fukushima

- 55. Richard Tamm
- 56. Francine Cavaliere
- 57. Dawn DelMonte (2)
- 58. Sally Nelson
- 59. Bjorn Fox
- 60. Nori Hudson
- 61. Jose Arau
- 62. Juli Dickey
- 63. Jose Franklin Arau

3050 College Avenue

64. Janet Miller (2)

Help Shape the Library's Strategic Plan

65. Aimee Reeder

Lawrence Hall Neighborhood Issues

66. Emily Starr

Berkeley's Business Districts

67. Jack Kurzweil

Racial Injustices

68. Aimee Baldwin

Public Works Transportation Division

69. Hamid Mostowfi, Transportation and Infrastructure Commission Co-Secretary

Bio Labs

70. Steve Shmanske

71. Sandina Robbins

People's Park

72. Tobey Wiebe

73. Rod Gutierrez

Here/There Now Fence

74. Mike Kim

75. Nicole Sullivan

Berkeley Police Department Investigation

76. Diana Bohn

77. Mary Behm-Steinberg

78. Janie Schroeder (2)

79. Tobey Wiebe

80. Nathan Mizell

Fire Danger

81. Susan Nunes

82. Councilmember Hahn

Cell Antennas

83. Stephanie Thomas

84. Constance Anderson

85. Phoebe Thomas Sorgen

Encampment at 8th & Harrison

86. Yesica Prado (3)

87. Peter Radu, Neighborhood Services, City Manager's Office

Appoint Police Chief Louis

88. Marvin Snow

Secondhand Smoke

89. Carol Denney

90. Rebecca Day-Rodriguez, on behalf of Health, Housing & Community Services

Mortgage Relief Program

91 Carole Marasovic

Rental Inspection Program Proposal

92. Christopher La Combe

Virginia/Oxford Intersection

93. Theo Posselt

Fire Inspection Bill

94. Jane Kitchel

Youth Representation on the Environmental and Climate Commission

95. Kristen Anderson

Roots Near Sidewalk and Curb

96. Barry Horwitz

New City Manager

97. Carol Denney

Battery Recycling

98. David Lerman

Conflict of Interest/Trying to Find Children

99. Lavell Young

Golden Gate Horse Racing

100. Jim Renella

Homelessness

101. Eric Friedman

102. Aimee Baldwin

Cub Scout Requirement

103. Jason Hertenstein

Ohlone Greenway

104. Howard Goldberg (2)

105. Cindi Goldberg

106. Lisa Chow

107. Mary Behm-Steinberg

108. Eric Cheng

New Apartments and Business'

109. Steven Schuyler

Star Alliance

110. Peter Bruce DuMont (2)

Oakland International Airport Public Review

111. Port of Oakland

Fire Ready Fest

112. Berkeley Fire Department (2)

#DiscoveredinBerkeley - Squishy Robots

113. Liz Redman, on behalf of the Office of Economic Development

Current State of the City of Berkeley

114. Assal Sharifi

Jr. Jackets Football Support

115. Eric Friedman

Request for Action - Police Budget, Building Heights, etcetera's

116. Dan.auten@

URL's Only

117. Vivian Warkentin (8)

118. crustyrusty@riseup.net

Supplemental Communications and Reports

Items received by the deadlines for submission will be compiled and distributed as follows. If no items are received by the deadline, no supplemental packet will be compiled for said deadline.

Supplemental Communications and Reports 1

Available by 5:00 p.m. five days prior to the meeting.

Supplemental Communications and Reports 2

Available by 5:00 p.m. the day before the meeting.

Supplemental Communications and Reports 3

Available by 5:00 p.m. two days following the meeting.



RECESS ITEM
CONSENT CALENDAR
September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Sharon Friedrichsen, Budget Manager

Subject: Contract: Downtown Berkeley YMCA for Fitness Center Memberships

for City Employees

RECOMMENDATION

Adopt a Resolution ratifying the action taken by the City Manager during recess to execute a contract and any amendments with the Downtown Berkeley YMCA in the amount of \$130,176 for fitness center memberships for City employees for the period July 1, 2023 through June 30, 2024.

NEGATIVE EFFECT IF ACTION IS DELAYED UNTIL AFTER COUNCIL RECESS

This is an annual contract with Berkeley YMCA for fitness memberships for City employees as part of the City's labor contracts and is usually executed at the beginning of a new fiscal year. Waiting to execute the agreement until after the Council recess will delay the contract by three months, which means that the YMCA would not receive the City's contribution toward the cost of membership until late September or early October.

FISCAL IMPACTS OF RECOMMENDATION

The cost of the FY2024 contract is budgeted at \$130,176, which represents the City's monthly cost of membership (\$48) for 226 members for 12 months. The FY 2024 contract represents an increase of \$20,736 from the FY 2023 contract. The increase is due to the number of memberships increasing from 190 members to 226 members. Although the contract cost of \$130,176 for FY 2024 is based on 226 memberships, this amount is a flat fee for the duration of the fiscal year regardless of whether memberships increase or decrease during the fiscal year. The FY 2024 Budget includes funding for this contract in fringe benefit accounts in department budgets that is collected and paid out from the Payroll Deduction Trust Fund (Fund 013). The General Fund will cover approximately \$63,667 of the contract cost and the remaining \$66,509 will be covered by other funds.

CURRENT SITUATION AND ITS EFFECTS

The current agreement began on July 1, 2022 and ends on June 30, 2023. A new contract is needed for FY 2024, which will continue the memberships for City employees at a low cost.

Contract: Downtown Berkeley YMCA for Fitness Center Memberships for City Employees

RECESS ITEM CONSENT CALENDAR September 12, 2023

BACKGROUND

Since 1989, the City has had an agreement with the YMCA to provide low cost fitness memberships for City employees and officials.

The City's labor contracts require the City to pay 75% of the total membership cost and employees pay the remaining 25% of the cost. Beginning on July 1, 2022, the full membership cost was \$64 per month, which meant the City's share was \$48 per month and the employee's share was \$16 per month. For FY 2024, the membership cost will remain at \$64 per month.

This benefit is included in all of the collective bargaining agreements and would terminate at the same time as the longest union contract containing the benefit. The City would need to hold meet and confer sessions with the unions if it wishes to eliminate this benefit.

The Downtown Berkeley YMCA contract is a Strategic Plan Priority, advancing our goal to attract and retain a talented and diverse City government workforce.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental or climate impacts or opportunities associated with the subject of this report.

RATIONALE FOR RECOMMENDATION

City contracts for personal services over \$50,000 require authorization from the City Council before the City Manager can execute the contract. Moreover, executing the agreement with the YMCA complies with the adopted collective bargaining agreements.

<u>ALTERNATIVE ACTIONS CONSIDERED</u>

None

CONTACT PERSON

Sharon Friedrichsen, Budget Manager, 981-7000 Aram Kouyoumdjian, Director of Human Resources, 981-6800

Attachments:

1: Resolution

RESOLUTION NO. ##,###-N.S.

CONTRACT: DOWNTOWN BERKELEY YMCA FOR LOW COST FITNESS CENTER MEMBERSHIPS FOR CITY EMPLOYEES

WHEREAS, the City has had an agreement with the Downtown Berkeley YMCA to provide low cost fitness memberships for City employees and legislative assistants; and

WHEREAS, the City's labor contracts require the City to pay 75 percent of the total membership cost; and

WHEREAS, the current agreement began on July 1, 2022 and ends on June 30, 2023 and a new contract is proposed for FY 2024; and

WHEREAS, the FY 2024 Budget includes funding for this contract in fringe benefit accounts in department budgets that is collected and paid out from the Payroll Deduction Trust Fund (Fund 013).

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the Council ratifies the action taken by the City Manager to execute a contract and any amendments with the Downtown Berkeley YMCA for low cost fitness center memberships for City of Berkeley employees and legislative assistants for the period July 1, 2023 to June 30, 2024 in the amount not to exceed \$130,176. A record signature copy of said contract and any amendments shall be on file in the Office of the City Clerk.



RECESS ITEM CONSENT CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Scott Ferris, Director, Parks Recreation & Waterfront

Subject: Contract No. 32200058 Amendment: ACI Payments, Inc for

Recreation Online Registration System Credit Card Transaction

Processing Fees

RECOMMENDATION

Adopt a Resolution ratifying the action taken by the City Manager to execute an amendment to Contract No. 32200058 with ACI Payments, Inc (ACI) increasing the contract amount by \$35,000 for a total not to exceed amount of \$185,000.

NEGATIVE EFFECT IF ACTION IS DELAYED UNTIL AFTER COUNCIL RECESS

The increased contract authority is needed to pay approximately \$35,000 of outstanding FY2022 ACI invoices. ACI will stop processing credit card payments to the City if the City does not pay these outstanding invoices.

FISCAL IMPACTS OF RECOMMENDATION

Funding in the amount of \$35,000 will come from Recreation program registration, facility reservation fees, and the permit center.

For Recreation program registration and reservation fees \$28,500 is available in the FY2024 General Fund (Fund 011) budget.

Funds for permit center fees \$6,500 is available in the FY2024 Permit Service Center (Fund 621) budget.

CURRENT SITUATION AND ITS EFFECTS

The City has an existing contract with ACI Payments, Inc (contract no. 32200058) to process credit card transactions. In 2019, the contract with ACI was amended to include online recreation registration credit card transaction processing services for the Recreation Division for a fee of 2.5% per transaction Resolution 68,770-N.S. The contract authority must be increased by \$35,000 in order to cover the latest round of processing fees incurred in FY2022 for this summer's registrations.

Contract No.322200058 Amendment: ACI Payments, Inc.

Consent Calendar September 12, 2023

BACKGROUND

The City's Recreation Division manages facility reservations, program scheduling, activity registrations, scholarships, contract instructors, coaches, teams, leagues, equipment, supplies, inventory, staff scheduling, marketing, advertising and payment for all of the aforementioned programs. In the past, these functions were performed using a combination of manual and automated systems, including BlueRec, a hosted recreation software solution, EZCamp2, an off-the-shelf camp registration software; and ERMA, the City's financial database.

On December 21, 2018, the City entered into a new contract (no. 31900042) with CivicPlus, Inc. for an improved recreation registration system based upon a business analysis completed by the Department of Parks, Recreation and Waterfront in partnership with the Department of Information Technology. This new system required integration with a third-party payment processor to process online credit card transactions. The City had an existing contract with ACI Payments, Inc (contract no. 32200058) to process credit card transactions. On February 26, 2019, the ACI contract was amended to include credit card transaction processing services for the Recreation Division for a fee of 2.5% per transaction Resolution 68,770-N.S. This fee was less than what the Recreation Division had been paying through other processors. The ACI contract amendment was for an amount not to exceed \$150,000, for the period of March 1, 2019 through February 28, 2022, with an option to extend for up to two additional years. In June 2021, the contract was extended to September 1, 2022 and in August 2022, the contract was extended to September 1, 2023.

ENVIRONMENTAL SUSTAINABILITY

An improved Recreation Division online registration system with greater efficiency and lower credit card processing fees provides community members and City staff a more effective and responsive interface with better customer service, saving both time and resources. The lower credit card transaction fee will encourage citizens to sign-up for classes online thus reducing the use of paper and transportation.

RATIONALE FOR RECOMMENDATION

Staff recommend amending the ACI Payments, Inc. contract so that payment processing services are not interrupted.

<u>ALTERNATIVE ACTIONS CONSIDERED</u>

None

CONTACT PERSON

Scott Ferris, Director, Parks Recreation and Waterfront, (510) 981-6711

Attachment:

1: Resolution

RESOLUTION NO.#####-N.S.

AMENDMENT TO CONTRACT NO. 32200058 WITH ACI PAYMENTS, INC FOR RECREATION ONLINE REGISTRATION SYSTEM CREDIT CARD TRANSACTION PROCESSING FEES

WHEREAS, the City of Berkeley desired to procure a payment processor corporation to process online credit card transactions for registration for camps, recreational programs and reservations for facilities at various locations; and

WHEREAS, on December 21, 2018, the City of Berkeley entered into a new contract with CivicPlus,Inc. for online recreation registration services, requiring integration with a third-party credit card transaction payment processor; and

WHEREAS, the City had an existing contract with ACI Payments, Inc (ACI) to process credit card transactions for all City systems for a fee of 2.5%, which is lower than other vendors; and

WHEREAS, contract No. 32200058 with ACI was amended for credit card payment processing and related services, for an amount not to exceed \$150,000 for the period beginning March 1, 2019 to February 28,2022, with an option to extend for up to two (2) additional years by Resolution 68,770-N.S; and

WHEREAS, on June 8, 2021, the contract was extended to September 1, 2022; and on August 15, 2022, the contract was extended to September 1, 2023; and

WHEREAS, funding in the amount of \$35,000 for this contract amendment is available in the FY 2024 budget in the General Fund (Fund 011) and the Permit Services Center Fund (Fund 621).

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the Council ratifies the action taken by the City Manager to execute a contract amendment to Contract 32200058 with ACI Payments, Inc increasing the contract amount by \$35,000 for a total amended not to exceed amount of \$185,000. A record signature copy of any amendments to be on file in the Office of the City Clerk.



RECESS ITEM
CONSENT CALENDAR
September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Scott Ferris, Director of Parks, Recreation & Waterfront

Subject: Stipend for Echo Lake Camp Staff

RECOMMENDATION

Adopt a Resolution approving up to a \$500/week stipend for certain Echo Lake Camp daily-rated staff working in the summer of 2023, starting July 30, 2023.

FISCAL IMPACTS OF RECOMMENDATION

The proposed stipends of up to \$500/week are estimated to cost the Camps Fund \$29,500, (see Table 1). Funding for this is available in the Camps Fund reserve (Fund 125) and will be included in the FY24 second annual appropriations ordinance.

Week	# Daily-Rated Staff	Stipend	Total
Week of July 30 th	30	\$500	\$15,000
Week of August 6th	16	\$500	\$8,000
Week of August 13th	13	\$500	\$6,500
			\$29,500

CURRENT SITUATION AND ITS EFFECTS

Starting in late July 2023, the City began experiencing critical staffing shortages at Echo Lake Youth Camp. These shortages were due to a combination of personnel issues related to a staff of largely first-time camp employees that were less familiar with the challenges and demands of camp. Typically, it takes between 40 and 50 daily-rated camp staff to operate a full Echo Lake Youth Camp. By late July, these employee numbers fell to 30.

To ensure the continued safe and appropriate supervision of camp, the City had to bring additional Recreation staff to Camp. These staff were hourly, rather than daily-rated. Typically, camp staff daily-rated employees work 6 days per week, between 4 and 12 hours a day. Their daily rate includes compensation for food, lodging, and wages. When hourly staff are working at camp, they are paid for overtime that daily rated employees do not receive. The average gap between hourly and daily rated employees over this period was approximately \$500/week because as staff numbers reduced, remaining

RECESS ITEM CONSENT CALENDAR September 12, 2023

staff needed to work longer hours. To compensate for this imbalance, staff proposes paying up to a \$500/week stipend to the daily-rated staff who worked during this three-week period as Camp Staff Members, Camp Staff Leaders and Camp Staff Supervisors.

This practice is not standard and for instance, did not occur at Tuolumne Camp this summer. Staff will make the needed changes in recruitment and training to ensure that this does not happen again.

BACKGROUND

The City operates Tuolumne Camp and Echo Lake Camp by using daily-rated employees in multiple classifications. Typically, the City hires over 100 daily-rated employees each summer to staff both camps.

These employees are funded out of the Camps Fund, a self-supporting fund with revenues from camp fees expected to cover Tuolumne, Echo Lake, Cazadero and Berkeley Day Camp costs.

Pursuant to <u>California Labor Code Section 1182.4</u> and <u>State of California Wage Order MW-2023</u>, California law provides organized camps special labor rules allowing wages of camp staffers for each day worked rather than by the hour. Under those same laws, the City may claim a state wage credit for the value of the meals and lodging provided for each staff member to calculate the Current Wage Range (Daily Rate).

Because Tuolumne Camp and Echo Lake Camp are both located outside of the City of Berkeley, wages are determined by following State of California regulations, including the State of California Wage Order, which is updated periodically. The City of Berkeley periodically updates their Salary Schedule to reflect any minimum wage updates (Last updated 2019, Resolution No. 69,078-N.S).

In February 2023, Council approved wage increases to daily-rated camp staff classifications, (Resolution No. 70,703-N.S.).

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects or opportunities associated with the subject of this report.

RATIONALE FOR RECOMMENDATION

These up to \$500/week stipends are needed to correct the imbalance in compensation between daily-rated and hourly staff working at Echo Lake Camp in the summer of 2023 starting July 30, 2023.

ALTERNATIVE ACTIONS CONSIDERED

None

CONTACT PERSON

Scott Ferris, Director of Parks, Recreation & Waterfront (510) 981-6711 Christina Erickson, Deputy Director of Parks, Recreation & Waterfront (510) 981-6703 Stipend for Echo Lake Camp Staff

RECESS ITEM CONSENT CALENDAR September 12, 2023

Attachments:

1. Resolution

Page 3 Page 29

RECESS ITEM CONSENT CALENDAR September 12, 2023

ATTACHMENT 1

RESOLUTION NO. xx-xxx - N.S.

AUTHORIZING STIPENDS FOR CERTAIN ECHO LAKE CAMP DAILY-RATED STAFF WORKING IN THE SUMMER OF 2023 STARTING JULY 30, 2023

WHEREAS, The City operates Tuolumne Camp and Echo Lake Camp by hiring dailyrated employees in multiple classifications, and typically, the City hires over 100 dailyrated employees each summer to staff both camps; and

WHEREAS, starting in late July 2023, the City began experiencing critical staffing shortages at Echo Lake Camp, and because as staff numbers reduced, remaining staff needed to work longer hours; and

WHEREAS, to ensure the continued safe and appropriate supervision of camp, the City brought in additional hourly Recreation staff, whose compensation was on average \$500/week higher than daily-rated Camp staff; and

WHEREAS, to compensate for this imbalance, an up to \$500/week stipend is proposed for the daily-rated staff (Camp Staff Members, Camp Staff Leaders and Camp Staff Supervisors) at Echo Lake Camp starting July 30, 2023.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is authorized to issue stipends of up to \$500/week to the Camp Staff Members, Camp Staff Leaders and Camp Staff Supervisors working at Echo Lake Camp in the summer of 2023, starting July 30, 2023.



RECESS ITEM
CONSENT CALENDAR
September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Jennifer Louis, Chief, Police Department

Subject: Contract No. 100692-4 Amendment: Serological Research Institute for DNA

Testing Services

RECOMMENDATION

Adopt a Resolution ratifying the action taken by the City Manager during recess to amend Contract No. 100692-4 and any necessary future amendments with Serological Research Institute (SERI) for the Police Department, increasing the contract amount by \$1,000,000 for a total not to exceed amount of \$3,000,000 while the contract expiration will remain June 30, 2025.

NEGATIVE EFFECT IF ACTION IS DELAYED UNTIL AFTER COUNCIL RECESS

The Police Department utilizes this contractor to test DNA evidence involved in crimes against the community. Without this contract, the Police Department would not be able to have critical DNA evidence processed in an expeditious manner to support the arrest and charging of suspects in various violent criminal cases.

FISCAL IMPACTS OF RECOMMENDATION

Approval supports an ongoing operational expense required for solving criminal cases in a timely manner. The funding for this contract is allocated from the State Proposition 172 Fund and does not impact the General Fund.

CURRENT SITUATION AND ITS EFFECTS

The Berkeley Police Department (BPD) currently contracts with the Serological Research Institute (SERI) for its forensic deoxyribonucleic acid (DNA) testing services. On January 31, 2023, the BPD received unanimous Council approval for a \$500,000 amendment to this contract and that additional allocation has been nearly exhausted. In order to support additional casework, the Department will need approval of an additional \$1,000,000 to the existing contract limits set when this contract was amended in January of 2023. This dollar increase will allow the Department to continue to test DNA for criminal investigations. This enables the potential identification of a suspect based on DNA found at a crime scene and may result in the suspect being arrested and charged faster.

Contract No. 100692-4 Amendment: Serological Research Institute for DNA Testing Services Consent CALENDAR September 12, 2023

Due to the unpredictable nature of the contract usage, the BPD has expended nearly \$500,000 since the January 2023 amendment and has less than \$5,000 remaining of the \$2,000,000 contract. It can be difficult to estimate the dollar amount required annually as it can change significantly from year to year based on the DNA collected and volume required to be tested. One unanticipated impact to this contract was when the Alameda County Crime Lab was enlisted to test 60 of the cold-case sexual assault grant related evidence. The County Lab was only able to process 5 of the 60 cases submitted to them and returned the 55 remaining cases back to the Berkeley Police Department untested. Those 55 cases have been submitted to SERI and approximately \$126,000 of the contract usage is related to these cold-case tests. The Berkeley Police Department has submitted the related cold-case testing charges to the California Department of Justice for reimbursement but it still results in a reduction of available contract funding for the SERI contract. In order to continue processing DNA evidence to substantiate charges against suspects, the BPD is requesting this contract amendment of an additional \$1,000,000 and a contract total not to exceed \$3,000,000.

This essential contract supports our goal to create a resilient, safe, connected, and prepared city and BPD considers it as a Strategic Plan Priority Project.

BACKGROUND

In 2014, the Department entered into a service contract with SERI to obtain their forensic DNA services. SERI was added when two other providers, the Alameda County Sheriff's Crime Laboratory and Forensic Analytical Sciences, Inc. were unable to keep up with increased caseload from the Berkeley Police Department. SERI is accredited through the American Society of Crime Laboratories Directors/Laboratory Accreditation Board. SERI is located in Richmond, CA and provides state of the art forensic services, laboratory analysis and expert testimony for its clients.

While maintaining compliance with the Federal Bureau of Investigations, Quality Assurance Standards for Forensic DNA Testing, SERI has consistently provided the fastest case turnaround times of our three contracted vendors. SERI has helped minimize DNA testing backlogs the department was experiencing with other vendors. Fast DNA testing turnaround times help the department identify serious violent offenders and helps solve criminal cases faster. SERI was originally intended to be an additional DNA Laboratory. However, due to the high level of service provided, they have become our primary provider. During this time, the investigative demand for their services has increased based on several factors including improved DNA recovery techniques and new legislative requirements.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

Serological Research Institute provides and maintains an extensive online test request submission and product ordering options. These online forms reduce the amount of paper required to forward and process requests.

Contract No. 100692-4 Amendment: Serological Research Institute for DNA Testing Services Consent CALENDAR September 12, 2023

RATIONALE FOR RECOMMENDATION

The cost associated with DNA testing services is an operational expense for which the Berkeley Police Department is currently responsible. In an effort to solve criminal cases as fast as practical and potentially limit further victimization, the BPD continues to utilize these services. An amendment to increase funds for this contract will allow the Department to continue to meet the DNA testing requirements of its investigations.

ALTERNATIVE ACTIONS CONSIDERED

Stop the use of this contract and allow DNA testing to be submitted to the county crime laboratory which has extensive testing backlogs and limited availability to accept additional casework. This option would result in violent criminal cases to remain unsolved and unprosecuted.

CONTACT PERSON

Jennifer Louis, Chief of Police, 510-981-5700

Attachment:

1: Resolution

RESOLUTION NO. ##,###-N.S.

CONTRACT NO. 100692-4 AMENDMENT: SEROLOGICAL RESEARCH INSTITUTE FOR DNA TESTING SERVICES

WHEREAS, the Berkeley Police Department is responsible for the investigation of criminal cases in Berkeley; and

WHEREAS, closure of criminal investigations will bring relief to the families of the victims and reduce fear in the community; and

WHEREAS, the use of forensic deoxyribonucleic acid (DNA) testing is essential to solving violent crimes; and

WHEREAS, the Department primarily enlists the services of Serological Research Institute for the timely processing of DNA testing; and

WHEREAS, it is essential to have an accredited laboratory in order to ensure the consistent processing of DNA evidence; and

WHEREAS, the Berkeley Police Department has identified DNA testing services as an operational expense for which the Department is responsible and funds from the State Proposition 172 Fund will be the primary source of funding.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the Council ratifies the action taken by the City Manager to amend Contract No. 100692-4 and any necessary future amendments with Serological Research Institute (SERI) for the Police Department, increasing the contract amount by \$1,000,000 for a total not to exceed amount of \$3,000,000 while the contract expiration will remain June 30, 2025.



Office of the City Manager

CONSENT CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Mark Numainville, City Clerk

Subject: Minutes for Approval

RECOMMENDATION

Approve the minutes for the Council meetings of July 10 (special closed), July 11 (regular), July 18 (special), July 24 (special closed and special) and July 25 (special and regular).

CONTACT PERSON

Mark Numainville, City Clerk, 981-6900

Attachments:

- 1. July 10, 2023 Special Closed Council Meeting
- 2. July 11, 2023 Regular Council Meeting
- 3. July 18, 2023 Special Council Meeting
- 4. July 24, 2023 Special Closed Council Meeting
- 5. July 24, 2023 Special Council Meeting
- 6. July 25, 2023 Special Council Meeting
- 7. July 25, 2023 Regular Council Meeting

MINUTES SPECIAL MEETING OF THE BERKELEY CITY COUNCIL

MONDAY, JULY 10, 2023 4:30 P.M.

REDWOOD ROOM – 2180 MILVIA STREET, BERKELEY, CA 94704
TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY, CA 94708

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI

DISTRICT 5 – SOPHIE HAHN

DISTRICT 2 – TERRY TAPLIN

DISTRICT 6 – SUSAN WENGRAF

DISTRICT 7 – RIGEL ROBINSON

DISTRICT 4 – KATE HARRISON

DISTRICT 8 – MARK HUMBERT

This meeting will be conducted in a hybrid model with both in-person attendance and virtual participation. For in-person attendees, face coverings or masks that cover both the nose and the mouth are encouraged. If you are feeling sick, please do not attend the meeting in person.

Remote participation by the public is available through Zoom. To access the meeting remotely: Join from a PC, Mac, iPad, iPhone, or Android device: Please use this URL: https://cityofberkeley-info.zoomgov.com/j/1618149511. If you do not wish for your name to appear on the screen, then use the drop down menu and click on "rename" to rename yourself to be anonymous. To request to speak, use the "raise hand" icon by rolling over the bottom of the screen. To join by phone: Dial 1-669-254-5252 or 1-833-568-8864 (Toll Free) and enter Meeting ID: 161 814 9511. If you wish to comment during the public comment portion of the agenda, Press *9 and wait to be recognized by the Chair.

Please be mindful that the meeting will be recorded and all rules of procedure and decorum apply for inperson attendees and those participating by teleconference or videoconference.

To submit a written communication for the City Council's consideration and inclusion in the public record, email council@cityofberkeley.info.

This meeting will be conducted in accordance with the Brown Act, Government Code Section 54953 and applicable Executive Orders as issued by the Governor that are currently in effect. Any member of the public may attend this meeting. Questions regarding this matter may be addressed to Mark Numainville, City Clerk, (510) 981-6900. The City Council may take action related to any subject listed on the Agenda.

Preliminary Matters

Roll Call: 4:59 p.m.

Present: Taplin, Harrison, Wengraf, Robinson, Arreguín

Absent: Kesarwani, Bartlett, Hahn, Humbert

Public Comment – Limited to items on this agenda only – 0 speakers.

CLOSED SESSION:

The City Council will convene in closed session to meet concerning the following:

- 1. CONFERENCE WITH LEGAL COUNSEL PENDING LITIGATION PURSUANT TO GOVERNMENT CODE SECTIONS 54956.9(a) and 54956.9(d)(1)
 - a. Smith v. City of Berkeley, Alameda County Superior Court Case No. 22CV012424

OPEN SESSION:

The City Council met in closed session to discuss the matter of Smith v. City of Berkeley, Alameda County Superior Court Case No. 22CV012424, and approved a settlement of that matter in the amount of \$240,000 in exchange for a release of all claims against the City.

Adjournment

Action: M/S/C (Arreguín/Robinson) to adjourn the meeting.

Vote: Ayes - Taplin, Harrison, Wengraf, Robinson, Arreguín; Noes - None; Abstain -

None: Absent – Kesarwani, Bartlett, Hahn, Humbert.

Adjourned at 5:03 p.m.

This is to certify that the foregoing is a true and correct record of the closed session meeting on July 10, 2023.

Sarah Bunting, Assistant City Clerk

Communications

None

Supplemental Communications and Reports 1

None

Supplemental Communications and Reports 2

None

Supplemental Communications and Reports 3

None

MINUTES BERKELEY CITY COUNCIL MEETING

Tuesday, July 11, 2023 6:00 PM

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702
TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY, CA 94708
TELECONFERENCE LOCATION - 18315 RAY'S ROAD, CABIN 5, PHILO, CA 95466

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI

DISTRICT 5 – SOPHIE HAHN

DISTRICT 2 – TERRY TAPLIN

DISTRICT 6 – SUSAN WENGRAF

DISTRICT 7 – RIGEL ROBINSON

DISTRICT 4 – KATE HARRISON

DISTRICT 8 – MARK HUMBERT

This meeting will be conducted in a hybrid model with both in-person attendance and virtual participation. For inperson attendees, face coverings or masks that cover both the nose and the mouth are encouraged. If you are feeling sick, please do not attend the meeting in person.

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Please be mindful that the meeting will be recorded and all rules of procedure and decorum apply for in-person attendees and those participating by teleconference or videoconference.

To submit a written communication for the City Council's consideration and inclusion in the public record, email council@berkeleyca.gov.

This meeting will be conducted in accordance with the Brown Act, Government Code Section 54953 and applicable Executive Orders as issued by the Governor that are currently in effect. Any member of the public may attend this meeting. Questions regarding this matter may be addressed to Mark Numainville, City Clerk, (510) 981-6900. The City Council may take action related to any subject listed on the Agenda. Meetings will adjourn at 11:00 p.m. - any items outstanding at that time will be carried over to a date/time to be specified.

Preliminary Matters

Roll Call: 6:17 p.m.

Present: Kesarwani, Taplin, Harrison, Hahn, Wengraf, Robinson, Humbert,

Arreguin

Absent: Bartlett

Councilmember Bartlett present at 6:21 p.m.

Land Acknowledgement Statement: The City of Berkeley recognizes that the community we live in was built on the territory of xučyun (Huchiun (Hooch-yoon)), the ancestral and unceded land of the Chochenyo (Cho-chen-yo)-speaking Ohlone (Oh-low-nee) people, the ancestors and descendants of the sovereign Verona Band of Alameda County. This land was and continues to be of great importance to all of the Ohlone Tribes and descendants of the Verona Band. As we begin our meeting tonight, we acknowledge and honor the original inhabitants of Berkeley, the documented 5,000-year history of a vibrant community at the West Berkeley Shellmound, and the Ohlone people who continue to reside in the East Bay. We recognize that Berkeley's residents have and continue to benefit from the use and occupation of this unceded stolen land since the City of Berkeley's incorporation in 1878. As stewards of the laws regulating the City of Berkeley, it is not only vital that we recognize the history of this land, but also recognize that the Ohlone people are present members of Berkeley and other East Bay communities today. The City of Berkeley will continue to build relationships with the Lisjan Tribe and to create meaningful actions that uphold the intention of this land acknowledgement.

Report from Closed Session

The City Council met in closed session on July 10, 2023, pursuant to Government Code Sections 54956.9(a) and 54956.9(d)(1) and approved a settlement in the matter of Smith v. City of Berkeley, Alameda County Superior Court Case No. 22CV012424, in the amount of \$240,000 in exchange for a release of all claims against the City.

Ceremonial Matters:

1. Adjourned in memory of Alan Goldfarb, former Berkeley City Councilmember

City Manager Comments: None

Public Comment on Non-Agenda Matters: 9 speakers.

Consent Calendar

Public Comment on Consent Calendar and Information Items Only: 49 speakers.

Action: M/S/C (Arrequin/Hahn) to adopt the Consent Calendar in one motion except as

indicated.

Vote: All Ayes.

1. FY 2024 Tax Rate: Fund Fire Protection and Emergency Response and Preparedness (Measure GG)

From: City Manager, City Manager

Recommendation: Adopt second reading of Ordinance No. 7,877-N.S. setting the FY 2024 tax rate for funding Fire Protection and Emergency Response and Preparedness in the City of Berkeley at the rate of \$0.06062 (6.062 cents) per square foot of improvements for dwelling units and setting the rate for all other property at \$0.09173 (9.173 cents) per square foot of improvements.

First Reading Vote: All Ayes. Financial Implications: See report

Contact: Henry Oyekanmi, Finance, (510) 981-7300, David Sprague, Fire, (510) 981-

3473

Action: Adopted second reading of Ordinance No. 7,877–N.S.

2. FY 2024 Special Tax Rate: Fund the Provision of Library Services From: City Manager, City Manager

Recommendation: Adopt second reading of Ordinance No. 7,878-N.S. setting the FY 2024 tax rate for funding the provision of Library Services in the City of Berkeley at \$0.2698 (26.98 cents) per square foot for dwelling units and \$0.4080 (40.80 cents) per square foot for industrial, commercial, and institutional buildings.

First Reading Vote: All Ayes. Financial Implications: See report

Contact: Henry Oyekanmi, Finance, (510) 981-7300, Tess Mayer, Library, (510) 981-

6100

Action: Adopted second reading of Ordinance No. 7,878–N.S.

3. FY 2024 Annual Appropriations Ordinance

From: City Manager

Recommendation: Adopt second reading of Ordinance No. 7,879-N.S. adopting the FY 2024 Annual Appropriations Ordinance (AAO) in the amount of \$728,631,293 (gross appropriations) and \$621,229,929 (net appropriations).

First Reading Vote: All Ayes.
Financial Implications: See report

Contact: Sharon Friedrichsen, Budget Manager, (510) 981-7000 **Action:** Adopted second reading of Ordinance No. 7,879–N.S.

4. Adopting a temporary exemption from the collection of taxes under BMC Chapter 9.04.136(D): Tax Rate for Non-Medical and Medical Cannabis Businesses

From: Councilmember Bartlett (Author), Mayor Arreguin (Co-Sponsor), Councilmember Harrison (Co-Sponsor), Councilmember Humbert (Co-Sponsor)

Recommendation: Adopt second reading of Ordinance No. 7,880-N.S. adopting a temporary exemption (per 9.04.136(D)) on the collection of the taxes for all non-medical and medical cannabis businesses, retroactive to January 2023 and ending July 2025; Waive any late penalties that may have accrued since January 2023; any and all tax payments already made to the City for Q1 2023 will apply as a credit against a future tax or fee payment to the City.

First Reding Vote: All Ayes.

Financial Implications: Loss of tax revenue

Contact: Ben Bartlett, Councilmember, District 3, (510) 981-7130 **Action:** Adopted second reading of Ordinance No. 7,880–N.S.

5. Encampment Resolution Funding Grant Award

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to receive a \$4,931,058 Encampment Resolution Funding Round 2 grant award from the State of California, and to enter into contract and all necessary amendments with the State of California resulting from this funding.

Financial Implications: See report

Contact: Peter Radu, City Manager's Office, (510) 981-7000

Action: Adopted Resolution No. 70,940–N.S.

6. Urgency Ordinance for Leasing the Real Property at 1619 University Avenue From: City Manager

Recommendation: Adopt an Urgency Ordinance to enter into a lease for the real property located at 1619 University Avenue, Berkeley for a term of 60 months.

Financial Implications: See report

Contact: Peter Radu, City Manager's Office, (510) 981-7000

Action: Adopted urgency Ordinance No. 7,881–N.S.

7. Contract: Insight Housing (formerly Berkeley Food and Housing Project) to operate interim housing at the Super 8

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract and all necessary amendments with Berkeley Food and Housing Project to operate an interim housing program at the Super 8 Motel (1619 University Ave.) in an amount not to exceed \$7,295,635 for the period of August 1, 2023 to July 31, 2028

Financial Implications: See report

Contact: Peter Radu, City Manager's Office, (510) 981-7000

Action: Adopted Resolution No. 70,941–N.S.

8. Formal Bid Solicitations and Request for Proposals Scheduled for Possible Issuance After Council Approval on July 11, 2023

From: City Manager

Recommendation: Approve the request for proposals or invitation for bids (attached to staff report) that will be, or are planned to be, issued upon final approval by the requesting department or division. All contracts over the City Manager's threshold will be returned to Council for final approval.

Financial Implications: Various Funds - \$482,500 Contact: Henry Oyekanmi, Finance, (510) 981-7300

Action: Approved recommendation.

9. Contract: Strategic Economics and Street Level Advisors for Affordable Housing Requirements Economic Feasibility Analysis

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to execute a contract and any amendments with Strategic Economics as a Contractor and Street Level Advisors as a subcontractor, to conduct an Economic Feasibility Analysis of the Affordable Housing Requirements for the Department of Health, Housing, and Community Services (HHCS) from July 15, 2023 to July 15, 2024 in an amount not to exceed \$150,000.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

Action: Adopted Resolution No. 70,942–N.S.

10. Contract No. 32300134 Amendment: Bonita House for Specialized Care Unit Provider

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to amend Contract No. 32300134 with Bonita House to add \$68,000 of Mental Health Services Act (MHSA) funding for the Specialized Care Unit for a not-to-exceed total of \$4,568,000.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

Action: Adopted Resolution No. 70,943–N.S.

11. Contract No. 321001100 Amendment: JotForm, Inc. for a HIPAA Compliant Platform to Support Clinical Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to execute an amendment to Contract No. 32100110 and any subsequent amendments or extensions with the JotForm, Inc. by adding \$53,424, bringing the contract total to an amount not to exceed \$109,218 and extending the end date through May 12, 2026.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

Action: Adopted Resolution No. 70,944–N.S.

12. California Department of Housing and Community Development (HCD) Prohousing Designation Program Application

From: City Manager

Recommendation: Adopt a Resolution authorizing the City of Berkeley's application to and participation in the California Department of Housing and Community Development (HCD) Prohousing Designation Program.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400

Action: Adopted Resolution No. 70,945–N.S.

13. Contract No. 32000226 Amendment: MidAmerica Administrative & Retirement Solutions, Third Party Administrator for SRIP I Disability, and Health Reimbursement Accounts for Retiree Health Premium Assistance Plan Reimbursements, and Police Employees Retiree Income Plan From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract amendment to Contract No. 32000226 with MidAmerica Administrative & Retirement Solutions for administration of the SRIP I Disability, Retiree Health Premium Assistance Plan (RHPAP) Health Reimbursement Account (HRA), and Police Employees Retiree Income Plans (PERIP) for the period covering January 1, 2021 through December 31, 2025, for a total cost not to exceed \$233,736.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

Action: Adopted Resolution No. 70,946–N.S.

14. Contract No. 32300158 Amendment: AppleOne Employment Services for Temporary Staffing Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32300158 with AppleOne Employment Services for temporary staffing services, to cover the period February 1, 2023 to June 30, 2025, for a total cost not to exceed \$750,000.

Financial Implications: Various Funds - \$750,000

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

Action: Adopted Resolution No. 70,947–N.S.

15. Revisions to the Unrepresented Employee Manual

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute changes to the Unrepresented Employee Manual that (1) effectuates merit raises for employees on salary ranges on their anniversary date in their current classification; (2) aligns vacation accrual, longevity pay rates, vacation sell-back policies, and a certification differential for the Fire Chief, the Police Chief, and their deputies with the corresponding provisions of the Memoranda of Understanding with the Berkeley Fire Fighters Association and the Berkeley Police Association; and (3) includes Accounting Office Specialists III among the classifications that qualify for the City Manager Department Differential.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

Action: Adopted Resolution No. 70,948–N.S.

16. Supplemental Military Leave Compensation Policy

From: City Manager

Recommendation: Adopt a Resolution extending Resolution No. 63,646-N.S. to offer the City's supplemental military leave compensation benefit retroactively from June 1, 2019 to June 30, 2025 to provide additional wages to supplement an employee's military pay and allowances for a period not to exceed two (2) years that must be taken within 36 months of the leave request for employees called up to involuntary active military service. To receive the retroactive payment the employee must have been employed with the City of Berkeley at the time of active duty and remained employed with the City of Berkeley at the time of payment.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

Action: Adopted Resolution No. 70.949–N.S.

17. Accepting grant funds from the Alameda County Transportation Commission for the Berkeley Pier Water Transportation / Ferry Project

From: City Manager

Recommendation: Adopt a Resolution accepting the Alameda County Transportation Commission grant allocation for the Berkeley Pier Water Transportation/ Ferry Project in the amount of \$5,138,685, confirming the City's commitment to the Alameda County Transportation Commission grant requirements, and authorizing the City Manager to execute the associated grant agreement and amendments.

Financial Implications: Grant Revenue - \$5,138,685

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

Action: Adopted Resolution No. 70,950–N.S.

18. Contract No. 32000188 Amendment: GSI Environmental Inc. for On-Call Environmental Consulting Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32000188 with GSI Environmental Inc. for on-call environmental consulting services to increase the contract amount by \$75,000 for a new not to exceed amount of \$225,000 and extend the contract term from December 20, 2023 to June 30, 2025.

Financial Implications: See report

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

Action: Adopted Resolution No. 70,951–N.S.

19. Contract No. 32300022 Amendment: Public Safety Family Counseling Group Inc. for Additional Critical Incident Stress Management (CISM), Education and Counseling Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32300022 with Public Safety Family Counseling Group Inc. to provide additional CISM Peer Support Team support, education and counselling services, for a total amount not to exceed \$150,000 for a total contract amount not to exceed \$200,000, and extending the term through June 30, 2026.

Financial Implications: See report

Contact: Jennifer Louis, Police, (510) 981-5900 **Action:** Adopted Resolution No. 70,952–N.S.

20. Conduct a Study on the City's History of Discriminatory Actions in Housing Policies/Programs

From: Housing Advisory Commission

Recommendation: Conduct a study that is comprehensive of the following actions: - Document the city of Berkeley's past discriminatory actions in housing policies and programs that adversely impacted the Black community and its ability to remain and grow in the city, build inter-generational wealth, and fully realize the benefits of homeownership; -Inform future housing policy and program development and implementation to address these historic discriminatory practices; and -Provide data and information about historic discriminatory housing policies and programs in support of the city's on-going reparations work. -Select community organization(s) as partners in the study to ensure a comprehensive community engagement process that documents lived experiences and local history so that lessons learned from those experiences can inform future housing policies and programs.

Financial Implications: See report

Contact: Mike Uberti, Commission Secretary, (510) 981-7400

Action: Approved recommendation and referred to the budget process (Annual Appropriations Ordinance No. 1) to identify funding for the cost of the study.

Council Consent Items

21. Berkeley Housing Authority Board of Commissioners Re-Appointments From: Mayor Arreguin (Author)

Recommendation: Adopt a Resolution re-appointing Alexandria Thomas-Rodriguez, Max Levine and Ali Kashani to the Berkeley Housing Authority Board of Commissioners.

Financial Implications: None

Contact: Jesse Arreguin, Mayor, (510) 981-7100 **Action:** Adopted Resolution No. 70,953–N.S.

22. Support Rooftop Solar and Battery Storage for Multifamily Housing and Schools

From: Mayor Arreguin (Author), Councilmember Hahn (Co-Sponsor)
Recommendation: Adopt a Resolution in support of viable Virtual Net Energy
Metering (VNEM) and Net Energy Metering Aggregation (NEM-A) tariffs. Submit a
copy of the Resolution to Governor Gavin Newsom, State Senator Nancy Skinner,
Assemblymember Buffy Wicks, and members of the California Public Utilities
Commission Board (CPUC).

Financial Implications: Staff time

Contact: Jesse Arreguin, Mayor, (510) 981-7100

Action: Councilmember Harrison added as a co-sponsor. Adopted Resolution No. 70,954–N.S.

23. Relinquishment of Council Office Budget Funds for Chavez/Huerta Tribute Site From: Mayor Arreguin (Author), Councilmember Hahn (Co-Sponsor)

Recommendation: Adopt a Resolution approving the expenditure of up to \$5,000 from Mayor Arreguín, and any other Councilmembers, to the Kala Art Institute, the fiscal sponsor for the Chavez/Huerta Tribute Site, with funds relinquished from the City's General Fund for the purpose of hiring of grounds keepers and providing the resources needed for the maintenance of the Chavez/Huerta Tribute Site, from the discretionary Council Office Budgets of Mayor Arreguín and any other Councilmembers who would like to contribute.

Financial Implications: \$5,000 – Mayor's Discretionary Fund

Contact: Jesse Arreguin, Mayor, (510) 981-7100

Action: Adopted Resolution No. 70,955–N.S. revised to include contributions from the following Councilmembers up to the amounts listed: Mayor Arreguin - \$5,000; Councilmember Wengraf - \$250; Councilmember Humbert - \$250; Councilmember Bartlett - \$250; Councilmember Robinson - \$150; Councilmember Taplin - \$250; Councilmember Hahn - \$200; Councilmember Kesarwani - \$100.

Council Consent Items

24. Excused Absence for Vice Mayor Ben Bartlett

From: Mayor Arreguin (Author)

Recommendation: Excuse Vice Mayor Ben Bartlett from the June 6, 2023 Council meeting as a result of an illness of a close family member who needed immediate care.

Financial Implications: None

Contact: Jesse Arreguin, Mayor, (510) 981-7100

Action: Approved recommendation.

\$150; Councilmember Hahn - \$500.

25. Berkeley Humane: Bark (& Meow) Around the Block: Relinquishment of Council Office Budget Funds from General Funds and Grant of Such Funds From: Councilmember Taplin (Author), Councilmember Hahn (Co-Sponsor), Councilmember Humbert (Co-Sponsor)

Recommendation: Adopt a Resolution approving the expenditure of council office budget funds, including \$500 from Councilmember Taplin, to support the Bark (& Meow) Around the Block adoption event hosted by Berkeley Humane, with funds relinquished to the City's general fund.

Financial Implications: \$500 – Councilmember's Discretionary Fund Contact: Terry Taplin, Councilmember, District 2, (510) 981-7120

Action: Councilmember Bartlett added as a co-sponsor. Adopted Resolution No. 70,956–N.S. revised to include contributions from the following Councilmembers up to the amounts listed: Councilmember Wengraf - \$250; Councilmember Humbert - \$250; Councilmember Bartlett - \$200; Councilmember Robinson - \$150; Councilmember Hahn - \$250; Councilmember Harrison - \$250.

26. Berkeley High School All Class Reunion: Relinquishment of Council Office Budget Funds from General Funds and Grant of Such Funds From: Councilmember Taplin (Author), Councilmember Hahn (Co-Sponsor) Recommendation: Adopt a Resolution approving the expenditure of council office budget funds, including \$500 from Councilmember Taplin, to support the Berkeley High School All Class Reunion Committee (BHS ACRC) by way of its fiscal sponsor, the Berkeley Public Schools Fund, with funds relinquished to the City's general fund. Financial Implications: \$500 – Councilmember's Discretionary Fund Contact: Terry Taplin, Councilmember, District 2, (510) 981-7120

Action: Adopted Resolution No. 70,957–N.S. revised to include contributions from the following Councilmembers up to the amounts listed: Councilmember Robinson -

Council Consent Items

27. Resolution for unionized employees of REI

From: Councilmember Bartlett (Author), Mayor Arreguin (Co-Sponsor), Councilmember Harrison (Co-Sponsor) Councilmember Kesarwani (Co-Sponsor)

Recommendation: Adopt a Resolution of Support for the unionized employees of Recreational Equipment, Inc. (REI) in Berkeley, California that instructs REI to live up to its values, by ceasing to withhold the 2022 "Summit Pay", and bargain in good faith.

Financial Implications: None

Contact: Ben Bartlett, Councilmember, District 3, (510) 981-7130

Action: Adopted Resolution No. 70,958–N.S.

28. Relinquishment of Council Office Budget Funds and Co-Sponsorship of the César Chávez Dolores Huerta Tribute Site Curriculum Project From: Councilmember Harrison (Author), Mayor Arreguin (Author),

Councilmember Harrison (Author), Mayor Arreguin (Author),

Councilmember Hahn (Co-Sponsor)

Recommendation: Adopt a resolution approving an expenditure of D13 funds and cosponsorship of the César Chávez/Dolores Huerta Tribute Site Curriculum Project, with \$250 relinquished to the City's general fund for this purpose each from Mayor Arreguín's and Councilmember Harrison's discretionary Council Office Budget Funds, and from any other Councilmembers who would like to contribute.

Financial Implications: \$250 – Councilmembers' Discretionary Fund Contact: Kate Harrison, Councilmember, District 4, (510) 981-7140

Action: Adopted Resolution No. 70,959–N.S. revised to include contributions from the following Councilmembers up to the amounts listed: Mayor Arreguin - \$250; Councilmember Harrison - \$250; Councilmember Wengraf - \$250; Councilmember Bartlett - \$200; Councilmember Robinson - \$150; Councilmember Taplin - \$250; Councilmember Hahn - \$200; Councilmember Kesarwani - \$100.

29. Resolution Opposing Tokyo Electric Power Company and the Government of Japan's Planned Discharge of Wastewater from Fukushima Daiichi Nuclear Power Plant into the Pacific Ocean

From: Councilmember Harrison (Author)

Recommendation: Adopt a Resolution opposing Tokyo Electric Power Company (TEPCO) and the government of Japan's plan to discharge wastewater from Fukushima Daiichi Nuclear Power Plant into the Pacific Ocean and send copies of this resolution to Secretary Blinken, Senator Dianne Feinstein, Senator Alex Padilla, and Representative Barbara Lee.

Financial Implications: Staff time

Contact: Kate Harrison, Councilmember, District 4, (510) 981-7140

Action: No action taken.

Vote: Ayes - Taplin, Bartlett, Harrison, Hahn; Noes - None; Abstain - Kesarwani,

Wengraf, Robinson, Humbert; Arreguin; Absent – None.

Recess 8:54 p.m. – 9:09 p.m.

Action Calendar – Public Hearings

30. Zoning Ordinance Amendments to Title 23 of the Berkeley Municipal Code to Conform to State Law, and Make Non-Substantive Technical Edits From: City Manager

Recommendation: Conduct a public hearing and, upon conclusion, adopt the first reading of an Ordinance amending the following sections of the Zoning Ordinance to match State law relating to special needs housing (including supportive and transitional housing, emergency shelter, navigation center), employment housing, and family day care, and to make technical edits, corrections and other non-substantive amendments:

- -23.202.020 Allowed Land Uses (Residential Districts)
- -23.202.110 R-4 Multi-Family Residential District
- -23.204.020 Allowed Land Uses (Commercial Districts)
- -23.204.040 Use Specific Regulations (Commercial Districts)
- -23.204.060 C-U University Commercial District
- -23.206.020 Allowed Land Uses and Permit Requirements (Manufacturing Districts)
- -23.206.040 Use Specific Regulations (Manufacturing Districts)
- -23.206.050 Protected Industrial Uses
- -23.206.080 MU-LI Mixed Use-Light Industrial District (Land Use Regulations)
- -23.302.070 Use-Specific Regulations (Supplemental Use Regulations)
- -23.304.030 Setbacks
- -23.304.040 Building Separation in Residential Districts
- -23.308.020 Applicability and Nonconformities (Emergency Shelters)
- -23.308.030 Standards for Emergency Shelters
- -23.324 Nonconforming Uses, Structures, and Buildings
- -23.324.010 Chapter Purpose
- -23.324.050 Nonconforming Structures and Buildings
- -23.502.020 Glossary

Financial Implications: None

Contact: Jordan Klein, Planning and Development, (510) 981-7400

Public Testimony: The Mayor opened the public hearing. 3 speakers.

M/S/C (Arreguin/Taplin) to close the public hearing.

Vote: All Aves.

Action: M/S/C (Arreguin/Robinson) to adopt first reading of Ordinance No. 7,882–

N.S. Second reading scheduled for July 25, 2023.

Vote: All Ayes.

Action Calendar - New Business

31. Staff Shortages: City Services Constrained by Staff Retention Challenges and Delayed Hiring

From: Auditor

Recommendation: We recommend City Council request that the City Manager report back by January 2024, and every six months thereafter, regarding the status of our audit recommendations until reported fully implemented. Some of our recommendations include: establish retention goals and conduct an analysis of staff needed for city operations and services; consider staff capacity around new legislation; take steps to improve employee satisfaction; identify opportunities for efficiency in the hiring process, and modernize its recruiting process; expand the telework policy to align with best practices; and regularly collect data on employee satisfaction and on diversity, equity, inclusion, and accessibility.

Financial Implications: See report

Contact: Jenny Wong, Auditor, (510) 981-6750

Action: 14 speakers. Supplemental material in Supplemental Communications Packet #2 from the City Auditor deemed received. M/S/C (Arreguin/Harrison) to approve the item.

Vote: All Ayes.

Action: M/S/Failed (Arreguin/Hahn) to suspend the rules and extend the meeting to 11:30 p.m.

Vote: Ayes – Bartlett, Harrison, Hahn, Robinson, Arreguin; Noes – Kesarwani, Taplin, Wengraf, Humbert; Abstain – None; Absent – None.

Action: M/S/Carried (Arreguin/Harrison) to suspend the rules and extend the meeting to 11:15 p.m.

Vote: All Ayes.

Action: M/S/Carried (Humbert/Arreguin) to suspend the rules and extend the meeting to 11:30 p.m.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Wengraf, Robinson, Humbert, Arreguin; Noes – None: Abstain – Harrison, Hahn; Absent – None.

32. Referral Response: Affordable Housing Preference Policy for Rental Housing Created Through the Below Market Rate and Housing Trust Fund Programs From: City Manager

Recommendation: Adopt a Resolution to create an Affordable Housing Preference Policy applicable to new residential housing units created via the Below Market-Rate (BMR) and the Housing Trust Fund (HTF) programs consistent with Fair Housing law and government funder approvals, and direct the City Manager to adopt guidelines to administer the Housing Preference Policy.

Financial Implications: See report.

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 **Action:** Moved to the Consent Calendar. Adopted Resolution No. 70,960–N.S.

Action Calendar - New Business

33. Adoption - Civic Center Phase II - Design Concept

From: City Manager

Recommendation: Adopt a Resolution approving Berkeley's Civic Center Design Concept Plan, and declaring Council's intention to support the preferred design concept and necessary future studies and projects articulated in the plan.

Financial Implications: See report.

Contact: Liam Garland, Public Works, (510) 981-6300

Action: M/S/C (Arreguin/Wengraf) to refer Item 33, including the revised material in Supplemental Communications Packet #1 from City Manager's Office, to the Agenda & Rules Committee for scheduling.

Vote: All Ayes.

Council Action Items

34. Dedicated Public Comment Time for City of Berkeley Unions
From: Councilmember Hahn (Author), Mayor Arreguin (Co-Sponsor)
Recommendation: Adopt a Resolution (Attachment 3 + Exhibits A and B to the report) revising the City Council Rules of Procedure and Order: Section IV. Conduct of the Meeting to:

- 1. Create a period of public comment reserved for officially designated representatives of City of Berkeley employee unions, immediately following the existing initial ten-minute period of public comment on non-agenda items.
- 2. Rescind Resolution No. 70,725-N.S.

Financial Implications: None

Contact: Sophie Hahn, Councilmember, District 5, (510) 981-7150

Action: 7 speakers. The material in Supplemental Communications Packet #2 from Councilmember Humbert was withdrawn by the author. M/S/C (Arreguin/Harrison) to adopt Resolution No. 70,961–N.S.

Vote: All Ayes.

Council Action Items

35. De-Prioritizing the enforcement of laws imposing criminal penalties for Entheogenic/Psychedelic plants and fungi for personal use (Reviewed by the Health, Life Enrichment, Equity, & Community Committee)

From: Health, Life Enrichment, Equity & Community Committee
Recommendation: Approve the Resolution presented and passed with a qualified positive recommendation at the June 12, 2023 meeting of the Health, Life Enrichment, Equity & Community Committee (Attachment 1), in lieu of the Resolutions provided in the originally referred item and by the Community Health Commission.

Policy Committee Recommendation: to send the item to Council with a qualified positive recommendation to approve the Resolution in the form and as amended by the committee. There is no "mark-up" of the CHC resolution because what the Committee decided to pass is a full rewrite.

Financial Implications: None

Contact: Sophie Hahn, Councilmember, District 5, (510) 981-7150, Ben Bartlett, Councilmember, District 3, (510) 981-7130, Mark Humbert, Councilmember, District 8, (510) 981-7180

Action: Moved to the Consent Calendar. Adopted Resolution No. 70,962–N.S. as recommended by the Health, Life Enrichment, Equity & Community Committee and revised in Supplemental Communications Packet #1 from Councilmember Hahn.

Information Reports

36. Annual Report on Landmarks Preservation Commission (LPC) Actions

From: Landmarks Preservation Commission

Contact: Fatema Crane, Commission Secretary, (510) 981-7400

Action: Received and filed.

37. City Auditor Fiscal Year 2024 Audit Plan

From: Auditor

Contact: Jenny Wong, Auditor, (510) 981-6750

Action: Received and filed.

Public Comment – Items Not Listed on the Agenda - 5 speakers.

Adjournment

Adjourned at 11:30 p.m.

I hereby certify that the forgoing is a true and correct record of the regular meeting held on July 11, 2023.

Rose Thomsen, Deputy City Clerk

Communications

Item #18: Staff Shortages: City Services Constrained by Staff Retention Challenges and Delayed Hiring

- 1. Steven Lipson
- 2. Councilmember Hahn

Item #29: Adoption - Civic Center Phase II - Design Concept

- 3. Jennifer Lovvron, Civic Arts Commission Secretary
- 4. Jack Kurzweil
- 5. Diana Bohn
- 6. Stephen Most
- 7. Juliet Lamont and Phil Price
- 8. Tom and Jane Kelly
- 9. Rachel Katz
- 10. Steven Finacom
- 11. Erin Biehm

Hopkins Corridor – Repave and/or Bike Lanes

- 12. Kester Allen
- 13. Janet Stromberg
- 14. David Brandon
- 15. Kathleen Haberer
- 16. Kevin Jones
- 17. David Socholitzky
- 18. Ernesto
- 19. Kori Kody
- 20. Jose Arau
- 21. Marguerite Lee
- 22. Trarie Kottkamp
- 23. Lily Liang
- 24. Verna Winters
- 25. Constance Anderson
- 26. Jeffrey Kaplan
- 27. Susan Taylor
- 28. Matthew Skinner
- 29. Theresa Malki
- 30. David Coolidge
- 31. Shirley Kirsten
- 32. Amber Crowley
- 33. Barbara Gilbert
- 34. Meryl Siegal
- 35. Jennifer Winch
- 36. Jeanne Allan
- 37. Barbara Englis
- 38. Peggy Radel
- 39. Marguerite Tompkins
- 40. Sheridan Pauker

- 41. Michael Frantz
- 42. Rachel Bradley
- 43. Isabelle Gaston
- 44. Jan Woo
- 45. Dahlia Armon
- 46. Jean Weininger
- 47. Renate Crocker
- 48. Paul Elmore
- 49. Jacqueline Wilson
- 50. Susan DeMersseman
- 51. Justin Kao
- 52. Dan Alpert
- 53. Katherine de Runtz
- 54. Catherine Ryan
- 55. Steven and Judy Lipson
- 56. Ernie Mansfield
- 57. Kay Englund
- 58. Helen Toy
- 59. Eric
- 60. Melanie O'Hare
- 61. Ilyse Gordis
- 62. Constance Rivemale
- 63. Janice Murota
- 64. Rachel Hope Crossman
- 65. Stephen Wood
- 66. Ann Campbell
- 67. Janice Hamer
- 68. Jeanne Friedman
- 69. Zara Ortiz
- 70. Gar Smith
- 71. Joan Garvin
- 72. Richard Tamm
- 73. Grace Munakata
- 74. George and Wendy Draper
- 75. Friends of Hopkins Street
- 76. John Hitchen
- 77. Jessica Livingston
- 78. Timothy Ross
- 79. Kim Markison
- 80. Fiona Baker
- 81. Margret Leventhal
- 82. Pamela Zelnik
- 83. Shirley Kirsten
- 84. Bruce Chamberlain
- 85. Soleil Taylor
- 86. Jonah Gollub

- 87. Shirley Kirsten
- 88. AJ Romano
- 89. Bill Hackman
- 90. Cindi And Howard Goldberg

Fire Department Consultant Report

- 91. Michael Wilson (2)
- 92. Liza Lutzker, on behalf of Walk Bike Berkeley
- 93. Stephen Dalton

Natural Gas Ban

94. John Caner, on behalf of the Downtown Berkeley Association

Horse Deaths

- 95. Nancy Veerhusenb
- 96. Christopher Kroll
- 97. Acacia Schmidt
- 98. TC Conrad

Celebrating Susan Felix

99. Toby Furash

Unhoused Toileting Letter

100. Friends of Five Creeks

Fully Fund African American Holistic Resource Center

101. Boona Cheema

Kudo's for the Fire Department

102. L.J. Cranmer

Rent Board Billing Errors

103. Morris

Healthy 4 Change Health Conference

104. Ayanna Davis, on behalf of Healthy Black Families

"Read Banned Books"

- 105. Todd Andrew
- 106. Aimee Reeder, on behalf of the Berkeley Public Library

1740 San Pablo Multifamily Housing Program

107. Rachel Durney, NorCal Development, BRIDGE

Overhead Utility Wires

108. Maria Riddle

Page 18

Automated License Plate Readers

109. Elana Auerbach

110. Diana Bohn

Surveillance Cameras

111. Toni Mester

City Dysfunction

112. Bob Flasher

St. Paul AME Church and Ephesian Church of God Applying for Funding

113. Norma Thompson, on behalf for Community Housing Development Corporation

Help Business' Get Off the Ground

114. Geoff Lomax

Fireworks in South Berkeley

115. Pamela Michaud (3)

116. Mike Kim

My Tenant's Rights Stolen by City of Berkeley

117. Deborah Black

Transphobia in Berkeley and Albany

118. Kirstyn Russell and Melissa Neal

Asking for Help from the Mayor and Council

119. Benjamin Stein

URL's Only

120. Vivian Warkentin (3)

Supplemental Communications and Reports 1

Item #4: Adopting a temporary exemption from the collection of taxes under BMC Chapter 9.04.136(D): Tax Rate for Non-Medical and Medical Cannabis Businesses

121. Fran Haselsteiner

122. John Rice

Item #29: Resolution Opposing Tokyo Electric Power Company and the Government of Japan's Planned Discharge of Wastewater from Fukushima Daiichi Nuclear Power Plant into the Pacific Ocean

123. Phoebe Anne Sorgen

124. Mico Malecki

Item #33: Adoption - Civic Center Phase II - Design Concept

125. Revised material, submitted by the Office of Economic Development

- 126. Mike Vanderman
- 127. Charlene Woodcock
- 128. Sally Hughes
- 129. Diana Bohn

Item #35: De-Prioritizing the enforcement of laws imposing criminal penalties for Entheogenic/Psychedelic plants and fungi for personal use

130. Supplemental material, submitted by Councilmember Hahn

Supplemental Communications and Reports 2

Item #29: Resolution Opposing Tokyo Electric Power Company and the Government of Japan's Planned Discharge of Wastewater from Fukushima Daiichi Nuclear Power Plant into the Pacific Ocean

- 131. Seaver Wang, on behalf of The Breakthrough Institute
- 132. Diane Bohn
- 133. Miya Sommers

Item #31: Staff Shortages: City Services Constrained by Staff Retention Challenges and Delayed Hiring

134. Supplemental material, submitted by the City Auditor

Item #32: Referral Response: Affordable Housing Preference Policy for Rental Housing Created Through the Below Market Rate and Housing Trust Fund Programs

135. Carole Marasovic

Item #33: Adoption - Civic Center Phase II - Design Concept

- 136. Chase Hommeyer
- 137. Michael Weber
- 138. Miranda Ewell
- 139. Ruth Morgan
- 140. Summer Brenner
- 141. Drew Goetting, on behalf of Restoration Design Group
- 142. Ann Harlow
- 143. Stefen
- 144. Sylvia Soriano
- 145. Mary Price
- 146. Irene Rice
- 147. Fredrica Drotos
- 148. Dick and Mariko Eastman
- 149. Carolyn Shoulders
- 150. Tom Miller
- 151. Sheila Himmel
- 152. Bernard Marszalek
- 153. Sally Nelson
- 154. Stephen Most
- 155. Margot Cunningham
- 156. Jennifer Ware
- 157. Kathleen Giustino

- 158. Toni Mester
- 159. Nancy Schimmel
- 160. Charles Enchill

Item #34: Dedicated Public Comment Time for City of Berkeley Unions

161. Supplemental material, submitted by Councilmember Humbert

Item #35: De-Prioritizing the enforcement of laws imposing criminal penalties for Entheogenic/Psychedelic plants and fungi for personal use

- 162. Camille MacDonald
- 163. Fran Haselsteiner
- 164. Clifton Ross
- 165. Karen Armstead

Supplemental Communications and Reports 3

Item #7: Contract: Insight Housing (formerly Berkeley Food and Housing Project) to operate interim housing at the Super 8

166. Steve Lipson

Item #28: Relinquishment of Council Office Budget Funds and Co-Sponsorship of the Cesar Chavez Dolores Huerta Tribute Site Curriculum Project

167. Beatriz Leyva-Cutler and Santiago Casal

Item #29: Resolution Opposing Tokyo Electric Power Company and the Government of Japan's Planned Discharge of Wastewater from Fukushima Daiichi Nuclear Power Plant into the Pacific Ocean

- 168. Tsukuru Fors
- 169. Phoebe Thomas Sorgen
- 170. David McGuire
- 171. Torrance Carroll
- 172. Bindu Desai
- 173. Eva Frye
- 174. Yuka Saito
- 175. Laura Feldman
- 176. Linda Roman
- 177. Liz Taylor
- 178. Jacqueline Cabasso, on behalf of Western States Legal Foundation
- 179. Eri Tomita
- 180. Heiko Hasegawa
- 181. Desiree McGill

Item #30: Zoning Ordinance Amendments to Title 23 of the Berkeley municipal Code to Conform to State Law, and Make Non-Substantive Technical Edits

182. Presentation, submitted by Planning and Development

Item #31: Staff Shortages: City Services Constrained by Staff Retention Challenges and Delayed Hiring

- 183. Presentation, submitted by the Auditor
- 184. Presentation, submitted by the City Manager

Item #32: Referral Response: Affordable Housing Preference Policy for Rental Housing Created Through the Below Market Rate and Housing Trust Fund Programs

185. Derethia DuVal

Item #33: Adoption - Civic Center Phase II - Design Concept

- 186. Linda Currie
- 187. Beth Lamont
- 188. Diane Ross-Leech
- 189. Kelly Hammargren
- 190. Tom Kelly
- 191. Kathleen Giustino
- 192. Erin Diehm
- 193. Andra Mitchell
- 194. Jack Kurzweil

Item #35: De-Prioritizing the enforcement of laws imposing criminal penalties for Entheogenic/Psychedelic plants and fungi for personal use

195. Isabelle Gaston

Miscellaneous Communications

196. Mr. Eid

MINUTES SPECIAL MEETING OF THE BERKELEY CITY COUNCIL

Tuesday, July 18, 2023 6:00 PM

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702 TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY 94708

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI

DISTRICT 5 – SOPHIE HAHN

DISTRICT 2 – TERRY TAPLIN

DISTRICT 6 – SUSAN WENGRAF

DISTRICT 7 – RIGEL ROBINSON

DISTRICT 4 – KATE HARRISON

DISTRICT 8 – MARK HUMBERT

This meeting will be conducted in a hybrid model with both in-person attendance and virtual participation. For inperson attendees, face coverings or masks that cover both the nose and the mouth are encouraged. If you are feeling sick, please do not attend the meeting in person.

Live captioned broadcasts of Council Meetings are available on Cable B-TV (Channel 33) and via internet accessible video stream at http://berkeley.granicus.com/MediaPlayer.php?publish_id=1244.

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Please be mindful that the meeting will be recorded and all rules of procedure and decorum apply for in-person attendees and those participating by teleconference or videoconference.

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This meeting will be conducted in accordance with the Brown Act, Government Code Section 54953 and applicable Executive Orders as issued by the Governor that are currently in effect. Any member of the public may attend this meeting. Questions regarding this matter may be addressed to Mark Numainville, City Clerk, (510) 981-6900. The City Council may take action related to any subject listed on the Agenda. Meetings will adjourn at 11:00 p.m. - any items outstanding at that time will be carried over to a date/time to be specified.

Preliminary Matters

Roll Call: 6:19 p.m.

Present: Taplin, Harrison, Hahn, Wengraf, Robinson, Humbert, Arreguin

Absent: Kesarwani, Bartlett

Councilmember Kesarwani present at 6:20 p.m.

Councilmember Bartlett present at 6:20 p.m.

Worksession

1. Ashby BART Station Transit-Oriented Development (TOD)

From: City Manager

Contact: Jordan Klein, Planning and Development, (510) 981-7400 **Action:** 32 speakers. Presentation made and discussion held.

2. City Policies for Managing Parking Around BART Stations (Continued from

November 29, 2022) From: City Manager

Contact: Liam Garland, Public Works, (510) 981-6300 **Action:** Presentation made and discussion held.

Adjournment

Action: M/S/C (Arreguin/Taplin) to adjourn the meeting.

Vote: Ayes - Kesarwani, Taplin, Bartlett, Harrison, Robinson, Humbert, Arreguin; Noes -

None; Abstain – None; Absent – Hahn, Wengraf.

Adjourned at 10:19 p.m.

I hereby certify that the forgoing is a true and correct record of the special meeting held on July 18, 2023.

Mark Numainville, City Clerk

Communications

None

Supplemental Communications and Reports 1

None

Supplemental Communications and Reports 2

Item #1: Ashby BART Station Transit-Oriented Development (TOD)

- 1. 9 similarly-worded form letters (heartening))
- 2. 16 similarly-worded form letters (substation)
- 3. Sarah Bell
- 4. Nicole Inaba
- 5. Becca Schonberg
- 6. Tawny Reynolds
- 7. Tom Vosburgh
- 8. Margaret Wotkyns
- 9. Anne Holmes
- 10. Noah Baker
- 11. Sherry Wang
- 12. Kathy Vaughn
- 13. Lee Bishop
- 14. Oren Cheyette
- 15. Phyllis Orrick

Item #2: City Policies for Managing Parking Around BART Stations

- 16. Bruce Brody
- 17. Jacki Bernier
- 18. Sandra Tarbet
- 19. Eric Cheng
- 20. Linda Press Wulf
- 21. Gerald Morrison
- 22. Richard Laden
- 23. Barbara Gilbert
- 24. Adlai Leiby
- 25. Roberta Spieckerman
- 26. Caroline and Sam Yunker
- 27. Cindy Shamban
- 28. Meryl Siegal
- 29. Richard Tamm
- 30. Leslie Valas

Supplemental Communications and Reports 3

Item #1: Ashby BART Station Transit-Oriented Development (TOD)

- 31. Presentation (Transit-Oriented Development), submitted by Planning and Development
- 32. Presentation (Transit-Oriented Development), submitted by BART
- 33. Jordan Klein, Director, Department of Planning & Development
- 34. Liz Exter
- 35. Kate Pocrass
- 36. Derek Sagehorn
- 37. Jack Kurzweil
- 38. Vishal Ganesan
- 39. Teresa Clarke
- 40. Peter Waller
- 41. Kitt Saginor

- 42. Kris Stangl
- 43. Abbie Turiansky
- 44. Ariella Granett
- 45. Serena Lim
- 46. Mike Wilson
- 47. Jenn Guitart
- 48. Todd Andrew
- 49. Michai Freeman
- 50. Joaquin Carbonell

Item #2: City Policies for Managing Parking Around BART Stations

- 51. Elizabeth Horowitz
- 52. Nicole Corsini
- 53. Tammy Stellanova
- 54. Tony Corman
- 55. Christine and David Goldin
- 56. Victoria Kahn
- 57. Phil Allen
- 58. Liz Exter
- 59. Helene Silverberg
- 60. Meryl Siegal
- 61. Laura Klein
- 62. Vicki Sommer (3)
- 63. Claudia Valas
- 64. Michael Lonergan
- 65. Igor Tregub
- 66. Councilmember Kesarwani
- 67. Cheryl Brewster
- 68. Janice Murota
- 69. David Brandon
- 70. S. Entsistle
- 71. Doris Nassiry

MINUTES BERKELEY CITY COUNCIL SPECIAL MEETING

MONDAY, JULY 24, 2023 3:00 P.M.

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702 TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY, CA 94708

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI

DISTRICT 5 – SOPHIE HAHN

DISTRICT 2 – TERRY TAPLIN

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DISTRICT 4 – KATE HARRISON

DISTRICT 8 – MARK HUMBERT

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Preliminary Matters

Roll Call: 3:10 p.m.

Present: Humbert, Robinson, Taplin, Wengraf, Arreguin

Absent: Bartlett, Hahn, Harrison, Kesarwani

Councilmember Hahn present at 3:14 p.m.

Councilmember Kesarwani present at 3:24 p.m.

Public Comment - Limited to items on this agenda only - None.

CLOSED SESSION:

The City Council will convene in closed session to meet concerning the following:

1. CONFERENCE WITH LEGAL COUNSEL—ANTICIPATED LITIGATION PRUSUANT TO GOVERNMENT CODE SECTION 54956.9(d)(2):

a. Workers Compensation Appeals Board Case Number: ADJ10187918

Action: M/S/C (Arreguin/Hahn) to provide direction to workers' compensation counsel and approve a settlement by Compromise and Release, as to workers' compensation matter WCAB Case Number: ADJ10187918.

Vote: Ayes – Kesarwani, Taplin, Hahn, Wengraf, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Bartlett, Harrison, Robinson.

Councilmember Robinson absent 4:15 p.m. – 4:22 p.m.

2. CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION PURSUANT TO GOVERNMENT CODE SECTIONS 54956.9(a) and 54956.9(d)(2)

 a. California River Watch – Notice of Intent to File Suit Under the Federal Water Pollution Control Act (Clean Water Act), attached as required by Fowler v. City of Lafayette (2020) 46 Cal. App. 5th 360

Action: No reportable action taken.

3. CONFERENCE WITH REAL PROPERTY NEGOTIATORS PURSUANT TO GOVERNMENT CODE SECTION 54956.8

a. Property Address: 1900 Addison, Suite 300-350, Berkeley, California
Agency Negotiators: Hansel Aguilar, Director of Police Accountability, Dionne

Early, Public Works Real Property

Negotiating Parties: City of Berkeley and SG Real Estate, Inc. on behalf of the

Shamszad Family Living Trust

Property Owner: Sasha and Merideth Shamszad

Under negotiation: Price and terms

Action: No reportable action taken.

4. CONFERENCE WITH LABOR NEGOTIATORS; GOVERNMENT CODE SECTION 54957.6

Negotiators: Dee Williams-Ridley, City Manager, Anne Cardwell, Deputy City Manager, LaTanya Bellow, Deputy City Manager, Aram Kouyoumdjian, Human Resources Director, Dawud Brewer, Employee Relations Manager, Jonathan Holtzman, Renne Public Law Group.

Employee Organizations: Berkeley Fire Fighters Association Local 1227 I.A.F.F., Berkeley Fire Fighters Association, Local 1227 I.A.F.F. / Berkeley Chief Fire Officers Association; Berkeley Police Association; SEIU 1021 Community Services and Part-time Recreation Activity Leaders, SEIU 1021 Maintenance and Clerical, Unrepresented Employees

Action: No reportable action taken.

OPEN SESSION:

Public Reports of actions taken pursuant to Government Code section 54957.1.

City Council met in closed session on July 24, 2023, Pursuant to Government Code Section 54956.9(d)(2) and provided direction to workers' compensation counsel and approved a settlement by Compromise and Release, as to workers' compensation matter WCAB Case Number: ADJ10187918.

Adjournment

Action: M/S/C (Arreguin/Taplin) to adjourn the meeting.

Vote: Ayes - Kesarwani, Taplin, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes -

None; Abstain - None; Absent - Bartlett, Harrison.

Adjourned at 5:49 p.m.

I hereby certify that the forgoing is a true and correct record of the special closed meeting of July 24, 2023 as approved by the Berkeley City Council.

Rose Thomsen, Deputy City Clerk

Communications

None

Supplemental Communications and Reports 1

None

Supplemental Communications and Reports 2

None

Supplemental Communications and Reports 3

None

MINUTES SPECIAL MEETING OF THE BERKELEY CITY COUNCIL

Monday, July 24, 2023 6:00 PM

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702 TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY, CA 94708

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI

DISTRICT 5 – SOPHIE HAHN

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DISTRICT 8 – MARK HUMBERT

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Preliminary Matters

Roll Call: 6:25 p.m.

Present: Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin

Absent: Harrison

Action Calendar – Public Hearings

1. ZAB Appeal: 2720 Hillegass Avenue, Willard Park, Use Permit/Variance #ZP2022-0095

From: City Manager

Recommendation: Conduct a public hearing and, upon conclusion, adopt a Resolution affirming the Zoning Adjustments Board decision to approve a Use Permit and Variance to demolish and replace/expand the existing recreation building and public restroom (community center), with a reduced rear setback, and to construct a stand-alone public restroom building and a trash enclosure, within an existing public park, and dismiss the appeal.

Financial Implications: None

Contact: Jordan Klein, Planning and Development, (510) 981-7400

Public Testimony: The Mayor opened the public hearing. 49 speakers.

M/S/C (Arreguin/Hahn) to close the public hearing.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert,

Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Action: M/S/C (Robinson/Taplin) to adopt Resolution No. 70,963–N.S. affirming the Zoning Adjustments Board decision to approve a Use Permit and Variance to demolish and replace/expand the existing recreation building and public restroom (community center), with a reduced rear setback, and to construct a stand-alone public restroom building and a trash enclosure, within an existing public park, and dismiss the appeal, with the following revisions:

- 1. Add a condition that there be no amplified sound indoors after 9:00 p.m.
- 2. Revise the variance findings to include the following language:
 - -Exceptional Circumstances: The variance is necessary to build the community center because of the unusual shape and size of the lot. The unusual fact that the yard is measured at odd points necessitates the setback because of the strict application of the zoning ordinance, based on the definition of a front lot line, requires a 20-foot rear setback along the stepped southern lot line. The residential lots that directly abut or are adjacent to the subject parcel are oriented so that their frontage is on Hillegass Avenue for the east parcels, and the improved portion of Regent Street for the western parcels. This means that the northern and southern property lines of the remaining parcels on the block are side lot lines. Whereas other properties on this full block are only required a 4-foot side setback from their north and south lot lines, the subject parcel is required to have a 20-foot rear setback. The location of the Coast Live Oak north of the building along the Hillegass frontage also requires a setback because it would reduce impacts to the root system.

-No Material Impact on Health or Safety: The variance will not be materially detrimental to the public welfare or injurious to nearby property or improvements for a number of reasons, including because the resulting 16-foot setback will in fact be larger than the existing 11 foot-8 inch setback.

-Promotion of Health, Welfare & Safety: The variance will promote municipal health, welfare, and safety because the community center and park is the site of a City of Berkeley after-school and summer day camp program for 45 children, with a 25-children waiting list. The park is one of the few places in the area that provides City-owned public open space. This variance would allow the community center to serve 60 children with after-school programs as well as provide the community with additional recreational opportunities such as tennis, exercise classes, and other events for youth as well as ancillary infrastructure such as safe and adequate bathrooms.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Adjournment

Action: M/S/C (Arreguin/Bartlett) to adjourn the meeting.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin;

Noes - None: Abstain - None: Absent - Harrison.

Adjourned at 9:40 p.m.

I hereby certify that the forgoing is a true and correct record of the special meeting held on July 24, 2023.

Rose Thomsen, Deputy City Clerk

Communications

None

Supplemental Communications and Reports 1

None

Supplemental Communications and Reports 2

Item #1: ZAB Appeal: 2720 Hillegass Avenue, Willard Park, Use Permit/Variance #ZP2022-0095

- 1. Barbara Tuleja
- 2. Jessica Bylo
- 3. Joshua Abrams
- 4. Caroline Massad Francis
- 5. Bill Williams
- 6. Vivian White
- 7. Emily White

- 8. Kate Gordon
- 9. Laura King
- 10. Ben Gerhardstein
- 11. Chelle Putzer
- 12. Marti Grubb
- 13. Claire Greene, Walter Garms and Natalie Garms
- 14. Nick Roosevelt
- 15. Stephanie Boys
- 16. Kathleen Crandall
- 17. Locke Schultz Jaeger
- 18. Mary Thompson
- 19. Tom Miller and Tran T. Nhu
- 20. Barry Fike
- 21. Ginger Ogle
- 22. Richard King
- 23. Peg Bogle
- 24. Orli Cotel
- 25. Katherine Ramage
- 26. Carrie Gray
- 27. MacKenzie Smith
- 28. R.J. Godin
- 29. Debbie LeVeen
- 30. David Lehrer
- 31. Gordon Wozniak
- 32. Brian M. Wong and Scott T. Hofmeister
- 33. Lori Droste
- 34. Mary Oram
- 35. Rana Cho, Rohini Haar, Justin Randall, Heather Ball
- 36. Peter Liederman
- 37. Rachel Hope Crossman
- 38. Kamala Asher
- 39. Marc Hedlund
- 40. Madeline Feingold
- 41. Todd Andrew
- 42. Helen Marcus
- 43. Theo Gordon
- 44. Ben Gould
- 45.119 similarly-worded form letters

Supplemental Communications and Reports 3

Item #1: ZAB Appeal: 2720 Hillegass Avenue, Willard Park, Use Permit/Variance #ZP2022-0095

- 46. Presentation, submitted by Planning and Development
- 47. Presentation, submitted by Parks, Recreation and Waterfront
- 48. Alex Stec
- 49. Caitlin Lempres Brostrom
- 50. Ben Finkel
- 51. Max Ventura
- 52. Vincent Casalaina
- 53. Larry Hendel

- 54. Harvey Smith
- 55. Zach Stewart
- 56. Mary Oram
- 57. Carla Woodworth
- 58. Willard Neighborhood Association
- 59. Friends of Willard Park
- 60.10 similarly-worded form letters

MINUTES SPECIAL MEETING OF THE BERKELEY CITY COUNCIL

Tuesday, July 25, 2023 4:00 PM

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702 TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY, CA 94708

JESSE ARREGUIN, MAYOR Councilmembers:

DISTRICT 1 – RASHI KESARWANI

DISTRICT 5 – SOPHIE HAHN

DISTRICT 2 – TERRY TAPLIN

DISTRICT 6 – SUSAN WENGRAF

DISTRICT 7 – RIGEL ROBINSON

DISTRICT 4 – KATE HARRISON

DISTRICT 8 – MARK HUMBERT

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Remote participation by the public is available through Zoom. To access the meeting remotely: Join from a PC, Мас. iPad. iPhone. Android device: Please use this URL: https://citvofberkelevinfo.zoomgov.com/j/1606074224. If you do not wish for your name to appear on the screen, then use the drop down menu and click on "rename" to rename yourself to be anonymous. To request to speak, use the "raise hand" icon by rolling over the bottom of the screen. To join by phone: Dial 1-669-254-5252 or 1-833-568-8864 (Toll Free) and enter Meeting ID: 160 607 4224. If you wish to comment during the public comment portion of the agenda, Press *9 and wait to be recognized by the Chair.

Please be mindful that the meeting will be recorded and all rules of procedure and decorum apply for in-person attendees and those participating by teleconference or videoconference.

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This meeting will be conducted in accordance with the Brown Act, Government Code Section 54953 and applicable Executive Orders as issued by the Governor that are currently in effect. Any member of the public may attend this meeting. Questions regarding this matter may be addressed to Mark Numainville, City Clerk, (510) 981-6900. The City Council may take action related to any subject listed on the Agenda. Meetings will adjourn at 11:00 p.m. - any items outstanding at that time will be carried over to a date/time to be specified.

Preliminary Matters

Roll Call: 4:10 p.m.

Present: Taplin, Hahn, Wengraf, Robinson, Humbert, Arreguin

Absent: Kesarwani, Bartlett, Harrison

Councilmember Kesarwani present at 4:16 p.m.

Councilmember Bartlett present at 4:39 p.m.

Action Calendar

1. Civic Center Phase II - Design Concept (Continued from July 11, 2023) (Item contains revised material.)

From: City Manager

Recommendation: Adopt a Resolution approving Berkeley's Civic Center Design Concept, and declaring Council's intention to support the preferred design concept and necessary future studies articulated in the plan and directing staff to pursue the next steps identified in the plan, including seeking funding and conducting further studies.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: 17 speakers. M/S/C (Arreguin/Hahn) to adopt Resolution No. 70,964–N.S. as amended in the revised materials from the City Manager included with the item, and further amended to include that "the highest priority of the Council is the seismic retrofit and best use of the historic buildings in accordance with the Council's direction in the approved plan." The Council provided direction to the City Manager to 1) explore full and partial creek restoration; 2) Ensure a home for the Farmers Market in the Civic Center; and 3) develop cost and feasibility information on building out additional spaces in the Veterans' Building courtyard for arts and cultural uses. **Vote:** Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Adjournment

Action: M/S/C (Arrequin/Robinson) to adjourn the meeting.

Vote: Ayes - Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin;

Noes - None; Abstain - None; Absent - Harrison.

Adjourned at 6:03 p.m.

I hereby certify that the forgoing is a true and correct record of the special meeting held on July 25, 2023.

Mark Numainville, City Clerk

Communications

None

Supplemental Communications and Reports 1

None

Supplemental Communications and Reports 2

Item #1: Civic Center Phase II - Design Concept

- 1. Karen Dabrusin
- 2. John Roberts
- 3. George Speckman
- 4. Almira Tanner
- 5. Gayle Paul
- 6. Angelica Karakat
- 7. Aimee Baldwin
- 8. Christopher Kroll
- 9. Richard Schwartz
- 10. Sally Hughes
- 11. Summer Brenner
- 12. Michael Weber
- 13. Sally Nelson
- 14. Irene Rice
- 15. Sylvia Soriano
- 16. Kelly Hammargren
- 17. Toni Mester

Supplemental Communications and Reports 3

Item #1: Civic Center Phase II – Design Concept

- 18. Presentation, submitted by the Office of Economic Development
- 19. Aimee Baldwin
- 20. Stephanie Thomas
- 21. Sierra Club
- 22. Erin Diehm
- 23. Meryl Siegal
- 24. Christopher Kroll
- 25. Anonymous

MINUTES BERKELEY CITY COUNCIL MEETING

Tuesday, July 25, 2023 6:00 PM

SCHOOL DISTRICT BOARD ROOM - 1231 ADDISON STREET, BERKELEY, CA 94702 TELECONFERENCE LOCATION - 1404 LE ROY AVE, BERKELEY, CA 94708

JESSE ARREGUIN, MAYOR Councilmembers:

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Preliminary Matters

Roll Call: 6:27 p.m.

Present: Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin

Absent: Harrison

Land Acknowledgement Statement: The City of Berkeley recognizes that the community we live in was built on the territory of xučyun (Huchiun (Hooch-yoon)), the ancestral and unceded land of the Chochenyo (Cho-chen-yo)-speaking Ohlone (Oh-low-nee) people, the ancestors and descendants of the sovereign Verona Band of Alameda County. This land was and continues to be of great importance to all of the Ohlone Tribes and descendants of the Verona Band. As we begin our meeting tonight, we acknowledge and honor the original inhabitants of Berkeley, the documented 5,000-year history of a vibrant community at the West Berkeley Shellmound, and the Ohlone people who continue to reside in the East Bay. We recognize that Berkeley's residents have and continue to benefit from the use and occupation of this unceded stolen land since the City of Berkeley's incorporation in 1878. As stewards of the laws regulating the City of Berkeley, it is not only vital that we recognize the history of this land, but also recognize that the Ohlone people are present members of Berkeley and other East Bay communities today. The City of Berkeley will continue to build relationships with the Lisjan Tribe and to create meaningful actions that uphold the intention of this land acknowledgement.

Ceremonial Matters:

1. Recognition of the 25th Anniversary of the Berkeley Path Wanderers

City Manager Comments:

The City Manager requested that Item 36 regarding ADUs be continued to September 19, 2023.

Public Comment on Non-Agenda Matters: 10 speakers.

Action: M/S/C (Arreguin/Hahn) to accept an urgency item from Mayor Arreguin pursuant to Government Code Section 54954.2(b)(2) entitled Excused Absence for Councilmember Kate Harrison.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Action: M/S/C (Arreguin/Hahn) to accept an urgency item from the Sugar-Sweetened Beverage Product Panel of Experts pursuant to Government Code Section 54954.2(b)(2) entitled Grant Allocation: Approve Healthy Berkeley Funding Recommendation for Programs to Reduce Consumption of Sugar-Sweetened Beverages (SSBs) for FY24 and FY25 Grant Cycle.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Action: M/S/C (Arreguin/Hahn) to accept revised material for Item 12 from the City Manager.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Public Comment on Consent Calendar and Information Items Only: 26 speakers.

Action: M/S/C (Arreguin/Hahn) to adopt the Consent Calendar in one motion except as indicated.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Recess 8:37 p.m. – 9:00 p.m.

Urgent Item: Grant Allocation: Approve Healthy Berkeley Funding Recommendation for Programs to Reduce Consumption of Sugar-Sweetened Beverages (SSBs) for FY24 and FY25 Grant Cycle

From: Sugar-Sweetened Beverage Product Panel of Experts Commission Recommendation: Approve the SSBPPE Commission's recommendations and adopt eight (8) Resolutions authorizing the City Manager or her designee to enter into contracts with the Berkeley Unified School District (BUSD) and the Community-Based Organizations (CBOs) listed below to distribute a total of \$1,495,180 for FY 2024 and FY 2025 according to the following schedule:

- 1. \$705,056.05 total grant to Berkeley Unified School District to implement the Gardening and Cooking Program for FY 2024 and FY 2025 to be disbursed as follows: \$352,528.03 in FY 2024 and \$352,528.02 in FY 2025.
- 2. \$85,864.90 total grant to Bay Area Community Resources to implement the Healthy Options at Point of Sale program to be disbursed as follows: \$42,932.45 in FY 2024 and \$42,932.45 in FY 2025.
- 3. \$106,150.00 total grant to Berkeley Youth Alternatives to implement the Urban Agriculture and Team Nutrition Program to be disbursed as follows: \$53,075.00 in FY 2024 and \$53,075.00 in FY 2025.
- 4. \$100,378.30 total grant to Ecology Center to implement the For Thirst, Water First! program to be disbursed as follows: \$50,189.15 in FY 2024 and \$50,189.15 in FY 2025. 5. \$130,433.05 total grant to Lifelong Medical Care to implement the Healthy Berkeley, Chronic Disease and Oral Health Prevention program to be disbursed as follows: \$65,216.53 in FY 2024 and \$65,216.52 in FY 2025.
- 6. \$55,000.00 total grant to Multicultural Institute to implement the Life Skills/Day Laborer Program: Health Activity program to be disbursed as follows: \$27,500.00 in FY 2024 and \$27,500.00 in FY 2025.
- 7. \$96,923.20 total grant to YMCA of the East Bay to implement the YMCA Healthy Me! program to be disbursed as follows: \$48,461.60 in FY 2024 and \$48,461.60 in FY 2025. 8. \$215,374.50 total grant to Healthy Black Families to implement the Thirsty for Change! (T4C) program to be disbursed as follows: \$107,687.25 in FY 2024 and \$107,687.25 in FY 2025.
- 9. The Commission recommends that indirect or administrative expenses not exceed 10% of the program budget for any entity and that the funds awarded not be used to supplant any other source of funding.
- 10. The Commission recommends that City Council authorize the City Manager to authorize advances for BUSD and the selected community agencies receiving funds in

FY 2024 and FY 2025. The advances are to be equivalent to 25% of the agency's allocation.

Financial Implications: See report

Contact: Roberto Terrones, Commission Secretary, (510) 981-5400

Action: Approved the recommendation and adopted Resolution No. 70,965–N.S. (BUSD), Resolution No. 70,966–N.S. (BACR), Resolution No. 70,967–N.S. (BYA), Resolution No. 70,968–N.S. (EC), Resolution No. 70,969–N.S. (LMC), Resolution No. 70,970–N.S. (MI), Resolution No. 70,971–N.S. (YMCA), and Resolution No. 70,972–N.S. (HBF).

Urgent Item: Excused Absence for Councilmember Kate Harrison

From: Mayor Arreguin (Author)

Recommendation: Excuse Councilmember Kate Harrison from the July 25, 2023

Council meeting as a result of illness.

Financial Implications: None

Contact: Jesse Arreguin, Mayor, (510) 981-7100

Action: Approved recommendation.

1. Zoning Ordinance Amendments to Title 23 of the Berkeley Municipal Code to Conform to State Law, and Make Non-Substantive Technical Edits

From: City Manager

Recommendation: Adopt second reading of Ordinance No. 7,882-N.S amending the following sections of the Zoning Ordinance to match State law relating to special needs housing (including supportive and transitional housing, emergency shelter, navigation center), employment housing, and family day care, and to make technical edits, corrections and other non-substantive amendments:

- -23.202.020 Allowed Land Uses (Residential Districts)
- -23.202.110 R-4 Multi-Family Residential District
- -23.204.020 Allowed Land Uses (Commercial Districts)
- -23.204.040 Use Specific Regulations (Commercial Districts)
- -23.204.060 C-U University Commercial District
- -23.206.020 Allowed Land Uses and Permit Requirements (Manufacturing Districts)
- -23.206.040 Use Specific Regulations (Manufacturing Districts)
- -23.206.050 Protected Industrial Uses
- -23.206.080 MU-LI Mixed Use-Light Industrial District (Land Use Regulations)
- -23.302.070 Use-Specific Regulations (Supplemental Use Regulations)
- -23.304.030 Setbacks
- -23.304.040 Building Separation in Residential Districts
- -23.308.020 Applicability and Nonconformities (Emergency Shelters)
- -23.308.030 Standards for Emergency Shelters
- -23.324 Nonconforming Uses, Structures, and Buildings
- -23.324.010 Chapter Purpose
- -23.324.050 Nonconforming Structures and Buildings
- -23.502.020 Glossarv

First Reading Vote: All Ayes. Financial Implications: None

Contact: Jordan Klein, Planning and Development, (510) 981-7400 **Action:** Adopted second reading of Ordinance No. 7,882–N.S.

2. Minutes for Approval

From: City Manager

Recommendation: Approve the minutes for the Council meetings of June 6 (regular), June 13 (regular), June 20 (special closed and special) and June 27 (regular)

Financial Implications: None

Contact: Mark Numainville, City Clerk, (510) 981-6900

Action: Approved the minutes as submitted.

3. Voting Delegates – League of California Cities Annual Conference From: City Manager

Recommendation: Designate, by motion, a voting delegate and alternate for the business meeting of the Annual League of California Cities conference to be held on Friday, September 22, 2023, in Sacramento.

Financial Implications: See report

Contact: Mark Numainville, City Clerk, (510) 981-6900

Action: Designated Councilmember Taplin as the voting delegate and

Councilmember Humbert as the alternate.

4. Contract: Berkeley Convention and Visitor's Bureau, d.b.a. Visit Berkeley From: City Manager

Recommendation: Adopt a Resolution allowing the City Manager to execute a sole source contract and any amendments with the Berkeley Convention and Visitors' Bureau, d.b.a. Visit Berkeley, to distribute one-twelfth of annual Berkeley Transient Occupancy Tax funds to support tourism marketing and promotion for the period from July 1, 2023 through June 30, 2027 for a not to exceed amount of \$3,500,000.

Financial Implications: See report

Contact: Eleanor Hollander, Economic Development, (510) 981-7530

Action: Adopted Resolution No. 70,973–N.S.

5. Contracts: Turtle Island Monument, Scott Parsons and Artworks Foundry LLC From: City Manager

Recommendation: Adopt two Resolutions authorizing the City Manager to execute the following artwork contracts and any amendments for the City of Berkeley's Turtle Island Monument at Martin Luther King Jr. Civic Center Park with contract periods of July 1, 2023 through March 30, 2025:

- 1. Scott Parsons for fabrication of three new stone medallions, purchase of twelve selected boulders into which seven existing art medallions will be installed, purchase of granite base stone material for mounting of five bronze turtles for an amount not to exceed \$236,000.
- 2. Artworks Foundry for fabrication of a large central bronze turtle sculpture for Turtle Island Monument for an amount not to exceed \$350,000.

Financial Implications:

Contact: Eleanor Hollander, Economic Development, (510) 981-7530

Action: Adopted Resolution No. 70,974–N.S. (Scott Parsons), and Resolution No. 70,975–N.S. (Artworks Foundry).

6. Contract No. 117596-1 Amendment: Animal Fix Clinic (formerly Fix Our Ferals) for Spay and Neuter Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract and any necessary amendments with Animal Fix Clinic (formerly Fix Our Ferals) to provide no-cost spay and neuter surgeries to eligible pet owners for FY 2024, increasing the contract amount by \$35,000 for a new total contract amount not to exceed \$102,218 and extending the terms of the contract to July 25, 2026.

Financial Implications: See report

Contact: Peter Radu, City Manager's Office, (510) 981-7000

Action: Adopted Resolution No. 70,976–N.S.

7. Formal Bid Solicitations and Request for Proposals Scheduled for Possible Issuance After Council Approval on July 25, 2023

From: City Manager

Recommendation: Approve the request for proposals or invitation for bids (attached to staff report) that will be, or are planned to be, issued upon final approval by the requesting department or division. All contracts over the City Manager's threshold will be returned to Council for final approval.

Financial Implications: Various Funds - \$885,000 Contact: Henry Oyekanmi, Finance, (510) 981-7300

Action: Approved recommendation.

8. Contract Amendment: Cooke and Associates for Applicant Background Investigations

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract amendment with Cooke and Associates to expand capacity to perform background investigation services from \$50,000 to an amount not to exceed \$300,000 from August 1, 2023 through July 31, 2026.

Financial Implications: See report

Contact: David Sprague, Fire, (510) 981-3473, Jennifer Louis, Police, (510) 981-

5900

Action: Adopted Resolution No. 70,977–N.S.

9. Contract Amendments: Mental Health Services Act Community Services and Supports, and Prevention and Early Intervention

From: City Manager

Recommendation: Adopt ten Resolutions authorizing the City Manager or her designee to execute the following contracts, which are funded through Mental Health Services Act (MHSA) Community Services and Supports (CSS) and Prevention and Early Intervention (PEI), increasing the contract amounts as outlined below, and extending the contracts through June 30, 2026:

1. Increasing CSS Contract No. 108800-1 with Bay Area Hearing Voices Network by \$46,941 per year from Mental Health Services Act (Fund #315) for a total contract amount not to exceed \$325,678 for hearing voices support groups;

- 2. Increasing CSS Contract No. 31900132 with Building Opportunities for Self-Sufficiency by \$100,000 per year from Mental Health Services Act (Fund #315), for a total contract amount not to exceed \$700,000 for representative payee services; 3. Increasing CSS Contract No. 32200130 with Alameda County Behavioral Health Care Services by \$491,933 per year from Mental Health Services Act (Fund #315) for a total contract amount not to exceed \$2,459,665 for Wellness Center operations; 4. Increasing CSS Contract No. 32000117 with Insight Housing (formerly Berkeley Food and Housing Project) for \$626,616 per year for three years from Mental Health Services Act (Fund #315), for a total contract amount not to exceed \$5,286,488 for supportive housing services;
- 5. Increasing CSS Contract No. 32000094 with Youth Spirit Artworks by \$132,046 per year for three years for Transition Age Youth case management and trauma support services from Mental Health Services Act (Fund #315), and \$78,000 for Fiscal Year 2024 for Tiny House Village housing services from Measure P (Fund #011), for a total contract amount not to exceed \$1,211,230;
- 6. Increasing PEI Contract No. 32000240 with Berkeley Unified School District by \$401,389 per year from Mental Health Services Act (Fund #315), for a total contract amount not to exceed \$2,598,334 for services to support Berkeley students; 7. Increasing PEI Contract No. 088999-1 with Center for Independent Living by \$32,046 per year from Mental Health Services Act (Fund #315) for a total contract amount not to exceed \$448,860 for services to support older adults;
- 8. Increasing PEI Contract No. 052129-1 with Pacific Center for Human Growth by \$100,000 per year from Mental Health Services Act (Fund #315) for a total contract amount not to exceed \$815,150 for services to support the Lesbian, Gay, Bisexual, Transgender, Queer/Questioning, Agender, Plus (LGBTQIA+) population;
- 9. Increasing PEI Contract No. 32200146 with ONTRACK Program Resources by \$100,000 per year from Mental Health Services Act (Fund #315) for a total contract amount not to exceed \$475,000 for services to support African Americans;
- 10. Increasing PEI Contract No. 3200111 with East Bay Sanctuary Covenant by \$100,000 per year from Mental Health Services Act (Fund #315) for a total contract amount not to exceed \$500,000 for services to support the Latinx, Latina, Latino population.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 Approved the recommendation and adopted Resolution No. 70,978–N.S. (Contract No. 108800-1), Resolution No. 70,979–N.S. (Contract No. 31900132), Resolution No. 70,980–N.S. (Contract No. 32200130), Resolution No. 70,981–N.S. (Contract No. 32000117), Resolution No. 70,982–N.S. (Contract No. 32000094), Resolution No. 70,983–N.S. (Contract No. 32000240), Resolution No. 70,984–N.S. (Contract No. 088999-1), Resolution No. 70,985–N.S. (Contract No. 052129-1), Resolution No. 70,986–N.S. (Contract No. 32200146) and Resolution No. 70,987–N.S. (Contract No. 3200111).

10. Contract No. 32300138 Amendment: Prevention and Early Intervention Statewide Project - California Mental Health Services Authority

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to execute an amendment to Contract No. 32300138 with the California Mental Health Services Authority (CalMHSA) to execute a Participation Agreement for Fiscal Year 2024 for the Prevention and Early Intervention (PEI) Statewide Project and allocate Mental Health Services Act (MHSA) funds in the amount of \$93,027, for a total amount not to exceed \$163,934 through June 30, 2024.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 **Action:** Adopted Resolution No. 70,988–N.S.

11. Contract: 2 Plus 1 Housing Resolution Services for Harriet Tubman Terrace Tenant Advocate

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or her designee to execute a contract for professional services with the vendor 2 Plus 1 Housing Resolution Services for a Harriet Tubman Terrace Tenant Advocate for the Department of Health, Housing, and Community Services (HHCS) from August 1, 2023 to July 31, 2024 in an amount not to exceed \$100,000.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 **Action:** Adopted Resolution No. 70,989–N.S.

12. Mental Health Services Act (MHSA) Fiscal Years 2024-2026 Three Year Program and Expenditure Plan

From: City Manager

Recommendation: Adopt a Resolution approving the Mental Health Services Act Fiscal Years 2024-2026 Three Year Program and Expenditure Plan (MHSA Three Year Plan), which provides information on current and proposed uses of funds for mental health programming, and forwarding the MHSA Three Year Plan to appropriate state officials.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 **Action:** Adopted Resolution No. 70,990–N.S. as revised in the materials submitted at the meeting by the City Manager.

13. Reserving Predevelopment Funds BRIDGE Housing Corporation to Support the Development of Affordable Housing at the North Berkeley BART Site From: City Manager

Recommendation: Adopt a Resolution: 1. Reserving \$1,500,000 in Affordable Housing Mitigation Fee funds to BRIDGE Housing Corporation (BRIDGE) or its affiliate to support master planning and predevelopment activities related to the development of affordable housing at the North Berkeley BART site. 2. Authorizing the City Manager or her designee to execute all original or amended documents or agreements to effectuate this action.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 **Action:** Adopted Resolution No. 70,991–N.S.

14. Establish Classification and Salary Range – Deputy Police Chief From: City Manager

Recommendation: Adopt a Resolution establishing the unrepresented classification of Deputy Police Chief with an hourly salary range of \$96.1538 - \$125.0000, and an annual salary range of \$200,000.0000 - \$260,000.0000.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

Action: Adopted Resolution No. 70,992–N.S.

15. Salary Range Adjustments: Senior Building Maintenance Supervisor, Senior Equipment Supervisor, Senior Public Works Supervisor, and Senior Solid Waste Supervisor

From: City Manager

Recommendation: Adopt a Resolution amending Resolution No. 69,997-N.S., Salary Resolution for Public Employees Union (PEU) – Local 1, to increase the salary range of the Senior Building Maintenance Supervisor by 9.30%; Senior Equipment Supervisor by 13.00%; Senior Public Works Supervisor by 8.53%; and Senior Solid Waste Supervisor by 8.53%, effective January 1, 2023.

This Resolution follows Council consideration of this item in Closed Session on May 1, 2023.

Financial Implications: See report

Contact: Aram Kouyoumdjian, Human Resources, (510) 981-6800

Action: Adopted Resolution No. 70,993–N.S.

16. Piggyback Contract – SmartWave for City Facility Managed Wi-Fi From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract which aligns with the City of Tucson, AZ existing contract and amendments, to provide managed Wi-Fi throughout City of Berkeley facilities in an amount of \$325,000 with an option to extend ongoing Operations and Maintenance (O&M) for an additional year for a total contract value not to exceed \$370,000 through FY2025.

Financial Implications: IT's Cost Allocation Fund - \$370,000 Contact: Kevin Fong, Information Technology, (510) 981-6500

Action: Adopted Resolution No. 70,994–N.S.

17. Side Letter Agreement: Hornblower Sublease

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute and implement a Side Letter Agreement with 200 Marina Boulevard, Berkeley, LLC to memorialize the terms and amount of Hornblower sublease rent payments and the City's consent to the Hornblower sublease at the Doubletree Hotel at the Berkeley Waterfront.

Financial Implications: See report

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

Action: Adopted Resolution No. 70,995–N.S.

18. Contract No. 32200183 Amendment: Western Water Features Inc. for Renovations at King Swim Center

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32200183 with Western Water Features, Inc. for renovations at King Swim Center, increasing the contract amount by \$79,000 for a total not to exceed amount of \$1,179,000.

Financial Implications: \$1,179,000

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700

Action: Adopted Resolution No. 70,996–N.S.

19. \$5.5M Loan for D and E Dock Project In Berkeley Marina From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to implement one of the following options: (1) execute an Amendment to the existing \$5.5M Loan Agreement with the State Division of Boating and Waterways, based on one of four proposed alternatives described in the Current Situation section of the report; -OR-

(2) adopt a resolution authorizing the City Manager to implement an internal loan of \$5.5M from the Workers Compensation Fund and/or the Stability Reserve Fund and/or Catastrophic Reserve Fund as determined by the City Manager, and repay this loan from the Transient Occupancy Tax revenue and/or the Marina Fund with the terms to be determined by the City Manager.

Financial Implications: See report

Contact: Scott Ferris, Parks, Recreation and Waterfront, (510) 981-6700 **Action:** Adopted Resolution No. 70,997–N.S. to approve Option 2 as revised in Supplemental Communications Packet #2 by the City Manager, with a new final resolved clause to read:

NOW THEREFORE, BE IT RESOLVED that the Council of the City of Berkeley authorizes an internal loan of \$5.5M from the Workers Compensation Fund, and repayment of this loan using the total amount of Transient Occupancy Tax (TOT) revenue generated in the Waterfront starting in FY25 until the loan is paid off, plus an additional \$500,000 one-time interest payment from the TOT.

20. Accept Grant Funds from the Governor's Office of Planning and Research to Create a New Environmental Justice Element, Update the General Plan Disaster Preparedness & Safety Element, and Develop Community-Driven Climate and Resilience Metrics

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or their designee to accept the California Governor's Office of Planning and Research (OPR) Adaptation Planning Grant Program (APGP) grant in the amount of \$497,042, and to execute any resulting grant agreement, for the duration of August 31, 2023 through January 31, 2026.

Financial Implications: See report

Contact: Jordan Klein, Planning and Development, (510) 981-7400

Action: Adopted Resolution No. 70,998–N.S.

21. Authorize an Agreement with AC Transit to Provide Funding for Transit Shelter Maintenance

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to enter into a funding agreement between the City of Berkeley and the Alameda-Contra Costa Transit District (AC Transit) to provide an amount not to exceed \$110,000 over five years to support transit shelter and bench maintenance.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 70,999–N.S.

22. Contract No. 32100127 Amendment: Benefit Resource, Inc. for Third-Party Administrator of the Employee Commute Benefit Program

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract amendment with Benefit Resource, Inc., (BRI) to provide third-party administrator services for the City of Berkeley's Employee Commute Benefit Program for an amount not to exceed \$50,000 for a total contract not to exceed of \$100,000 and extending the term through February 28, 2025.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,000–N.S.

23. Contract No. 32000128 Amendment: WSP USA Environment & Infrastructure Inc. (formerly Wood Environment & Infrastructure Solutions, Inc.) for On-Call Environmental Consulting Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32000128 with WSP USA Environment & Infrastructure Inc. (formerly Wood Environment & Infrastructure Solutions, Inc.) to increase the contract for on-call environmental consulting services by \$500,000 for a new not to exceed amount of \$1,200,000 and extend the contract term through December 30, 2026.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,001–N.S.

24. Contract No. 32000145 Amendment: Zonar Systems, Inc. for Global Positioning System Telematics Program

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32000145 with Zonar Systems, Inc. for global positioning system telematics program, increasing the amount by \$200,000 for a total amount not to exceed \$478,698 and extending the term through June 30, 2026.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,002–N.S.

25. Contract No. 32100070 Amendment: Urban Ore, Inc. for Salvage Operations at the City of Berkeley Transfer Station

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32100070 with Urban Ore, Inc. for salvage operations of reusable materials at the City's Transfer Station increasing the not to exceed amount by \$75,272 for a new not to exceed amount of \$189,848 and extending the term through June 30, 2025.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,003–N.S.

26. Contract: R & S Erection of Richmond, Inc. for On-Call Roll Up Door and Gate Maintenance and Replacement

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager or their designee to award a contract and execute any amendments and extensions, with R & S Erection of Richmond, Inc. for the ongoing maintenance, urgent repairs and replacement of roll up doors in an amount not to exceed \$300,000 for the period of August 1, 2023 through July 31, 2026.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,004–N.S.

27. Contract: Wood Rodgers, Inc. for Stormwater Master Plan

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a professional services contract with Wood Rodgers, Inc. in an amount not to exceed \$1,900,000 for the development of a comprehensive Stormwater Master Plan (SWMP). A comprehensive SWMP would identify key deficiencies in the stormwater system, prioritize capital improvement projects, identify funding needs, develop City specific drainage design standards, and update maintenance and inspection plan for stormwater facilities.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,005–N.S.

28. Contract: Disability Access Consultants for On-Call American with Disabilities Act Consulting Services

From: City Manager

Recommendation: Adopt a Resolution authorizing the City Manager to execute a contract with Disability Access Consultants (DAC) for on-call American with Disabilities Act consulting services to provide support to the City of Berkeley's Disability Compliance Program, for up to three years in an amount not to exceed \$300.000.

Financial Implications: See report

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Adopted Resolution No. 71,006–N.S.

29. Audit Status Report: Underfunded Mandate: Resources, Strategic Plan, and Communication Needed to Continue Progress towards the Year 2020 Zero Waste Goal (Reviewed by the Facilities, Infrastructure, Transportation, Environment

& Sustainability Committee)

From: City Manager

Recommendation: See policy committee recommendation.

Policy Committee Recommendation: Send the item to Council with a positive

recommendation.

Financial Implications: None

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Accepted the item as recommended by the Facilities, Infrastructure,

Transportation, Environment & Sustainability Committee.

30. Audit Status Report: Unified Vision of Zero Waste Activities Will Help Align Service Levels with Billing and Ensure Customer Equity (Reviewed by the Facilities, Infrastructure, Transportation, Environment & Sustainability Committee)

From: City Manager

Recommendation: See policy committee recommendation.

Policy Committee Recommendation: Send the item to Council with a positive recommendation.

Financial Implications: None

Contact: Liam Garland, Public Works, (510) 981-6300

Action: Accepted the item as recommended by the Facilities, Infrastructure,

Transportation, Environment & Sustainability Committee.

31. Resolution to Adopt a City-Wide "Care First, Jails Last" Policy From: Mental Health Commission

Recommendation: Adopt a Resolution adopting a city-wide "Care First, Jails Last" policy that prioritizes the use and/or development of a continuum of care for individuals with mental illness, substance use, or co-occurring disorders rather than incarceration. Require City departments that have contact with the public to revise policies, procedures, and practices to reflect this priority and policy resolution. Require City Council to use this priority and policy resolution to inform budgetary priorities.

Financial Implications: See report

Contact: Jamie Works-Wright, Commission Secretary, (510) 981-5400

Action: Adopted Resolution No. 71,007–N.S. amended to change the reporting period from three months to six months in the sixth and seventh resolved clauses; amended the final resolved clause to read as follows:

BE IT FURTHER RESOLVED that in conjunction with adopting this "Care First, Jails Last" resolution, the City Council of the City of Berkeley refers to the City Manager a request for a member of the Division of Mental Health to attend all the meetings of the Alameda County "Care First, Jails Last Task Force" and to report back to the Division of Mental Health on any opportunities or ideas about diversion from jails to care.

Council Consent Items

32. Young Lives Matter Foundation Walk for Peace: Relinquishment of Council Office Budget Funds from General Funds and Grant of Such Funds From: Councilmember Taplin (Author), Councilmember Harrison (Co-Sponsor) Recommendation: Adopt a Resolution approving the expenditure of an amount not to exceed \$500 per Councilmember, including up to \$500 from Councilmember Taplin, to support the Young Lives Matter Foundation's Walk for Peace with funds relinquished to the City's general fund.

Financial Implications: Councilmember's Discretionary Fund - \$500 Contact: Terry Taplin, Councilmember, District 2, (510) 981-7120

Action: Adopted Resolution No. 71,008–N.S. revised to include contributions from the following Councilmembers up to the amounts listed: Mayor Arreguin - \$500; Councilmember Humbert - \$500; Councilmember Hahn - \$300; Councilmember Bartlett - \$200; Councilmember Robinson - \$500; Councilmember Wengraf - \$500.

33. Resolution to Initiate Berkeley Farmers' Market Week

From: Councilmember Bartlett (Author), Mayor Arreguin (Co-Sponsor), Councilmember Harrison (Co-Sponsor), Councilmember Hahn (Co-Sponsor) Recommendation: Adopt a resolution to officially proclaim the first week of August as Berkeley Farmers' Market Week.

Financial Implications: None

Contact: Ben Bartlett, Councilmember, District 3, (510) 981-7130

Action: Adopted Resolution No. 71,009–N.S.

34. Commemoration of the 100th Anniversary of the 1923 Berkeley Fire:
Relinquishment of Council Office Budget Funds from General Funds and Grant
Such Funds

From: Councilmember Wengraf (Author), Councilmember Harrison (Co-Sponsor), Councilmember Hahn (Co-Sponsor), Mayor Arreguin (Co-Sponsor) Recommendation: Adopt a Resolution approving the expenditure of an amount not to exceed \$500 per Councilmember or Mayor, including \$500 from Councilmembers Wengraf and Harrison, to support the City's Commemoration of the 100th Anniversary of the 1923 Berkeley Fire with funds relinquished to the City's general fund. The relinquishment of funds from Councilmembers Wengraf and Harrison's discretionary Council Office Budgets and all other Councilmembers and Mayor who would like to contribute will support a community fair with family friendly activities, including historical and educational displays and activities for the 1923 Fire Commemoration on September 17, 2023.

Financial Implications: Councilmembers' Discretionary Funds - \$500 Contact: Susan Wengraf, Councilmember, District 6, (510) 981-7160

Action: Adopted Resolution No. 71,010–N.S. revised to include contributions from the following Councilmembers up to the amounts listed: Mayor Arreguin - \$500; Councilmember Hahn - \$500; Councilmember Bartlett - \$200; Councilmember Robinson - \$250; Councilmember Taplin - \$500.

Council Consent Items

35. Resolution Supporting the Unionization of Peet's Coffee Workers

From: Councilmember Robinson (Author), Councilmember Hahn (Co-Sponsor),

Councilmember Humbert (Co-Sponsor), Mayor Arreguin (Co-Sponsor)
Recommendation: Adopt a Resolution in support of workers at Peet's Coffee

unionizing under the Industrial Workers of the World IU 460

Financial Implications: None

Contact: Rigel Robinson, Councilmember, District 7, (510) 981-7170

Action: Adopted Resolution No. 71,011–N.S.

Action Calendar – Public Hearings

36. Amendments to Title 23 Relating to Accessory Dwelling Units (ADUs) and Repeal of Chapter 12.99 to Conform to State Law and Respond to Guidance from the California Department of Housing and Community Development From: City Manager

Recommendation: Conduct a public hearing and, upon conclusion, adopt the first reading of an Ordinance amending Berkeley Municipal Code (BMC) Title 23, and repealing BMC Chapter 12.99, relating to Accessory Dwelling Units and Junior Accessory Dwelling Units.

Financial Implications: See report

Contact: Jordan Klein, Planning and Development, (510) 981-7400

Action: Item continued to September 19, 2023 to be heard as the first item on the

Action Calendar.

Action Calendar - New Business

37. Adopting the Affordable Housing Framework for Development at the North Berkeley BART Station Area

From: City Manager

Recommendation: Adopt a Resolution:

- 1. Adopting the framework for City subsidy of affordable housing at the North Berkeley BART station area.
- 2. Authorizing the City Manager or her designee to execute all original or amended documents or agreements to effectuate this action.

Financial Implications: See report

Contact: Lisa Warhuus, Health, Housing, and Community Services, (510) 981-5400 **Action:** Moved to Consent Calendar. Adopted Resolution No. 71,012–N.S. and approved the recommendation.

Action Calendar - New Business

38a. Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

From: City Manager

Recommendation: Adopt a Resolution accepting the proposed policies and acquisition report for the use of fixed automated license plate readers (ALPRs).

Financial Implications: See report

Contact: Jennifer Louis, Police, (510) 981-5900

38b. Police Accountability Board (PAB) response to Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

From: Police Accountability Board

Contact: Hansel Aguilar, Police Accountability Board, (510) 981-4960

Action: M/S/C (Arreguin/Hahn) to suspend the rules and extend the meeting to 11:30 p.m.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Action: M/S/C (Kesarwani/Hahn) to suspend the rules and extend the meeting to 11:45 p.m.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Hahn, Wengraf, Robinson, Humbert, Arreguin; Noes – None; Abstain – None; Absent – Harrison.

Action: M/S/C (Wengraf/Kesarwani) to call for the previous question.

Vote: Ayes – Kesarwani, Taplin, Bartlett, Wengraf, Robinson, Humbert, Arreguin; Noes – Hahn; Abstain – None; Absent – Harrison.

Action: 37 speakers. M/S/C (Taplin/Humbert) to adopt Resolution No. 71,013–N.S. in Item 38a. Further, provide direction for the City Manager to include the metrics recommended by the Police Accountability Board in the report that is developed after the initial two-year period (Tracking the Number of Hits, Hit Rate, Hit Quality, Number of Arrests, Recovery Rates of Stolen Vehicles, Time to Locate, Case Clearance Rates)

Vote: Ayes – Kesarwani, Taplin, Wengraf, Robinson, Humbert, Arreguin; Noes – Bartlett; Abstain – Hahn; Absent – Harrison.

39. Assembly Bill 481, 2022 Annual Military Equipment Report

From: City Manager

Recommendation: Adopt a Resolution approving the 2022 Annual Military

Equipment Report.

Financial Implications: See report

Contact: Jennifer Louis, Police, (510) 981-5900

Action: Moved to Consent Calendar. Adopted Resolution No. 71,014–N.S.

Council Action Items

40. Waivers for Woolsey Gardens Affordable Housing Project

From: Mayor Arreguin (Author), Councilmember Harrison (Co-Sponsor) Recommendation: Pursuant to Berkeley Municipal Code (BMC) Section 22.20.070 and/or 22.20.080, adopt a Resolution approving the following requests from Northern California Land Trust for the Woolsey Gardens affordable housing project at 3120-3130 Shattuck: 1. Waive the requirement in BMC Section 23C.12.070(C)(4) in force at the time of entitlement that subsequent purchasers of inclusionary units in limited equity housing cooperatives have a yearly gross income of no more than 44 percent of the cost of a unit at the time of sale. 2. Approve the provision of an additional inclusionary unit instead of paying the in-lieu fee equivalent of .44 units as required by BMC Section 23.C.12.040(E) in force at the time of entitlement.

Financial Implications: See report

Contact: Jesse Arreguin, Mayor, (510) 981-7100

Action: Moved to Consent Calendar. Adopted Resolution No. 71,015–N.S.

Public Comment – Items Not Listed on the Agenda - 0 speakers.

Adjournment

Action: M/S/C (Arreguin/Kesarwani) to adjourn the meeting.

Vote: Ayes - Kesarwani, Taplin, Bartlett, Wengraf, Robinson, Humbert, Arreguin; Noes -

Hahn; Abstain – None; Absent – Harrison.

Adjourned at 11:28 p.m.

I hereby certify that the forgoing is a true and correct record of the regular meeting held on July 25, 2023.

Mark Numainville, City Clerk

Communications

Item #37: Adopting the Affordable Housing Framework for Development at the North Berkeley BART Station Area

- 1. Paul Widess
- 2. Marianne Betterly
- 3. Karen Eisenstadt
- 4. David Rice
- 5. T. Anne Richards
- 6. Marice Ashe
- 7. Kathryn Malone
- 8. Leonard Mudrock
- 9. Lonnie Wankel
- 10. Joan Hamilton

- 11. Mary Lai
- 12. Toby Salk
- 13. Helga Recke and Peter Ewell
- 14. Laura Garcia Moreno
- 15. Kori Kody
- 16. Chris Witt
- 17. Walter Wood
- 18. Laura Ide
- 19. Katherine Kunhiraman
- 20. Nicole Corsini
- 21. Richard Laden and Marie-Paule Laden
- 22. Laura Klein
- 23. Carol Hirth
- 24. Vicki Sommer (2)
- 25. Seth Kimball
- 26. Leni Siegel
- 27. Alisa Foster and Family
- 28. Lunda Caesara
- 29. Abe Hardin
- 30. Harvey Smith
- 31. Leonard Mudrock

Item #38: Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

- 32. Tobey White
- 33. Hansel Aguilar, on behalf of the Police Accountability Board (3)
- 34. Christine Schwartz
- 35. David Freeling
- 36. Sean Gibson
- 37. Sara Pierre
- 38. Dorothea Dorenz
- 39. Margaret Wellons
- 40. Patrick McCully
- 41. Zach Franklin
- 42. Eric Lee
- 43. Margaret Flaherty

Hopkins Corridor

- 44. Margo Smith
- 45. Virginia Kamp
- 46. Cindi Goldberg

Thank You Berkeley Police Department

47. TK Alexander

Police Accountability Board

- 48. Fran Haselsteiner
- 49. Hansel Aguilar, on behalf of the Police Accountability Board

Racehorse Protection

- 50. Carla Cabral
- 51. Bonnie Klapper
- 52. Kevin Korevaar-Plesniak
- 53. Gayle Paul
- 54. Joyce Lipener
- 55. Sheri Graeber
- 56. Diana Deikman
- 57. Karin Nelson
- 58. Kimberlee Krok
- 59. Ginnysue 57
- 60. Linda Reilly
- 61. Yasirah Vaughn

Oppose AB 965

- 62. Richard Tamm
- 63. Martin Bernbaum

People's Park Protestors

64. Lorranie Mahley

Street Repair Money

65. S. Entsistle

1740 San Pablo Avenue New Construction – Funding Application

66. Rachel Durney, on behalf of NorCal Development, BRIDGE

Abatement Notice: 1510 Rose Street #A

67. Sara Kershnar (2)

Upcoming Sewer Rehabilitation Work at California and Prince

68. Dan Bristol

69. Joseph Griffin

Claremont Hotel – Adjacent Strip Needs Work

70. Jo Farmer

Trash Not Being Picked Up Again

71. Wenter S, on behalf of Third Culture Bakery (2)

72. Berkeley's Mayor's Office

Perimeter Trail at Cesar Chavez Park

73. Rachel Bradley

Curb Cuts – Thank You

74. Laura Bates

Safety Hazards at Willard Park

75. Kristen Boyd

Pump Out Services for RV's

76. Ellen Fullman

Aquatic Center

77. Natasha Hains

Fireworks

78. Pamela Michaud (3)

79. Sarah Garrett

80. Colleen McCann

81. Mike Kim

82. Sandra Blair

83. Carol Cohen

City's Subcontractor Weeding the Spruce and Vine Traffic Circle

84. Fred Dodsworth

URL's Only

85. Vivian Warkentin (3)

Supplemental Communications and Reports 1

Item #38a: Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

86. Supplemental material, submitted by Councilmember Taplin

87. N. Pauline

88. Kelly Hammargren

89. Summer Brenner

90. Gael Alcock

91. Shok Saidmuradov

92. American Civil Liberties Union

Item #38b: Police Accountability Board (PAB) response to Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

93. Supplemental material, submitted by the Police Accountability Board

Supplemental Communications and Reports 2

Item #19: \$5.5M Loand for D and E Dock Project in Berkeley Marina

94. Revised material submitted by Parks, Recreation, and Waterfront Department 95. Claudia Kawczynska

Item #27: Contract: Wood Rodgers, Inc. for Stormwater Master Plan

96. Susan Schwartz, on behalf of Friends of Five Creeks

Item #37: Adopting the Affordable Housing Framework for Development at the North Berkeley BART Station Area

97. Melanie Lawrence and John Smail

98. Andrea Altschuler

Item #38a: Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

- 99. David Davis
- 100. Christopher Horgan
- 101. Charles Denton
- 102. Patrick Golier
- 103. Jonas Jackel
- 104. Ben Shababo
- 105. Peter Hosemann
- 106. Katie Wolf
- 107. Diane Gerstler
- 108. Rachel Tobey
- 109. Isabelle Gaston, Steve Robey
- 110. Katinka Wyle
- 111. Joanne Rucker
- 112. Winthrop Williams
- 113. Don and Becky Grether
- 114. Tom Vargo
- 115. JP Massar
- 116. Leslie A. Sakai
- 117. Kelly Hammargren
- 118. Kyra Subbotin
- 119. Gunther Stein
- 120. Lisa Mirkovic
- 121. Sunita Saini
- 122. Leila Yasin-Gurgen
- 123. Shannon Curtis
- 124. Paul Rickey
- 125. Barbara G Davis
- 126. Robert Hoffman
- 127. Rita Zobayan
- 128. Brian Gilbane
- 129. Bob Flasher

- 130. Lynne Clenfield
- 131. Suhad Philip
- 132. Alex Orloff
- 133. Ginger Ogle
- 134. Susan Huang
- 135. Barbara Cohn
- 136. Jo Ann Driscoll
- 137. Gary Croner (2)
- 138. Jose Vilar
- 139. Jennifer Burt
- 140. Bob Holloway
- 141. Monika Eisenbud
- 142. Louis Fox and Nashua Kalil
- 143. Gene Meyers
- 144. Bob Dixon
- 145. Jill Travis
- 146. Isaac Turiel
- 147. David Kestell
- 148. William E. Horwich
- 149. Elizabeth Ferguson
- 150. Jeremy Lent
- 151. Zipporah Collins
- 152. Tom Edwards
- 153. Doug Finley
- 154. Noelle Vidal
- 155. 94 similarly-worded form letters

Urgent Item: Grant Allocation: Approve Healthy Berkeley Funding Recommendation for Programs to Reduce Consumption of Sugar-Sweetened Beverages (SSBs) for FY24 and FY25 Grant Cycle

156. Submitted by Sugar-Sweetened Beverage Product Panel of Experts

Supplemental Communications and Reports 3

Item #12: Mental Health Services Act (MHSA) Fiscal Years 2024-2026 Three Year Program and Expenditure Plan

157. Revised material, submitted by Health, Housing, and Community Services

Item #35: Resolution Supporting the Unionization of Peet's Coffee Workers

158. Peet's Labor Union

Item #36: Amendments to Title 23 Relating to Accessory Dwelling Units (ADUs) and Repeal of Chapter 12.99 to Conform to State Law and Respond to Guidance from the California Department of Housing and Community Development

- 159. Barbara Gilbert
- 160. TM Scruggs

Item #38a: Surveillance Ordinance items related to Fixed Automated License Plate Readers (ALPRs)

- 161. Presentation, submitted by the Berkeley Police
- 162. Presentation, submitted by the Police Accountability Board
- 163. Joan Adams
- 164. Jenny Wenk
- 165. Juli Dickey
- 166. Norman Chong
- 167. Madeline Feingold
- 168. Becca Freed
- 169. Sue von Baeyer
- 170. Alex Merenkow
- 171. Tracee Farrell
- 172. Diane Tokugawa
- 173. Theo Posselt
- 174. Alice Lee
- 175. Terrence Regan
- 176. Atul Walimbe
- 177. Richard Wallace
- 178. Desmond Yen
- 179. Telegraph for People
- 180. John Caner, on behalf of the Downtown Berkeley Association
- 181. Todd Andrew
- 182. Fran Haselsteiner
- 183. Steve Kromer
- 184. Eric Friedman
- 185. Julie McCray
- 186. Hayne and Catherine Leland
- 187. Arabelle Malinis and Shawn Jackson
- 188. Priya Walimbe
- 189. Eric Friedman
- 190. Josh Buswell-Charkow
- 191. Phan Family
- 192. Nina Lyons
- 193. Berkeley People's Alliance
- 194. Judy Gile
- 195. Elizabeth Turner
- 196. Shirley Issel
- 197. Bohun Kinloch
- 198. Emily Schory
- 199. 8 similarly-worded form letters

Urgent Item

Grant Allocation: Approve Healthy Berkeley Funding Recommendation for Programs to Reduce Consumption of Sugar-Sweetened Beverages (SSBs) for FY24 and FY25 Grant Cycle

200. Marin Bourque, on behalf of the Ecology Center

Excused Absence for Councilmember Kate Harrison

201. Jesse Arreguin, Mayor

Miscellaneous

202. Swanson and McNamara LLP text messages- Anonymous

203. Mr. Eid



Office of the City Manager

CONSENT CALENDAR
September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Mark Numainville, City Clerk

Subject: Establish 2024 City Council Meeting Schedule

RECOMMENDATION

Adopt a Resolution establishing the City Council regular meeting schedule for 2024, with starting times of 6:00 p.m.

FISCAL IMPACTS OF RECOMMENDATION

None.

BACKGROUND

Pursuant to the Open Government Ordinance, the Council must adopt an annual regular meeting schedule with at least 24 regular meetings. The schedule generally consists of either two or three meetings per month and provides for Spring, Summer and Winter recess periods. Meetings have not been scheduled on City holidays, Election Day or days of major religious/cultural observances that have work restrictions pursuant to Council policy.

Four City Council Worksessions will be scheduled for 2024. The Worksession dates are scheduled for the following dates.

- January 23, 2024
- February 6, 2024
- September 17, 2024
- October 8, 2024

The Mayor or a majority of the Council may call special meetings as needed. The Council may also amend the regular meeting schedule when necessary.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects or opportunities, or any climate impacts associated with the subject of this report.

CONSENT CALENDAR September 12, 2023

CONTACT PERSON

Mark Numainville, City Clerk, (510) 981-6900

Attachments:

1: Resolution

Exhibit A: 2024 Council Calendar

2: List of Religious/Cultural Observances for 2024

RESOLUTION NO. ##,###-N.S.

ADOPTING THE CITY COUNCIL 2024 REGULAR MEETING SCHEDULE

WHEREAS, pursuant to the Open Government Ordinance, the Council must adopt an annual meeting schedule with at least 24 regular meetings; and

WHEREAS, the proposed schedule (Exhibit A) provides for regular meetings to occur with starting times of 6:00 p.m. on specified Tuesdays of each month with exceptions provided for recess periods or when a meeting would fall on a City, religious or cultural holiday with work restrictions or Election Day; and

WHEREAS, the Council desires to establish as part of their schedule a Winter, Spring and Summer recess period for 2024; and

WHEREAS, the Mayor or a majority of the Council may call special meetings or revise the regular meeting schedule when necessary.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the Council adopts the 2024 regular meeting schedule on specified Tuesdays at 6:00 p.m. as indicated:

Winter Recess: December 13, 2023 – January 15, 2024
January 16 and January 30, 2024
February 13 and February 27, 2024
March 12 and March 19, 2024
Spring Recess: March 20 – April 15, 2024
April 16, 2024
May 7, May 14, and May 21, 2024
June 4, and June 25, 2024
July 9, July 23 and July 30, 2024
Summer Recess: July 31 – September 9, 2024
September 10 and September 24, 2024
October 1, October 15, and October 29, 2024
November 12, and November 19, 2024
December 3 and December 10, 2024
Winter Recess: December 11, 2024 – January 13, 2025

Exhibit A: 2024 Council Calendar

City Clerk Department 2024 Council Calendar (Subject to change. For the latest information, please contact the City Clerk Department, 510-981-6900.)

Date	Time
January	
Winter Recess (Dec. 13, 2023 – Jan. 15, 2024)
Jan 16	6:00 p.m.
Jan 30	6:00 p.m.
February	
Feb 13	6:00 p.m.
Feb 27	6:00 p.m.
March	
Mar 12	6:00 p.m.
Mar 19	6:00 p.m.
April	
Spring Recess	s (March 20 – April 15, 2023)
April 16	6:00 p.m.
Мау	
May 7	6:00 p.m.
May 14	6:00 p.m.
May 21	6:00 p.m.
June	
June 4	6:00 p.m.
June 25	6:00 p.m.
July	
July 9	6:00 p.m.
July 23	6:00 p.m.
July 30	6:00 p.m.
Summer Rece	ess (July 31 – Sept. 9, 2023)
September	
Sept 10	6:00 p.m.
Sept 24	6:00 p.m.
October	
Oct 1	6:00 p.m.
Oct 15	6:00 p.m.
Oct 29	6:00 p.m.
November	
Nov 12	6:00 p.m.
Nov 19	6:00 p.m.
December	
Dec 3	6:00 p.m.
Dec 10	6:00 p.m.
Winter Recess (Dec. 11, 2024 – Jan. 13, 2025)

Page 5 of 5 City Policy Regarding the Scheduling of City Meetings on All Significant Religious Holidays

Pursuant to Resolution No. 70,066-N.S., it is the policy of the City to avoid scheduling meetings of City Legislative Bodies (City Council, Policy Committees, Commissions, Task Forces) on religious holidays that incorporate significant work restrictions. City legislative bodies must avoid scheduling meetings on the religious holidays listed below.

Religion	Holiday		2024 Date(s)
Shinto	New Year	1/1/2024	thru 1/3/2024
Hindu	Makar Sankranti	1/14/2024	
Cultural	Chinese New Year (Eve, Day, Lantern Festival)	2/9, 2/10, 2/24	
Isalm	Ramadan (Eve & First Night)	3/10/2024	thru 3/11/2024
Jewish*	Purim	3/23/2024	thru 3/24/2024
Hindu	Holi	3/25/2024	
Christian	Good Friday	3/29/2024	
Christian	Easter Sunday	3/31/2024	
Islam	Eid al-Fitr	4/9/2024	thru 4/12/2024
Jewish	Passover (Nights 1, 2, 7, 8)	4/22 - 4/24 & 4/29 - 4/30	
Jewish*	Yom HaShoah	5/5/2024	thru 5/6/2024
Buddhist	Vesak	5/23/2024	
Jewish	Shavuot	6/11/2024	thru 6/13/2024
Islam	Eid al-Adha	6/15/2024	thru 6/19/2024
Jewish*	Tish'a B'Av	8/12/2024	thru 8/13/2024
Shinto	Obon Ceremony	8/13/2024	thru 8/15/2024
Jewish	Rosh Hashanah	10/2/2024	thru 10/4/2024
Jewish	Yom Kippur	10/11/2024	thru 10/12/2024
Hindu	Dussehra	10/12/2024	
Jewish	Sukkot (1st Day)	10/16 - 10/18 & 10/23	
Jewish	Shmini Atzeret/ Simchat Torah	10/23/2024	thru 10/25/2024
Hindu	Diwali	10/31/2024	
Baha'i Faith	Birth of Bab	11/1/2024	thru 11/2/2024
Baha'i Faith	Birth of Baja'u'llah	11/2/2024	thru 11/3/2024
Christian	Christmas	12/25/2024	
Jewish	Chanukah (1st night)	12/25/2024	
Cultural	Kwanzaa	12/26/2024	thru 1/1/2025
Jewish	Shabbat (Friday sunset to Saturday sunset)	Weekly	

^{*} No work restriction, but avoid scheduling meetings if possible



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Mark Numainville, City Clerk

Subject: Police Accountability Board – Appointment of New Member

RECOMMENDATION

Adopt a Resolution appointing a new member to the Police Accountability Board nominated by Councilmember Humbert.

FISCAL IMPACTS OF RECOMMENDATION

All commissioners are eligible to receive a stipend of \$100 per meeting.

CURRENT SITUATION AND ITS EFFECTS

In June of 2021 the Mayor and Members of the City Council nominated and appointed the initial nine members of the PAB and also appointed one alternate commissioner.

There are currently four seats on the PAB that are vacant. The alternate seat is also vacant. In May 2023, Councilmember Humbert did make a new appointment to the PAB, however, that board member decided not to continue his service. Councilmember Humbert has made a new nomination to the PAB.

Commissioner	Nominated By
vacant	Mayor Arreguin
vacant	Councilmember Kesarwani
Regina Harris	Councilmember Taplin
John Moore	Councilmember Bartlett
Kitty Calavita	Councilmember Harrison
Leah Wilson	Councilmember Hahn
Juliet Leftwich	Councilmember Wengraf
vacant	Councilmember Robinson
vacant	Councilmember Humbert
vacant	Alternate

Councilmember Humbert has nominated Brent Blackaby to serve on the Police Accountability Board. Mr. Blackaby meets the eligibility criteria in the City Charter and may be appointed by a majority vote of the Council.

The City Charter provides for the appointment of members to the Police Accountability Board. Article XVIII, Section 125, Part 6 states, "The Mayor and each City Councilmember shall nominate one candidate from an applicant pool at a meeting of the City Council and that each individual nominee must be approved by a majority vote of the City Council."

Members of the Police Accountability Board must:

- Be a resident of the City;
- Be at least 18 years of age
- Not be an employee, officer, or contractor with the City, a current sworn police officer from any agency, or a current employee, official, or representative of an employee association representing sworn police officers; and
- Be fair minded and objective with a demonstrated commitment to community service.

The City Charter indicates that desirable qualities of a Board member are familiarity with human resources, law, police procedures, police oversight, or involvement in civil rights or community organizations and that the City Council shall endeavor to establish a Board that is broadly inclusive and reflective of race, ethnicity, age, gender identity, sexual orientation, economic status, neighborhoods, and various communities of interest in the City.

BACKGROUND

Measure II was adopted on November 3, 2020 by the voters of Berkeley to establish an Office of the Director of Police Accountability and create a new Police Accountability Board (hereafter "Board"), both of which are independent of the City Manager. The members of the Board are approved by vote of the full Council.

All applicants are reviewed and their eligibility is verified by city staff against the requirements of the Charter.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable effects on sustainability or the environment associated with the recommendation in this report.

RATIONALE FOR RECOMMENDATION

The appointment is provided for by the City Charter and pursuant to the nomination submitted by Councilmember Humbert.

<u>ALTERNATIVE ACTIONS CONSIDERED</u> None.

CONTACT PERSON

Mark Numainville, City Clerk, (510) 981-6900

Attachments:

RESOLUTION NO. -N.S.

APPOINTMENT OF BRENT BLACKABY TO THE POLICE ACCOUNTABILITY BOARD

WHEREAS, Measure II was adopted on November 3, 2020 by the voters of Berkeley to create a new Police Accountability Board; and

WHEREAS, Article XVIII, Section 125, Part 6 provides for the Council's appointment of board members; and

WHEREAS, the Councilmember Humbert has submitted a nominee for appointment by the full council; and

NOW THEREFORE BE IT RESOLVED by the Council of the City of Berkeley that the following applicant is are hereby appointed to the Police Accountability Board:

Nominee	Nominated By		
Brent Blackaby	Councilmember Humbert		



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Mark Numainville, City Clerk

Subject: Contract: NetFile for Online Campaign Report, Public Financing, and

Form 700 Filing and Tracking

RECOMMENDATION

Adopt a Resolution authorizing the City Manager to execute a contract with Westcoast Online Information Systems, Inc. dba NetFile for an amount not to exceed \$170,700 for the period October 1, 2023 through September 30, 2028 for online campaign report, public financing, and Form 700 filing, processing, web posting, and tracking.

FISCAL IMPACTS OF RECOMMENDATION

Funds to pay for the services in the contract will be paid from General Fund account #011-32-314-000-0000-000-411-611120.

CURRENT SITUATION AND ITS EFFECTS

In accordance with the provisions of the Government Code, the Berkeley Charter, the Municipal Code, and the Conflict of Interest Code, the City Clerk is the Filing Officer for campaign reports for city campaign committees and candidates as well as Form 700 reports filed by commissioners, employees, and consultants. The City Clerk Department also administers the public financing program for city elections.

The City accepts forms from over 40 campaign committees, numerous candidates, and ballot measure committees during an election cycle. The public financing system requires staff to review and process over 50 matching funds requests with hundreds of corresponding transactions. In addition, over 600 Form 700 filers consisting of commissioners, employees and city consultants file their forms electronically with the City. Tracking this volume of filings requires a robust and efficient system such as NetFile.

NetFile allows the City to publicly post campaign disclosure statements and Form 700 instantly after they are filed. In addition, the data in the campaign filings is more searchable and the data can be easily downloaded for analysis by the public.

Contract: NetFile for Online Campaign Report, Public Financing, and Form 700 Filing and Tracking

The continued use of the NetFile system is a Strategic Plan Priority Project, advancing our goal to be a customer-focused organization that provides excellent, timely, easily-accessible service and information to the community.

BACKGROUND

The NetFile system has been a proven success for the City since 2007. Over the past 16 years NetFile has worked closely with City staff on the development and improvement of the software. In 2014, NetFile performed significant work to assist with the City's transition to mandatory electronic filing. After the passage of the public financing program, NetFile completed significant work to tailor a special module for the City to administer the program. This new five-year contract will seamlessly allow the City to continue to use NetFile to maintain a high level of public transparency and process efficiencies through automation.

The NetFile system is web based and hosted by the vendor. The original purchase and use of NetFile in 2007 was approved by the city's Technology Governance Group, and it has not resulted in additional ongoing workload commitments for IT staff.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

Electronic filing of Form 700s, public financing filings, and campaign statements reduces the amount of paper filings as well as vehicle trips to downtown to file forms in person. The automation and electronic disclosure of public information provides greater access with less use of durable resources and fossil fuels.

RATIONALE FOR RECOMMENDATION

As more compliance filings move toward electronic filing, and with the added complexity of the public financing program, an online administrative tool is required to manage the process. The online tool also provides public access and transparency by automatically posting the compliance filings on the web.

ALTERNATIVE ACTIONS CONSIDERED

Revert back to paper-based systems and hire additional FTEs to manage and process the intake and posting of mandated filings.

CONTACT PERSON

Mark Numainville, City Clerk, (510) 981-6900

Attachments:

CONTRACT: WESTCOAST ONLINE INFORMATION SYSTEMS, INC. DBA NETFILE FOR ONLINE CAMPAIGN REPORT, PUBLIC FINANCING, AND FORM 700 FILING AND TRACKING

WHEREAS, in accordance with the provisions of the Government Code, the Berkeley Charter, the Municipal Code, and the Conflict of Interest Code, the City Clerk is the filing officer for approximately 40 city campaign committees as well as over 600 Form 700 filers; and

WHEREAS, since 2018 the City Clerk Department has administered the public financing program and NetFile completed significant work to tailor a special module for the City to administer the program; and

WHEREAS, tracking this volume of mandated filings requires an automated system that is powerful and efficient; and

WHEREAS, since the implementation of the NetFile in 2007, staff efficiencies have increased, overtime costs have been reduced, errors on campaign filings have decreased, time that it takes to post filings to the web has been shortened, and public access to filings has improved; and

WHEREAS, funds are available in the current year budget in the General Fund, budget code #011-32-314-000-0000-000-411-611120.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is authorized to execute a contract with Westcoast Online Information Systems, Inc. dba NetFile for an amount not to exceed \$170,700 for the period October 1, 2023 through September 30, 2028 for online campaign report, public financing, and Form 700 filing and tracking. A record signature copy of said contract and any amendments to be placed on file in the Office of the City Clerk.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Henry Oyekanmi, Director, Finance

Subject: Formal Bid Solicitations and Request for Proposals Scheduled for Possible

Issuance After Council Approval on September 12, 2023

RECOMMENDATION

Approve the request for proposals or invitation for bids (attached to staff report) that will be, or are planned to be, issued upon final approval by the requesting department or division. All contracts over the City Manager's threshold will be returned to Council for final approval.

FISCAL IMPACTS OF RECOMMENDATION

Total estimated cost of items included in this report is \$9,990,000.

PROJECT	Fund	<u>Source</u>	Amount
Derelict Vessel/Debris Removal & Disposal	607 608		
Sanitary Sewer Rehabilitation Project: The Alameda, Keeler Ave, Euclid Ave, et al.	611	Sewer Fund	\$4,400,000
Sanitary Sewer Rehabilitation Project: Virginia Street, Parker Street, et al	611	Sewer Fund	\$5,500,000
Total:			\$9,990,000

CURRENT SITUATION AND ITS EFFECTS

On May, 6, 2008, Council adopted Ordinance No. 7,035-N.S. effective June 6, 2008, which increased the City Manager's purchasing authority for services to \$50,000. As a

Formal Bid Solicitations and Request for Proposals Scheduled for Possible Issuance After Council Approval on September 12, 2023 CONSENT CALENDAR September 12, 2023

result, this required report submitted by the City Manager to Council is now for those purchases in excess of \$100,000 for goods; and \$200,000 for playgrounds and construction; and \$50,000 for services. If Council does not object to these items being sent out for bid or proposal within one week of them appearing on the agenda, and upon final notice to proceed from the requesting department, the IFB (Invitation for Bid) or RFP (Request for Proposal) may be released to the public and notices sent to the potential bidder/respondent list.

BACKGROUND

On May 6, 2008, Council adopted Ordinance No. 7,035-N.S., amending the City Manager's purchasing authority for services.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

The Finance Department reviews all formal bid and proposal solicitations to ensure that they include provisions for compliance with the City's environmental policies. For each contract that is subject to City Council authorization, staff will address environmental sustainability considerations in the associated staff report to City Council.

RATIONALE FOR RECOMMENDATION

Need for the goods and/or services.

<u>ALTERNATIVE ACTIONS CONSIDERED</u>

None.

CONTACT PERSON

Darryl Sweet, General Services Manager, Finance, 510-981-7329

Attachments:

- 1: Formal Bid Solicitations and Request for Proposals Scheduled for Possible Issuance After Council Approval on September 12, 2023
 - a. Derelict Vessel/Debris Removal & Disposal
 - b. Sanitary Sewer Rehabilitation Project: The Alameda, Keeler Ave, Euclid Ave, et al.
 - c. Sanitary Sewer Rehabilitation Project: Virginia Street, Parker Street, et al.

Note: Original of this attachment with live signature of authorizing personnel is on file in General Services.

DATE SUBMITTED: September 12, 2023

NEXT 30 DAYS

SPECIFICATION NO.	DESCRIPTION OF GOODS / SERVICES BEING	APPROX. RELEASE DATE	APPROX. BID OPENING DATE	INTENDED USE	ESTIMATED COST	BUDGET CODE TO BE CHARGED	DEPT. / DIVISION	CONTACT NAME & PHONE
24-11618-C	Derelict Vessel/Debris Removal & Disposal	9/8/23	10/10/2023	This project includes removal and disposal of derelict vessels that have become the property of the COB through a lien process or have been surrendered. This also includes removal/disposal of in-water debris including broken dock sections.	\$ 90,000.00	FY24 Budget SAVE 2022 \$60,000 607-52-544-592- 0000-000-472- 612990- PRWWF23003 Marina Fund Minor Maintenance \$30,000 608-52-545-000- 0000-000-472- 612990- PRWWF24001	PRW/ Waterfront	Sean Crothers x6744
DEPT. TOTAL					\$90,000			
24-11619-C	Sanitary Sewer Rehabilitation Project: The Alameda, Keeler Ave, Euclid Ave, et al.	9/21/23	10/24/2023	Sewer rehabilitation and replacement project to repair and replace old and deteriorated sewer lines to fulfill Sewer Consent Decree requirement.	\$ 4,400,000.00	611-54-623-676- 0000-000-473- 665130- PWENSR2401	PW- Engineering	Adadu Yemane 981-6413 Srinivas Muktevi 981-6402
24-11621-C	Sanitary Sewer Rehabilitation Project: Virginia Street, Parker Street, et al	9/20/23	10/26/2023	Sewer rehabilitation and replacement project to repair and replace old and deteriorated sewer lines.	\$ 5,500,000.00	611-54-623-676- 3013-000-473- 665130- (\$5,500,000) For reference: ERMA project code: (PWENSR2402)	Public Works – Engineering	Ian Bronswick 981-6399 Daniel Akagi 981-6394

DATE SUBMITTED: September 12, 2023

NEXT 30 DAYS

SPECIFICATION	DESCRIPTION	APPROX.	APPROX. BID	INTENDED USE	ESTIMATED	BUDGET CODE TO	DEPT. / DIVISION	CONTACT NAME
NO.	OF GOODS /	RELEASE	OPENING		COST	BE CHARGED		& PHONE
	SERVICES	DATE	DATE					
	BEING							
DEPT. TOTAL					9,900,000			
TOTAL					\$9,990,000			



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: David Sprague, Fire Chief

Subject: Contract: Swifthawk LLC for Project Management & Consulting

RECOMMENDATION

Adopt a Resolution authorizing the City Manager to execute a contract and any amendments with Swifthawk, LLC (Contractor) to provide project management and consulting services for the Fire Department (Department) from August 7, 2023 to August 31, 2025 in an amount not to exceed \$600,000.

FISCAL IMPACTS OF RECOMMENDATION

The term of this contract ran from August 7, 2023 to August 31, 2025 in the amount not to exceed \$600,000. Funding for this contract are from Measure FF.

CURRENT SITUATION AND ITS EFFECTS

Due to unforeseen and sudden challenges with the original contracted vendor, these services will be transferred to Swifthawk, LLC. The original contract has been an invaluable resource to the Department. The project management and consulting support has made it possible for the Department to launch the FireSafe Berkeley program, improve recruitment strategies, engage in the dispatch needs analysis, apply for multiple grants to support staffing, wildfire prevention and employee health, and engage in a variety of other high-profile projects and programs. The Department is in the midst of a number of large project roll-outs that are running in parallel to one another and the continued project management and consulting support from this contract is critical to success.

BACKGROUND

The Department worked with General Services to release Specification No. 21-11457-C for Fire Department Project Management & Consulting on May 20, 2021 with proposals due on June 22, 2021. Although there were six vendors that attended the question and answer meeting, the City did not receive any responses. Because of the scope and timelines associated with the Department's re-design work, and due to a lack of proposals from the RFP process, the Department requested General Services and City Manager approval for a waiver of competition, which was approved on September 3, 2021. On December 14, 2021, Council adopted Resolution No. 70,151–N.S.,

Contract: Swifthawk LLC for Project Management & Consulting

authorizing the City Manager to execute a contract and any amendments with Ganey Science for Project Management & Consulting. Due to unforeseen circumstances that were not predicted by Ganey Science or the Department, Ganey is unable to continue to deliver a majority of the required scope of work and has agreed that Swifthawk, LLC will assume a majority of the work for the duration of the contract term.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects or opportunities associated with the action requested in this report.

RATIONALE FOR RECOMMENDATION

The City conducted a competitive bid process and received no responses. The Department has a critical business and operational need for this type of expertise and support. The current contractor is no longer able to provide these services.

ALTERNATIVE ACTIONS CONSIDERED None.

CONTACT PERSON

David Sprague, Fire Chief, (510) 981-3473

CONTRACT: SWIFTHAWK LLC FOR PROJECT MANAGEMENT & CONSULTING

WHEREAS, the City released Specification No. 21-11457-C for Fire Department Project Management & Consulting on May 20, 2021 with proposals due on June 22, 2021, and

WHEREAS, although there were six vendors that attended the question and answer meeting, the City did not receive any responses, and

WHEREAS, because of the scope and timelines associated with the Department's redesign work, and due to a lack of proposals from the RFP process, the Department requested General Services and City Manager approval for a waiver of competition, which was approved on September 3, 2021, and

WHEREAS, on December 14, 2021, Council adopted Resolution No. 70,151–N.S., authorizing the City Manager to execute a contract and any amendments with Ganey Science for Project Management & Consulting, and

WHEREAS, due to unforeseen and sudden challenges with the original contracted vendor, these services will be transferred to Swifthawk, LLC.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley adopt a Resolution authorizing the City Manager to execute a contract and any amendments with Swifthawk, LLC to provide project management and consulting services for the Fire Department from August 7, 2023 to August 31, 2025 in an amount not to exceed \$600,000.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: David Sprague, Fire Chief, Fire Department

Subject: Contract No. 32300094 Amendment: Restoration Family Counseling Center

for Counseling, Education and Support

RECOMMENDATION

Adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32300094 for Counseling, Education and Support for the Fire Department (Department); with Restoration Family Counseling Center Inc. (RFCC), increasing the total contract amount from \$80,000 to \$308,000.

FISCAL IMPACTS OF RECOMMENDATION

The original term of this contract is from December 1, 2022 through November 30, 2024 in an amount not to exceed \$80,000. This amendment will increase the value for that period from \$80,000 to \$128,000. If the two-year extension is enacted from December 1, 2024 through November 30, 2026, the total value of that term shall not exceed \$180,000. The total contract shall not exceed \$308,000. Funding is budgeted in Measure FF and the General Fund.

CURRENT SITUATION AND ITS EFFECTS

This contract amendment supports the Employer of Choice Initiative by providing training and support directly to Berkeley's first responders. This is a pilot program that is on the progressive edge of municipal recognition and support of preventing and mitigating the impacts the career can have to employee's mental health.

The amendment will provide over 200 hours annually of clinical counseling services provided by RFCC's master's and doctorate level clinicians. These counselors are specially trained and equipped to help first responders.

BACKGROUND

The link between workplace experiences encountered during a career in emergency services and mental health problems is now well documented. PTSD and depression rates among firefighters have been found to be as much as five times higher than the rates within the civilian population. Providing early intervention following traumatic

Contract No. 32300094 Amendment: Restoration Family Counseling Center for Counseling, Education and Support

incidents, and having an established peer-based counseling service are two key ways to prevent the progression of mental health problems in the workforce.

RFCC is composed of professional staff who were influential founders and continue to be active participants in the West Coast Post Trauma Retreat (WCPR). WCPR is the gold standard in-patient, residential crisis treatment center for first responders on the West Coast. This group of clinicians within a geographic region that allows them to respond 24/7 within 30 minutes, has unique and relevant experience, and is able to respond to the unpredictable and often off hours nature of Department requests for assistance.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

This contract does not create environmental sustainability or climate change effects.

RATIONALE FOR RECOMMENDATION

Spending a career in public safety is extremely rewarding, but also has acute and cumulative impacts to employee's mental health. It is the obligation of the employer to prevent and mitigate these impacts through education and post incident support. Department efforts continue progress with the goal of reducing lost time, decreasing the number of workers compensation claims, and improving the mental health and resiliency of City of Berkeley employees.

ALTERNATIVE ACTIONS CONSIDERED

None.

CONTACT PERSON

Julian Christy, PCU Founder, Apparatus Operator, Fire Department, (510) 981-3473 Duncan Allard, PCU Founder, Fire Inspector, Fire Department, (510) 981-3473 David Sprague, Fire Chief, (510) 981-3473

Attachments:

Contract No. 32300094 Amendment: Restoration Family Counseling Center for Counseling, Education and Support

RESOLUTION NO. ##,###-N.S.

CONTRACT AMENDMENT: RESTORATION FAMILY COUNSELING CENTER FOR COUNSELING, EDUCATION AND SUPPORT

WHEREAS, the link between workplace experiences encountered during a career in emergency services and mental health problems is now well documented. PTSD and depression rates among firefighters have been found to be as much as five times higher than the rates within the civilian population. Providing early intervention following traumatic incidents, and having an established peer-based counseling service are two key ways to prevent the progression of mental health problems in the workforce, and

WHEREAS, Restoration Family Counseling Center Inc. (RFCC) is composed of professional staff who were influential founders and continue to be active participants in the West Coast Post Trauma Retreat (WCPR). WCPR is the gold standard in-patient, residential crisis treatment center for first responders on the West Coast. This group of clinicians within a geographic region that allows them to respond 24/7 within 30 minutes, has unique and relevant experience, and is able to respond to the unpredictable and often off hours nature of Department requests for assistance, and

WHEREAS, this contract amendment supports the Employer of Choice Initiative by providing training and support directly to Berkeley's first responders. This amendment will provide over 200 hours annually of clinical counseling services provided by RFCC's master's and doctorate level clinicians. These counselors are specially trained and equipped to help first responders. This is a pilot program that is on the progressive edge of municipal recognition and support of preventing and mitigating the impacts the career can have to employee's mental health; and

WHEREAS, Funding is budgeted in Measure FF and the General Fund.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley adopt a Resolution authorizing the City Manager to execute an amendment to Contract No. 32300094 for Counseling, Education and Support for the Fire Department; with Restoration Family Counseling Center Inc., increasing the total contract amount from \$80,000 to \$308,000 with funds from Measure FF and the General Fund.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Dr. Lisa Warhuus, Director, Health, Housing, and Community Services

Subject: Accept Future of Public Health Funds from the State of California

RECOMMENDATION

Adopt a Resolution authorizing the City manager to submit grant agreements to the State of California, to accept the grants, and to execute any resultant revenue agreements and amendments for the Future of Public Health program for an amount of \$912,213 for each of the following: Fiscal Year 2024, Fiscal Year 2025, and Fiscal Year 2026.

FISCAL IMPACTS OF RECOMMENDATION

The City's award for each Fiscal Year is \$912,213 and needs to be expended by June 30th or the last day of each of the following: Fiscal Year 2024, Fiscal Year 2025, and Fiscal Year 2026.

Funding will be recommended for appropriation through the first amendment to the appropriations ordinance in the State Operating Grant Fund (Fund 302).

CURRENT SITUATION AND ITS EFFECTS

The State's Budget Act of 2022 created a new funding stream called the Future of Public Health, intended to support and grow California's public health infrastructure. The funds are in the budget baseline and are planned to be an ongoing source of funding. As a local public health jurisdiction, the City is entitled to a base award of \$350,000 and additional funds awarded by formula. At least 70% of funds must be spent on permanent City staff costs and training, and up to 30% can be used for equipment, supplies and other administrative costs.

The funding comes with certain requirements, including the submission of a public health improvement plan, the use of evaluation and Results Based Accountability to measure success, and staff participation in specified regional public health groups.

The City's public health activities are a Strategic Plan Priority Project, advancing our goals to champion and demonstrate social and racial equity and to be a customer-focused organization that provides excellent, timely, easily-accessible service and information to the community.

BACKGROUND

The vast majority of the City's health funding grants support strictly defined health activities and services and come with extensive reporting requirements. In contrast, the Future of Public Health funds can be used relatively flexibly to support the City's infrastructure to plan, coordinate and deliver programs to address specific local needs, most notably reducing public health disparities.

The City of Berkeley is a thriving community with considerable wealth, high levels of education attainment, and a rich culture that all contribute to a healthy community. However, Berkeley is not a city where all people are living long and healthy lives and achieving the highest possible level of health. In Berkeley, African American/Black and other people of color are more likely to die prematurely and experience a wide variety of adverse health conditions throughout their lives.

As reported in the 2018 City of Berkeley Health Status Report, higher incidence of disease is linked to neighborhoods that have been historically under-resourced and overexposed to unhealthy conditions. These neighborhoods have more people living in poverty and more people of color than surrounding neighborhoods. Like other jurisdictions, these historic and ongoing health inequities have been exacerbated by the impacts of the COVID-19 pandemic. Communities of color, specifically African American/Black and Hispanic/Latinx residents, have a higher COVID-19 positivity rate, hospitalizations, and deaths compared to White residents.

Since 2018, extensive work has been done by Health, Housing, and Community Services (HHCS) to analyze and identify solutions to overcome the underlying issues that perpetuate these health inequities. HHCS programs serve individuals who are most impacted in Berkeley and continue to make progress toward solving health inequities that have existed and been exacerbated by the COVID-19 pandemic.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no environmental effects associated directly with accepting public health funding.

RATIONALE FOR RECOMMENDATION

Accepting these funds will allow the City to grow its infrastructure for public health.

ALTERNATIVE ACTIONS CONSIDERED

None.

CONTACT PERSON

Kellie Knox, Future of Public Health Coordinator, HHCS, (510) 981-5301

Attachments:

ACCEPTING STATE OF CALIFORNIA FUTURE OF PUBLIC HEALTH FUNDS

WHEREAS, the City of Berkeley has been a public health jurisdiction for more than one hundred years; and

WHEREAS, in Berkeley communities of color, specifically African American/Black and Hispanic/Latinx residents continue to experience disparate health outcomes, which have been exacerbated by the COVID-19 pandemic; and

WHEREAS, in recognition of public health needs throughout California the state budget established funds for the Future of Public Health program; and

WHEREAS, as a public health jurisdiction the City is eligible to receive an allocation of Future of Public Health funds.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is hereby authorized to submit grant agreements to the State of California, to accept the grants, and execute any resultant revenue agreements and amendments for the Future of Public Health program for an amount of \$912,213 annually in Fiscal Year 2024, Fiscal Year 2025 and Fiscal Year 2026. Funding will be recommended for appropriation through the first amendment to the appropriations ordinance in the State Operating Grant Fund (Fund 302) A record signature copy of said agreements and any amendments shall be on file in the office of the City Clerk.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Lisa Warhuus, Director, Health, Housing, and Community Services

Subject: Taxi Scrip Redemption Window Cash Drawer Increase

RECOMMENDATION

Adopt a Resolution authorizing City Manager or her designee to increase the cash drawer amount for the weekly Taxi Scrip Redemption window from \$15,000 to \$20,000.

FISCAL IMPACTS OF RECOMMENDATION

Funding in the amount of \$500,000 for the cash drawer increase is available in the Aging Services Division's Measure BB Fund (Fund 136).

CURRENT SITUATION AND ITS EFFECTS

The current cash drawer amount allows the Aging Services Division's Berkeley Rides for Seniors & the Disabled (BRSD) program to disburse \$1,000 per driver, one day per week, to taxi drivers redeeming taxi scrip. With an increase in taxi scrip distribution to program participants, and twenty-three (23) current permitted taxi drivers, disbursable funds are often depleted before the close of business. This results in non-payment or partial payment to some taxi drivers.

BACKGROUND

City Council approved current cash drawer amount of \$15,000 on January 23, 2018.

Transportation is one of the most significant issues facing seniors and people with disabilities. To address this need, Alameda County voters approved the passage of Measure BB in 2014, which enables the Alameda County Transportation Commission to continue to administer the proceeds from the one-half cent transportation sales tax from Measure BB. The inception date for Measure BB began on April 1, 2015.

Measure BB Funds are a critical resource in the Berkeley community to support the needs of disabled and senior Berkeley residents. The City of Berkeley utilizes these funds to administer the BRSD Taxi Scrip and High Medical Need Taxi Scrip (supplemental taxi scrip) Program through the Aging Services Division, which increases transportation options for disabled and senior community members in Berkeley.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

Taxi transportation allows the disabled and senior residents of Berkeley to engage with the community and potentially rideshare.

RATIONALE FOR RECOMMENDATION

Berkeley taxi drivers are required by Berkeley Municipal Code Ordinance 7336 to provide service to recipients of BRSD taxi scrip. The current Taxi Scrip Redemption Window cash drawer amount allows BRSD to disburse \$1,000 per driver, one day per week, to taxi drivers redeeming taxi scrip vouchers. However, the current amount does not meet the current need. By increasing the cash drawer amount, BRSD will be able to ensure all taxi drivers receive the full amount of their allowable weekly cash disbursement.

ALTERNATIVE ACTIONS CONSIDERED

Not increasing the weekly cash drawer amount can result in some drivers not getting their allowable weekly disbursement of \$1,000.

CONTACT PERSON

Mary Triston, Transportation Services Coordinator, HHCS, 510-981-5135

Attachments:

INCREASE BERKELEY RIDES FOR SENIORS & THE DISABLED TAXI SCRIP REDEMPTION WINDOW CASH DRAWER AMOUNT

WHEREAS, the City of Berkeley Municipal Code Ordinance 7,336-NS requires taxi drivers to accept Berkeley Rides for Seniors & the Disabled Taxi Scrip as payment for services; and

WHEREAS, Alameda County voters passed Measure BB in 2014, which enables the Alameda County Transportation Commission to continue to administer the proceeds from the one-half cent transportation sales tax Measure; and

WHEREAS, Berkeley taxi drivers are providers of critical transportation services to disabled and senior Berkeley residents; and

WHEREAS, City Council approved current cash drawer amount of \$15,000 on January 23, 2018; and

WHEREAS, funding in the amount of \$500,000 for the cash drawer increase is available in the Aging Services Division's Measure BB Fund Account 136-51-505-542-2038-000-444.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is authorized to increase the weekly Taxi Redemption Window cash drawer amount to \$20,000. A record signature copy of said contract and any amendments to be on file in the City Clerk Department.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Lisa Warhuus, Director, Health, Housing, and Community Services

Subject: Contract: The Housing Workshop for Social Housing Models & Market

Analysis

RECOMMENDATION

Adopt a Resolution authorizing the City Manager to execute a contract and any amendments with The Housing Workshop to provide policy model research and market analysis to inform social housing initiatives for the Department of Health, Housing, and Community Services (HHCS) from September 13, 2023 to September 13, 2024 in an amount not to exceed \$175,000.

FISCAL IMPACTS OF RECOMMENDATION

The term of this contract is from September 13, 2023 to September 13, 2024. Funding for the development of a social housing policy was included within the FY 2023 Adopted Budget. The funding for the Social Housing Models & Market Analysis project will be requested as a carryover as part of the first amendment to the Annual Appropriation Ordinance.

<u>CURRENT SITUATION AND ITS EFFECTS</u>

On November 9, 2021, the Berkeley City Council adopted Resolution 70,101–N.S. recognizing housing as a human right, and referred to the City Manager's Office several measures to begin developing social housing in the City of Berkeley.

The City sought a qualified firm to assist with two components of this referral:

- A study of potential social housing models for the City of Berkeley, including the possibility of a Reparative Justice Revolving Loan Fund for social housing; and
- A study on the development potential, including density bonuses, for mixedincome social housing development, including a case study on 1-2 city-owned parcels. Models should maximize cross subsidies to balance a project's ability to serve a range of lower AMI households while being financially self-sustaining.

RFP Specification No. 23-11580-C was released on April 4, 2023 seeking consulting services to conduct market analysis on social housing models. Four proposals were

submitted by the May 9, 2023 deadline. The selection committee was comprised of a Senior Community Development Project Coordinators from HHCS/HCS, a Planning Manager from the Department of Planning and Development, and the Executive Director of Berkeley Housing Authority. The committee selected The Housing Workshop, with Urban Math and PlaceWorks as subcontractors, as the most qualified applicant. Staff request this contract authorization in order to initiate work with The Housing Workshop to produce a report on policy model research and market analysis to inform social housing initiatives, as well as to conduct stakeholder engagement.

Social Housing supports the Strategic Plan Priority Project to create affordable housing and housing support service for our most vulnerable community members.

BACKGROUND

There are multiple definitions for social housing. Common characteristics include public or social ownership (e.g., by a nonprofit, cooperative, or community land trust); permanent affordability; mixed-income developments; and resident governance.

HCS Staff and The Housing Workshop will work together to examine social housing concepts and how they can be applied to Berkeley via policy research, stakeholder engagement, and market analysis/site studies.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no specific environmental sustainability and climate impacts associated with this contract. Social housing best practices include climate-friendly architectural innovation. This study will assist with the implementation of social housing initiatives in Berkeley.

RATIONALE FOR RECOMMENDATION

The City conducted a competitive bid process and the application from The Housing Workshop, with Urban Math and PlaceWorks as subcontractors, successfully met the bid requirements and ranked highest among all bidders given their knowledge of Berkeley's existing affordable housing initiatives and applicable experience working on similar projects with other jurisdictions in California.

ALTERNATIVE ACTIONS CONSIDERED

The Review Committee did not find the three other proposals received in response to the RFP to offer the same breadth of experience and local knowledge as the selected team.

CONTACT PERSON

Anna Cash, Community Development Project Coordinator, HHCS, (510) 981-5403 Mike Uberti, Sr. Community Development Project Coordinator, HHCS, (510) 981-5114

Contract: The Housing Workshop for Social Housing Models & Market Analysis

CONSENT CALENDAR September 12, 2023

Attachments:

1: Resolution

Page 3 Page 139

CONTRACT: THE HOUSING WORKSHOP FOR SOCIAL HOUSING MODELS AND MARKET ANALYSIS

WHEREAS, the City of Berkeley issued a Request for Proposals (RFP) to obtain consulting services to conduct Social Housing Models and Market Analysis; and

WHEREAS, the City conducted RFP Specification No. 23-11580-C with proposals due no later than May 9, 2023; and

WHEREAS, the City received four proposals in response to this RFP; and

WHEREAS, the City conducted a competitive bid process and an application from The Housing Workshop, with Urban Math and PlaceWorks as subcontractors, successfully met the bid requirements.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is authorized to execute a contract and any amendments with The Housing Workshop to provide consulting services to conduct Social Housing Models and Market Analysis from September 13, 2023 to September 13, 2024 in an amount not to exceed \$175,000.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Lisa Warhuus, Director, Health, Housing, and Community Services

Subject: Expenditure Contract: Persimmony International for Electronic Medi-Cal

Administrative Activities and Targeted Case Management Documentation

RECOMMENDATION

Adopt a Resolution authorizing the City Manager or her designee to execute an expenditure agreement, and any amendments or extensions, with Persimmony International for ongoing system maintenance of web-based Medi-Cal Administrative Activities (MAA) time study documentation, and Targeted Case Management (TCM) documentation.

The contract will be in an encumbered amount of \$289,011 for the period July 1, 2023 through June 30, 2027.

FISCAL IMPACTS OF RECOMMENDATION

Funding in the amount of \$53,359 will be available in Fiscal Year 2024 in the Aging Services Targeted Case Management fund (Fund 313) to support time studying and case management services. Future funding is subject to appropriation in the FY 2025 - 2027 budget(s) in the Aging Services Targeted Case Management fund (Fund 313).

CURRENT SITUATION AND ITS EFFECTS

The electronic time studying and case management system contract with Persimmony International will enable the Aging Services and Public Health Divisions to accurately code and document time study activities, as well as conduct timely case management documentation, both in the office and in the field. The web-based software also enables staff to run monthly, quarterly, and yearly reports, required for MAA and TCM invoicing to the state, and MAA and TCM quality assurance.

BACKGROUND

Persimmony International, a City vendor, has been providing web-based software, ongoing system maintenance, and technical assistance to support the MAA and TCM programs of both the Aging Services and Public Health Divisions in the Health, Housing, and Community Services Department since 2018. MAA and TCM are federally-reimbursable programs that directly support Medi-Cal services to clients.

The original contract was managed by the Information Technology Department. The Aging Services Division will manage the contract partnership with Persimmony International beginning in FY2024.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

A web-based time studying and case management system significantly reduces the use of paper products by enabling staff to enter time studies, and run reports, online. This allows for electronic submission of reports and supporting documentation directly to the state.

RATIONALE FOR RECOMMENDATION

Persimmony International is a current City vendor that hosts a web-based electronic time studying and case management system. They also provide ongoing system maintenance and upgrades, as well as responsive technical support. They work closely with local jurisdictions to make technical adjustments to the software to best meet reporting and invoicing needs.

ALTERNATIVE ACTIONS CONSIDERED

The City could not provide essential Medi-Cal administrative activities and case management services without the ability to document these activities and services, and submit this documentation for reimbursement. Web-based electronic documentation facilitates staff workload and increases efficiency; paper-based documentation would place larger time, energy, and office space burdens on the programs. Additionally, Persimmony's web-based documentation system is well-established to meet the time study and case management needs of local jurisdictions, and they have an established working relationship with the California Department of Health Care Services.

CONTACT PERSON

Tanya Bustamante, Aging Services Division Manager, HHCS, 981-5178

Attachments:

CONTRACT: PERSIMMONY INTERNATIONAL FOR ELECTRONIC MEDI-CAL ADMINISTRATIVE ACTIVITIES AND TARGETED CASE MANAGEMENT DOCUMENTATION

WHEREAS, Persimmony International has provided the Aging Services and Public Health Divisions of the Health, Housing, and Community Services Department with web-based Medi-Cal Administrative Activities (MAA) time study documentation, and Targeted Case Management (TCM) documentation since 2018; and

WHEREAS, Persimmony's web-based software allows staff to accurately code and document time study activities, conduct timely case management documentation, and generate reports required for program invoicing to the state; and

WHEREAS, first year funding in the amount of \$53,359 is available in the Fiscal Year 2024 budget in Aging Services Targeted Case Management Fund Account 313-51-505-548-2071-000-444-; and

WHEREAS, first year funding is available in the Fiscal Year 2024 budget in Aging Services Targeted Case Management Fund Account 313-51-505-548-2071-000-444-; and

WHEREAS, future funding is subject to appropriation in the FY 2025 -2027 budget(s) in the Aging Services Targeted Case Management fund (Fund 313).

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is authorized to execute a contract and any amendments, with Persimmony International to host and maintain web-based Medi-Cal Administrative Activities and Targeted Case Management documentation software in an amount not to exceed \$289,011 for the period July 1, 2023 thru June 30, 2027. A record signature copy of said contract and any amendments to be on file in the City Clerk Department.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Lisa Warhuus, Director, Health, Housing, and Community Services

Subject: Contract No. 31900009 Amendment: Building Opportunities for Self-

Sufficiency (BOSS) for McKinley House (2111 McKinley Avenue,

Berkeley, CA 94703)

RECOMMENDATION

Adopt a Resolution authorizing the City Manager or her designee to execute an amendment to Contract No. 31900009 with Building Opportunities for Self-Sufficiency (BOSS) through November 1, 2025, adding \$287,712 for a total contract amount of \$945,424, to fund Mental Health clients living at 2111 McKinley Avenue in Berkeley. This will extend the contract by two years.

FISCAL IMPACTS OF RECOMMENDATION

Funds for the scope of work in the amount of \$287,712 will be provided from the Mental Health Services Act Fund 315. Funding is available in the Fiscal Year 2024 budget.

CURRENT SITUATION AND ITS EFFECTS

The City has utilized BOSS as the property manager for 2111 McKinley Avenue for many years, and they have provided this vital service efficiently and reliably. The project houses six clients of the Mental Health Division's Full Service Partnership (FSP) program, and the funding will be used to support the operating costs for BOSS. The Mental Health Division would like to extend the current contract by two years, allowing BOSS to continue to provide much needed housing support for some of our most vulnerable clients.

BACKGROUND

The City owns the parcel located at 2111 McKinley Avenue (Alameda County Assessor's Parcel No. 52-2017-16-1), known as McKinley House. The land is improved with a seven-unit apartment building. Six of those units are utilized as supportive housing units for FSP Program clients, and one unit is used for an onsite property manager. The City's Mental Health Division operates the Full Service Partnership, which provides an intensive service program for adults ages 18 and older who have been diagnosed with mental illness. Funded by Proposition 63, in the Community Services and Supports component of the Mental Health Services Act, the FSP Program

Contract No. 31900009 Amendment: McKinley House

works with a team approach in partnership with eligible individuals to develop and assist in the achievement of individualized recovery-focused goals to enable persons with serious mental illness to live successfully in the community rather than in institutions.

The Mental Health Division and BOSS desire to continue collaborating to provide housing and supportive services at McKinley House to participants in the FSP Program who are referred by the Mental Health Division. The approach to achieving this objective consists of the City leasing the property to BOSS, who in turn subleases the individual dwelling units to eligible individuals referred by the Mental Health Division. BOSS provides property management services, and the Mental Health Division provides services to residents through the FSP Program.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects, sustainability opportunities, or climate impacts associated with the subject of this report.

RATIONALE FOR RECOMMENDATION

BOSS has been providing property management services at 2111 McKinley Avenue for many decades, and has done so in a satisfactory capacity.

ALTERNATIVE ACTIONS CONSIDERED

None.

CONTACT PERSON

Jeffrey Buell, Manager of Mental Health Services, (510) 981-7682 Conor Murphy, Associate Management Analyst, HHCS, (510) 981-7611

Attachments:

1: Resolution

RESOLUTION NO. ##,###-N.S.

CONTRACT NO. 31900009 AMENDMENT: BUILDING OPPORTUNITIES FOR SELF-SUFFICIENCY (BOSS) FOR MCKINLEY HOUSE

WHEREAS, vendor Building Opportunities for Self Sufficiency (BOSS) has operated McKinley House as transitional housing for homeless families for several decades; and

WHEREAS, the Master Lease and Property Management Agreement for McKinley House was approved by the Council of the City of Berkeley by Ordinance No. 7,619-N.S. on July 24, 2018; and

WHEREAS, a contract authorizing BOSS to provide property management services at McKinley House was approved by the Council of the City of Berkeley by Resolution No. 67,748-N.S. on November 29, 2016; and

WHEREAS, on December 15, 2020 by Resolution No. 69,651-N.S., City Council approved an amendment to Contract No. 31900009; and

WHEREAS, on October 26, 2021 by Resolution No. 70,077-N.S., City Council approved an amendment to Contract No. 31900009; and

WHEREAS, funding for these services and supports are available in the Fiscal Year 2024 budget, subject to adoption of the Annual Appropriations Ordinance.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to execute an amendment to Contract No. 31900009 with Building Opportunities for Self-Sufficiency (BOSS) to provide property management services for McKinley House through November 1, 2025 in an amount not to exceed \$945,424 and funded through the Mental Health Services Act Fund 315. A record signature copy of said contract and any amendments to be on file in the City Clerk Department.



Office of the City Manager

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Aram Kouyoumdjian, Director of Human Resources

Subject: Contract: Sensis, Inc. for Recruitment and Marketing Services

RECOMMENDATION

Adopt a Resolution authorizing the City Manager to execute a contract with Sensis, Inc. for recruitment and marketing services, in an amount not to exceed \$250,000 over two years: \$125,000 in the first year, with an option to renew for a second year for an additional \$125,000.

FISCAL IMPACTS OF RECOMMENDATION

Council already approved \$250,000 in funding (account code 011-34-341-000-0000-000-412-612990) for a full-service recruitment and marketing agency at its February 28, 2023 meeting in support of the first phase of the Employer of Choice initiative. Due to the timing involved in selecting an agency, this funding will be requested as a FY 2023 carryover as part of the first amendment to the FY 2024 Annual Appropriation Ordinance. This amount will be utilized over two years: \$125,000 in the first year of the contract and an additional \$125,000 in the second year of the contract, should the City exercise its option to renew.

CURRENT SITUATION AND ITS EFFECTS

Over the past year, the City has initiated various strategies – such as remote testing and continuous exams – to increase hiring and reduce vacancy rates. However, the City's presence on social media and digital platforms for recruitment purposes remains limited. Council approved funding to engage a full-service recruitment and marketing agency to develop and implement outreach campaigns, and Sensis, Inc. was selected as the vendor for this purpose following the issuance of a request for proposals (RFP).

Pursuant to the contract, Sensis, Inc. will work with the Human Resources Department to create a recruitment campaign strategy; to develop visual assets (e.g., social media posts, videos, and ads) to promote a wide array of City jobs, from engineers and mechanics to mental health nurses and landscape gardeners; place targeted ads; and analyze data to assess reach, click-through rates, and overall return on investment (ROI).

BACKGROUND

A key component of the Employer of Choice roadmap was a concerted effort to build the necessary infrastructure to recruit online, via social media and digital platforms. In support of this effort, Council approved a \$250,000 allocation for the engagement of a full-service marketing firm. The City issued an RFP for a one-year engagement at \$125,000 with an option to renew in the second year – for a total contract value not to exceed \$250,000. Submissions were screened down to three finalists, which underwent further review by a panel that included representatives from various departments. Based on their input, Sensis, Inc. was selected as the vendor.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

By emphasizing digital outreach efforts, the City's recruitment campaign will avoid consumption of paper for print materials.

RATIONALE FOR RECOMMENDATION

The City has recognized the need to enhance its digital recruitment efforts using a full-service marketing agency. Sensis, Inc., the vendor selected to assist the City in developing and implementing a strategic recruitment campaign, was the successful bidder following a public request for proposals. Its submission meets or exceeds all the City's requirements, and its bid is within the budgetary parameters set by Council.

ALTERNATIVE ACTIONS CONSIDERED

The City sent out a request for proposals, which generated six responses. All bid submissions were thoroughly considered and evaluated before the field was narrowed down to three finalists. The ultimate selection was made following input by a selection panel that included representatives from multiple departments.

CONTACT PERSON

Aram Kouyoumdjian, Director of Human Resources, (510) 981-6807.

Attachments:

1. Resolution

RESOLUTION NO. XX,XXX-N.S.

CONTRACT: SENSIS, INC. FOR RECRUITMENT AND MARKETING SERVICES

WHEREAS, the City wishes to increase hiring and reduce vacancy rates by expanding its recruitment presence on social media and digital platforms; and

WHEREAS, the roadmap for the Employer of Choice initiative cited the need for City infrastructure for online recruitment; and

WHEREAS, at its February 28, 2023 meeting Council approved \$250,000 in funding for a full-service recruitment and marketing agency; and

WHEREAS, the Human Resources Department issued a Request for Proposals (RFP) for a full-service marketing firm; and

WHEREAS, Sensis, Inc. was the agency selected through the RFP process as the vendor for a recruitment and marketing services contract.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is authorized to execute a contract with Sensis, Inc. for recruitment and marketing services, in an amount not to exceed \$250,000 over two years: \$125,000 in the first year, with an option to renew for a second year for an additional \$125,000.

BE IT FURTHER RESOLVED that a record signature copy of said contract and any amendments be on file in the Office of the City Clerk.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Aram Kouyoumdjian, Director of Human Resources

Subject: Establish Classification and Salary Range – Lactation Counselor

RECOMMENDATION

Adopt a Resolution establishing the unrepresented classification of Lactation Counselor with an hourly salary range of \$41.1351 - \$50.0000, and an annual salary range of \$85,561.0080 - \$104,000.00, in order to utilize grant funding to employ an International Board Certified Lactation Consultant (IBCLC) who will oversee the City's Breastfeeding Peer Counselor Program and provide additional public health services to the City of Berkeley community.

FISCAL IMPACT

The proposed salary range of Lactation Counselor is \$41.1351 - \$50.0000 hourly, and \$85,561.0080 - \$104,000.0000 annually. The City of Berkeley's Health, Housing, and Community Services (HHCS) Department intends to staff the position as a limited-term, not-to-exceed-two-year position, at 10 hours per week (0.25 FTE), which will be funded for fiscal years 2022 to 2025 by a grant administered by the California Department of Public Health titled United States Department of Agriculture Breastfeeding Peer Counseling Program (BPC). The BPC program is part of the total WIC budget under Project String HHPWIC2302. It is an amendment to WIC City of Berkeley Contract No. 22-10233 A01. The department's intention is to maintain the Lactation Counselor position as an intermittent, hourly, non-benefited, grant-funded position.

CURRENT SITUATION AND ITS EFFECTS

Within the independent local health jurisdiction of HHCS, the Public Health Division collaborates with community members and partners to achieve health equity and optimal health for all people in Berkeley through systems change and service provision.

Page 2 of 8

Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023

Staff provides family support services, emergency preparedness, youth empowerment and employment programs, and health promotion/education to support our community in navigating the social, educational, economic, and environmental impacts on health.

The Division of Public Health includes the Women, Infants, and Children (WIC) program that provides nutrition and health services to low-income individuals who are or were recently pregnant, and children under five. Services include nutrition and breastfeeding education for pregnant women, nursing mothers, infants, and children. Participants also receive individual nutrition counseling and general nutrition education, assistance for pregnant and breastfeeding women, as well as an electric pump loan program and breastfeeding classes.

Recently, the City was awarded a grant in the amount of \$97,500 per year for fiscal years 2022 to 2025 to start a Breastfeeding Peer Counselor Program. The program improves the breastfeeding initiation and duration rates by providing peer breastfeeding support, technical assistance, and oversight by International Board Certified Lactation Consultants (IBCLC). The grant award pays for an IBCLC certified Lactation Counselor, a portion of the WIC Director's administrative duties, and for one Peer Counselor's salary. It also covers miscellaneous operating expenses.

One of the requirements to receive and maintain grant funding is to staff the program with an IBCLC certified Lactation Counselor to serve as the designated breastfeeding expert for the City, provide complex breastfeeding support, lead community education, and oversee, mentor, and provide education for Community Health breastfeeding peer counselors. The proposed job classification includes the IBCLC certification requirement, and encompasses all the duties and requirements outlined in the grant. The Lactation Counselor will report to the City's WIC Director, who has overall responsibility for managing the WIC program. The Lactation Counselor will also serve as a lead to Community Health Worker Specialists, who will act as Peer Counselors (PC).

BACKGROUND

The proposed salary range for Lactation Counselor is \$41.1351 - \$50.0000 per hour, and reflects the mean of the surrounding agencies for similar positions occupied by International Board Certified Lactation Consultants (IBCLC), including the City and County of San Francisco, and the counties of Alameda, Contra Costa, Marin, and Solano.

Page 3 of 8

Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023

The Personnel Board discussed and voted at its May 1, 2023 meeting, and subsequently discussed a revised salary structure and voted at its July 10, 2023 meeting, to send this classification and salary to the City Council for approval (Motion to Approve: Dixon/Lacey; Vote - Ayes: Dixon, Karpinski, Lacey, O'Loughlin; Noes: None; Abstains: None; Absent: Bartlow, Gilbert, Wenk.).

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects or opportunities associated with the subject of this report.

RATIONAL FOR RECOMMENDATION

This job class specification is being created to effectuate grant funding for the City's Breastfeeding Peer Counselor Program, and to provide necessary education, counseling, and breastfeeding support for program participants.

ALTERNATIVE ACTIONS CONSIDERED

None.

CONTACT PERSON

Aram Kouyoumdjian, Director of Human Resources, 510-981-6807.

ATTACHMENTS

- 1. Resolution
- 2. Proposed Job Class Specification and Salary Range Lactation Counselor

Page 4 of 8

Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023

RESOLUTION NO. XX,XXX - N.S.

CLASSIFICATION: LACTATION COUNSELOR

WHEREAS, the Human Resources Department maintains the Classification and Compensation plan for the City of Berkeley; and

WHEREAS, the City has been awarded a grant to effectuate the City's Breastfeeding Peer Counselor Program, which requires the employment of an International Board Certified Lactation Consultant (IBCLC); and

WHEREAS, the Human Resources Department has completed a classification review and recommended the establishment of the unrepresented Lactation Counselor job classification; and

WHEREAS, the Personnel Board recommended on July 10, 2023 to establish the unrepresented Lactation Counselor job class specification and salary range effective September 12, 2023.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the classification for Lactation Consultant is established, with an hourly salary range of \$41.1351 - \$50.0000, and an annual salary range of \$85,561.0080 - \$104,000.0000, effective September 12, 2023.

Step 1	Step 2	Step 3	Step 4	Step 5
\$41.1351	\$43.1919	\$45.3515	\$47.6190	\$50.0000

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Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023



Lactation Counselor

Class Code: XXXX

Bargaining Unit: Unrepresented Classification

CITY OF BERKELEY

Established Date: September 12, 2023

SALARY RANGE

\$41.1351 - \$50.0000 Hourly \$3,290.8080 - \$4,000.0000 Biweekly \$7,130.0840 - \$8,666.6667 Monthly \$85,561.0080 - \$104,000.0000 Annually

DESCRIPTION:

DEFINITION

Under the direction of the Health Nutrition Program Coordinator (Women, Infant & Children [WIC] Director) or designee, serves as the designated breastfeeding expert for the City, provides supervision to assigned professional, technical, and office support staff, handles more complex lactation problems; provides on-site and home-visit breastfeeding support, as needed; participates in community breastfeeding activities; mentors and provides in-service education on lactation for Breastfeeding Peer Counselors and WIC staff; and assists in overall lactation program planning.

CLASS CHARACTERISTICS

This single position journey-level class is responsible for the operation and management of the Breastfeeding Peer Counseling Program. The incumbent provides oversight and direction for Peer Counselors (PCs). The Lactation Counselor has frequent interaction with WIC participants in need of lactation support. The work requires a high level of technical knowledge, excellent oral and written communication skills, and editing skills and the exercise of independent judgment.

EXAMPLES OF DUTIES:

The following list of duties is intended only to describe the various types of work that may be performed and the level of technical complexity of the assignment(s) and is not intended to be an all-inclusive list of duties. The omission of a specific duty statement does not exclude it from the position if the work is consistent with the concept of the classification, or is similar or closely related to another duty statement.

- Provides human milk feeding support to Women, Infants, & Children (WIC) participants, including lactation consultation to WIC participants referred to by peer counselors, WIC staff, and local providers of parents experiencing complex maternal and infant lactation problems beyond their scope of practice.
- 2. Counsels high-risk people needing breast pumps or other equipment for complex human milk feeding situations.

Page 6 of 8

Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023

- 3. Makes telephone contacts, home visits, WIC clinic visits, and/or hospital visits with participants to support human milk feeding and identify clients needing additional assistance to optimize their breastfeeding success.
- 4. Keeps accurate records of all contacts made with WIC clients.
- 5. Maintains confidentiality of client interactions and records and oversees peer counselors' adherence to WIC confidentiality requirements.
- 6. Mentors and coordinates peer counselors through shadowing opportunities, observations, client record reviews and ongoing guidance.
- 7. Provides in-services, trainings and education on various lactation topics and lactation management, including the initial and ongoing lactation training for PCs and WIC staff.
- 8. Manages referral system for referring WIC clients to PCs or to the IBCLC for lactation problems outside of the PC's scope of work.
- 9. Teaches breastfeeding classes and support groups for pregnant and lactating people, or mentors peer counselors leading group meetings.
- 10. Develops an ongoing PC recognition program, which affirms and supports PCs in an effort to improve PC retention.
- 11. Conducts and coordinates exit surveys with the participants after they leave the Breastfeeding Peer Counseling Program, in an effort to maintain a continuous quality improvement plan.
- 12. Serves as a liaison between WIC and the community and conducts outreach with community organizations to promote WIC lactation services.
- 13. Establishes community partnerships to increase awareness and improve communication to promote a breast/chest-feeding-friendly culture in their community.
- 14. Ensures the availability of services outside of normal work hours.
- 15. Coordinates breast/chest-feeding promotion activities in WIC and in the community, including the coordination of all World Breastfeeding Week activities.
- 16. Participates in Peer Support groups, Community Breastfeeding Coalitions, WIC Regional Breastfeeding Committee meetings, and the California Breastfeeding Summit.
- 17. Provides nutrition education and nutrition intervention for participants as it relates to lactation counseling.
- 18. Communicates with health professionals regarding high risk lactation cases, and refers mothers with medical or nutrition concerns beyond the IBCLC Scope of Practice.
- 19. Competently fulfills, through self-designation or assignment, the following WIC designated coordinator roles for which they qualify as dictated under WIC program policies (Breastfeeding Peer Counselor Coordinator, Breastfeeding Coordinator, Staff Training Coordinator, Outreach Coordinator, Other Training Coordinator Roles, as needed).
- 20. Maintains an audit follow-up system to ensure that corrections for audit recommendations are timely and adequately implemented.
- 21. Conducts compliance and performance audits.
- 22. Responds to questions from City departments, Council, commissions and various committees and groups; attends various meetings as assigned.
- 23. Maintains knowledge of current principles and practices and monitors developments in auditing and audit standards including but not limited to the Breastfeeding Peer Counselor / IBCLC.
- 24. Develops and implements continuing professional development and continuous improvement plans for assigned staff; and
- 25. Performs related duties as assigned.

KNOWLEDGE AND ABILITIES:

Note: The level and scope of the knowledge and skills listed below are related to the job duties as defined under Class Characteristics.

Page **7** of **8**

Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023

Knowledge of:

- 1. Principles, policies, procedures, and reporting requirements of lactation programs.
- 2. Lactation physiology, anatomy, and counseling techniques.
- 3. Principles and practices of adult education philosophies and methods, learning theories as applied to nutrition and health instructional materials, group and individual education, techniques, infant development related to nutrition, lactation education techniques and customer service.
- 4. Laws and regulations related to state and local agency lactation policies and competencies.
- 5. WIC Program and community nutrition with emphasis on maternal, infant and child needs.
- 6. Health promotion and disease prevention.
- 7. Word processing applications, spreadsheets and internet applications.
- 8. Interviewing and communication skills.

Ability to:

- 1. Plan, organize, assign, direct, review, and evaluate the work of professional, technical, and office support staff and manage employees, provide feedback on performance, evaluate progress, determine work priorities, assign work and ensure proper completion of assignments.
- 2. Provide information on human milk feeding in a positive, effective manner.
- 3. Demonstrate creative problem-solving skills and exercise sound judgment to quickly evaluate situations and render prompt decisions.
- 4. Refer community resources and programs to people in need of assistance.
- 5. Ability to communicate information and ideas clearly and effectively in a professional manner, both orally and in writing.
- 6. Maintain strict confidentiality of participant, employee and agency records
- 7. Utilize reporting software, and review reports, contracts, and records for accuracy, clarity, completeness, and compliance with legal and procedural guidelines.
- 8. Exercise sound independent judgment in recommending more efficient and effective methods, systems, and reporting formats.
- 9. Recommend and implement policies and procedures.
- 10. Demonstrate ethnic and cultural sensitivity while working with diverse populations.
- 11. Establish and maintain effective working relations with those contacted in the course of work; communicate effectively with staff, elected officials, and community members, both orally, in public meetings, and in writing.
- 12. Interpret and apply applicable laws and regulations

MINIMUM QUALIFICATIONS:

A TYPICAL WAY OF GAINING THE KNOWLEDGE AND SKILLS OUTLINED ABOVE IS:

Equivalent to graduation from high school and two (2) years of paraprofessional experience in a public health or related setting, supplemented by formal or approved in-service training, which has provided additional expertise and demonstrated proficiency in an area of specialization such as training, examination, screening, counseling, or outreach. Bachelor's degree in nutrition, social services, or health related field is desirable. Previous experience working with the Women, Infants, & Children (WIC) program and knowledge of WIC policies and procedures is desirable.

OTHER REQUIREMENTS

Possession of an International Board Certified Lactation Consultant (IBCLC) certification administered by the International Board of Lactation Consultant Examiners (IBLCE) at time of appointment is required, and the certification must be maintained as a condition of continued employment. Must be

Page 8 of 8

Classification and Salary: Lactation Counselor

Consent Calendar September 12, 2023

willing to work evenings or weekends. Must be able to travel to various locations within and outside the City of Berkeley to fulfill the job responsibilities. When driving on City business, the incumbent is required to maintain a valid California driver's license as well as a satisfactory driving record.

CLASSIFICATION HISTORY:

Classification Code	XXXX				
Classification Established	September 12, 2023				
FLSA Status	Exempt [Career Full-Time Appointment]				
1 267 t Otatao	Non-Exempt [Hourly Intermittent Temporary Designation]				
Admin Leave [Exempt / Career Full-Time Appointment] Overtime [Non-Exempt / Hourly Intermittent Temporary Designat					
Representation Unit	Unrepresented				
Probationary Period	One Year				
Workers' Comp Code	8810				



CONSENT CALENDAR

September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Aram Kouyoumdjian, Director of Human Resources

Subject: Revise Classification and Salary Range – Paramedic

RECOMMENDATION

Adopt a Resolution revising the classification of Paramedic to an hourly salary range of \$30.00-\$40.00 per hour (currently \$30.00-\$45.00 per hour) to offset unanticipated budgetary impacts due to overtime.

This recommendation and proposed Resolution follow Council consideration of this item in Closed Session on July 24, 2023.

FISCAL IMPACTS OF RECOMMENDATION

With this revision, the budgetary impacts due to overtime will be mitigated.

<u>CURRENT SITUATION AND ITS EFFECTS</u>

The classification of Paramedic was approved by the City Council in January 2022, at which time the Fire Department projected that the new hires would be working shift schedules that would equate to 40-hour weeks. Subsequent operational circumstances, however, necessitated that Paramedics primarily work 24-hour shifts, resulting in overtime expenditures every three out of four weeks and creating sustained budgetary impacts that the department cannot absorb.

BACKGROUND

The Fire Department, in consultation with Human Resources, the City Attorney's Office, and Payroll Audit, is seeking to revise the pay scale for Paramedics in order to make the classification affordable without compromising its long-term sustainability.

Page 2 of 6

Classification and Salary: Paramedic

Consent Calendar September 12, 2023

Paramedics who are already working in the classification prior to September 12, 2023 will remain on the original pay scale. The change will affect only future hires that include candidates in the current recruitment pipeline.

	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9
Original Rates	\$30.0000	\$31.5597	\$33.2004	\$34.9265	\$36.7423	\$38.6525	\$40.6620	\$42.7759	\$45.0000
Proposed Revised Rates	\$30.0000	\$31.2500	\$32.5000	\$33.7500	\$35.0000	\$36.2500	\$37.5000	\$38.7500	\$40.0000

The Personnel Board discussed and voted at its August 7, 2023 meeting to send this revised classification and salary to the City Council for approval (Motion to Approve: Lacey/Wenk; Vote - Ayes: Dixon, Gilbert, Lacey, Wenk; Noes: O'Loughlin; Abstains: Bartlow; Absent: Karpinski).

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects or opportunities associated with the subject of this report.

RATIONAL FOR RECOMMENDATION

The salary is being revised to offset unanticipated budgetary impacts due to overtime.

ALTERNATIVE ACTIONS CONSIDERED

None.

CONTACT PERSON

Aram Kouyoumdjian, Director of Human Resources, 510-981-6807.

ATTACHMENTS

- 1. Resolution
- 2. Proposed Job Class Specification and Salary Range Paramedic (R)

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Classification and Salary: Paramedic

Consent Calendar September 12, 2023

RESOLUTION NO. xxxxx - N.S.

CLASSIFICATION: PARAMEDIC (R)

WHEREAS, the Human Resources Department maintains the Classification and Compensation plan for the City of Berkeley; and

WHEREAS, the Fire Department, in consultation with Human Resources, the City Attorney's Office, and Payroll Audit, is seeking to revise the pay scale for Paramedics in order to make the classification affordable without compromising its long-term sustainability; and

WHEREAS, Paramedics who are already working in the classification prior to September 12, 2023 will remain on the original pay scale; and

WHEREAS, the Personnel Board recommended on August 7, 2023 to revise the Paramedic job class specification and salary range effective September 12, 2023;

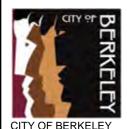
NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the classification for Paramedic is revised, with an hourly salary range of \$30.00-\$40.00, and an annual salary range of \$62,400.00 - \$83,200.00, effective September 12, 2023.

	Step 1	Step 2	Step 3	Step 4	Step 5	Step 6	Step 7	Step 8	Step 9
Proposed Revised Rates	\$30.0000	\$31.2500	\$32.5000	\$33.7500	\$35.0000	\$36.2500	\$37.5000	\$38.7500	\$40.0000

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Classification and Salary: Paramedic

Consent Calendar September 12, 2023



Paramedic (R)*

Class Code XXXX

Bargaining Unit: Berkeley Fire Fighters Association, Local 1227

Established Date: September 12, 2023

SALARY RANGE*

\$30.00 - \$40.00 Hourly \$2,400.00 - \$3,200.00 Biweekly \$5,200.00 - \$6,933.33 Monthly \$62,400.00 - \$83,200.00 Annually

*Employees hired into the Paramedic classification after the establishment of this salary range on September 12, 2023.

DESCRIPTION:

DEFINITION:

Under general supervision, responds to medical emergencies, and other emergency and nonemergency situations, and takes appropriate action; performs various staff support assignments in addition to normal emergency response activities; performs related work as assigned.

CLASS CHARACTERISTICS:

This is the journey level class, fully competent to perform responsible to provide emergency medical services response, performing all duties required to effectively respond to emergency medical situations at the advanced life support level. Incumbents may be assigned to an ambulance or other specialized response unit typically in two-person crews.

EXAMPLE OF DUTIES:

The following list of duties is intended only to describe the various types of work that may be performed and the level of technical complexity of the assignment(s), and is not intended to be an all-inclusive list of duties. The omission of a specific duty statement does not exclude it from the position if the work is consistent with the concept of the classification or is similar or closely related to another duty statement.

- 1. Provides first responder medical emergency care at the advanced life support level as defined by the State of California and Alameda County;
- 2. Operates ambulances and other department vehicles;
- 3. Operates within applicable federal, state county and city laws, regulations and guidelines including the Health Insurance Portability and Accountability Act (HIPAA);
- 4. Completes accurate and thorough documentation of patient care;
- 5. Cleans, services, and ensures operational readiness of apparatus and equipment;
- 6. Participates in training and maintains/improves skills;

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Classification and Salary: Paramedic

Consent Calendar September 12, 2023

- 7. Participates in various staff support assignments including but not limited to: maintenance of stations, apparatus and other facilities and performs scheduled inspections of departmental equipment;
- 8. Works with the community in a variety of educational, public relations, and service programs;
- 9. Presents in a professional manner and demonstrates behavior in accordance with state, county and city policies;
- 10. Builds and maintains positive working relationships with co-workers, other employees and the public using principles of good customer service;
- 11. Performs related duties as assigned.

KNOWLEDGE AND ABILITIES:

Note: The level and scope of the knowledge and abilities listed below are related to job duties as defined under Class Characteristics.

Knowledge of:

- 1. Principles and practices of emergency medical care at the basic and advanced life support levels;
- 2. Safety practices and precautions pertaining to the work;
- 3. Applicable federal, state, county and City regulations, practices and procedures;
- 4. Medical terminology and documentation.

Ability to:

- 1. Provide first responder emergency medical response at the advanced life support level;
- 2. Safety operate emergency apparatus and equipment;
- 3. Follow and provide oral and written directions;
- 4. Establish and maintain effective working relationships with those encountered in the course of the work;
- 5. Maintain accurate records and prepare clear and concise reports, and other written materials;
- 6. Remain calm, make sound decisions, and respond appropriately in emergency situations;
- 7. Communicate clearly and concisely, orally and in writing;
- 8. Maintain Alameda County accreditation

MINIMUM QUALIFICATIONS:

A TYPICAL WAY OF GAINING THE KNOWLEDGE AND ABILITIES IS:

MINIMUM QUALIFICATIONS – BY DATE OF APPLICATION

- Graduation from high school or GED equivalent
- Valid California Paramedic License
- Valid California Driver's License with a satisfactory driving record
- Current American Heart Association CPR for the Healthcare Provider, ACLS, PALS, PHTLS/ITLS (or equivalents as determined by the Fire Chief) cards

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Classification and Salary: Paramedic

Consent Calendar September 12, 2023

• Proof of vaccination to include: TDaP, TB, MMR, Hepatitis B, Varicella (Chicken Pox), and Influenza. Titers demonstrating immunity may be substituted for the proof of vaccination.

MINIMUM QUALIFICATIONS - BY DATE OF APPOINTMENT

- Successful completion of background investigation including a Livescan;
- Successful completion of physical ability exam according to the specifications of the fire department.

OTHER REQUIREMENTS

Must be able to travel within and outside the City of Berkeley to meet the program needs and to fulfil job responsibilities. The incumbent is required to maintain a valid California Class C or higher driver's license as well as a satisfactory driving record.

Must be willing to maintain facial hair in such a manner as to ensure proper fitting and operation of Cal-OSHA compliant N95 and P100 particulate respirators.

Must be willing to work shifts as structured in the Fire Department. Must successfully complete ongoing assessment of health and wellness as required by the City.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Aram Kouyoumdjian, Director of Human Resources

Subject: Memorandum of Understanding: Berkeley Police Association

RECOMMENDATION

Adopt a Resolution 1) approving a successor Memorandum of Understanding (hereafter referred to as "MOU") with the Berkeley Police Association (hereafter referred to as the "Union") for a three-year term from July 1, 2023 through June 30, 2026 and authorizing the City Manager to execute and implement the terms and conditions of employment set forth in the new MOU and to make non-substantive edits to the format and language of the MOU in alignment with the tentative agreement, and conforming to legal requirements; and 2) approving a new Classification and Salary table for Representation Units E and F that implement the salary adjustments reflected in the new MOU and supersede Resolution No. 69,965,-N.S.

The terms of the proposed 2023-2026 MOU are within the parameters of authority approved by Council in closed session. The proposals were ratified by the Union following a three-day vote that concluded on August 14, 2023.

FISCAL IMPACTS OF RECOMMENDATION

The cost for the new MOU is approximately \$4.3 million in the first year, \$7.17 million in the second year, and \$9.39 million in the third year.

Savings to the City from modifications to retiree health benefits will vary depending on staffing levels and longevity rates but can be as high as \$13.66 million according to the most recent actuarial study conducted for the City. These savings will significantly reduce the City's long-term unfunded liabilities.

CURRENT SITUATION AND ITS EFFECTS

The City's labor contract with the Union expired and was fully terminated as of June 30, 2023. In an effort to reach agreement on a successor MOU, representatives of the City and representatives of the Union commenced negotiation sessions beginning in March of 2023. The parties reached a tentative agreement on August 10, 2023.

Notable changes in the 2023-2026 MOU are along four dimensions:

- (1) **COLA Increases:** The terms of the new MOU provide for a 3% wage increase effective September 3, 2023 (the start of the first full pay period after August 28, 2023, the initial anticipated date for Council adoption); a 3% wage increase effective July 7, 2024; and a 3% wage increase effective July 6, 2025 for a cumulative wage increase of 9% over three (3) years.
- (2) KIND Policing Educational Incentive: The MOU introduces a new educational incentive for KIND Policing that is Constitutional, Humane, Impartial, Neighborhood- and Community-Oriented, and DEI-Centered. The incentive provides a pay differential of 3% effective September 3, 2023, with a 1% increase effective July 7, 2024 (for a total of 4%). It requires a 30-hour initial certification and 15 hours of continuing education on a yearly basis in specified areas of training, such as Active Bystandership for Law Enforcement, Anti-Racism, Cultural Competence, De-escalation Techniques, Empathy, Ethics, Implicit Bias Prevention, and Procedurally Just Policing.
- (3) **Longevity Pay:** Effective September 3, 2023, the MOU modifies the current longevity pay structure to provide 3% longevity pay beginning with the 8th year of service and subsequent 3% increases beginning with the 12th, 15th, and 18th years of service for a maximum of 12%. The modifications aim to keep the department competitive with other agencies and enhance retention.
- (4) Retiree Health Benefits: Effective July 7, 2024, the retiree medical benefit identified in the current MOU will be frozen at rates in place as of July 1, 2024, and the benefit will be fully vested for all current members and members hired on or before June 30, 2024. Effective July 7, 2024, the City shall contribute \$50.00 per pay period into an individual PORAC RMT account for all members hired on or before June 30, 2024. BPA members hired on or after July 1, 2024, shall be entitled to receive the minimum contribution for retirees specified by Government Code section 22892 (currently \$151.00/month). New hires will make an employee contribution of \$50.00 per pay period into their individual PORAC RMT account.

By effectuating these changes, the City will realize future savings that may be as high as \$13.66 million in other post-employment benefits (OPEB), thus reducing its long-term unfunded liabilities.

BACKGROUND

During the course of negotiations, the Union and the City agreed to various linguistic updates to the MOU (e.g., gender-neutral pronouns), aligned certain sections (e.g., bereavement leave) with changes in the law, and redacted timed-out provisions.

The four areas of significant change (outlined in the previous section) are captured in the following chart:

Section	Change				
10: Duration	Three-years – July 1, 2023 through June 30, 2026.				
11: Salaries	3% effective September 3, 2023; 3% effective July 7, 2024; and 3% effective July 6, 2025.				
13.7.3 (New): KIND Policing Educational Incentive	3% effective September 3, 2023; an additional 1%, for a total of 4%, effective July 7, 2024.				
15: Longevity Pay	Effective September 3, 2023, 3% at 8 years of service; an additional 3% at 12 years of service; an additional 3% at 15 years of service; and an additional 3% at 18 years of service.				
32.5.10.6 (New): Retiree Medical Contribution	Effective July 7, 2024, the retiree medical benefit identified in the current MOU will be frozen at rates in place as of July 1, 2024, and the benefit will be fully vested for all current members and members hired on or before June 30, 2024. Effective July 7, 2024, the City shall contribute \$50.00 per pay period into an individual PORAC RMT account for all members hired on or before June 30, 2024. BPA members hired on or after July 1, 2024 shall be entitled to receive the minimum contribution for retirees specified by Government Code section 22892 (currently \$151.00/month). New hires will make an employee contribution of \$50.00 per pay period into their individual PORAC RMT account.				

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no identifiable environmental effects or opportunities associated with the subject of this report.

RATIONALE FOR RECOMMENDATION

The City's labor contract with BPA expired on June 30, 2023, triggering the need to negotiate a successor agreement.

The recommended changes to the MOU address the need for COLA increases and modifications to longevity pay in order to keep the Berkeley Police Department competitive in its recruitment and retention efforts.

The KIND Policing Educational Incentive is a first-of-its-kind initiative that promotes the City's policing values while ensuring the availability of robust training for sworn members of the Berkeley Police Department in effective policing that is rooted in procedural justice and impartiality, community-oriented, and culturally competent.

The revisions to the retiree health benefits program address a key financial concern for the City – unfunded future liabilities – and will reduce such liabilities by as much as \$13.66 million.

ALTERNATIVE ACTIONS CONSIDERED

Various alternative proposals were considered by the Union and the City's negotiation team before mutual agreement was reached on the proposed MOU.

CONTACT PERSON

Aram Kouyoumdjian, Director of Human Resources, (510) 981-6807.

Attachments:

1: Resolution: Memorandum of Understanding: Berkeley Police Association
Exhibit A: Memorandum of Understanding Between the City of Berkeley and
Berkeley Police Association (Revised Version)

Exhibit B: Memorandum of Understanding Between the City of Berkeley and Berkeley Police Association (Tracked Changes Version)

RESOLUTION NO. ##,###-N.S.

MEMORANDUM OF UNDERSTANDING: BERKELEY POLICE ASSOCIATION

WHEREAS, the City is obligated under the provisions of California Government Code Sections 3500-3500, commonly referred to as the Meyers-Milias-Brown Act, to meet and confer in good faith and attempt to reach agreement with representatives of recognized bargaining units on matters within the scope of representation including, but not limited to, wages, hours, and other terms and conditions of employment; and

WHEREAS, the City's labor contract with the Berkeley Police Association expired and was fully terminated as of June 30, 2023; and

WHEREAS, representatives of the City and the Berkeley Police Association have met and conferred in good faith and have reached agreement on a new Memorandum of Understanding that incorporates all changes and modifications in wages, hours, and other terms and conditions of employment agreed to by the parties;

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager is hereby authorized to execute the new Memorandum of Understanding for the period July 1, 2023 through June 30, 2026 with the Berkeley Police Association, including changes in certain benefits on dates specified in the Memorandum of Understanding which is attached hereto, made a part hereof and marked Exhibit A, and to make non-substantive edits to the format and language of the MOU in alignment with the tentative agreement, and conforming to legal requirements; and

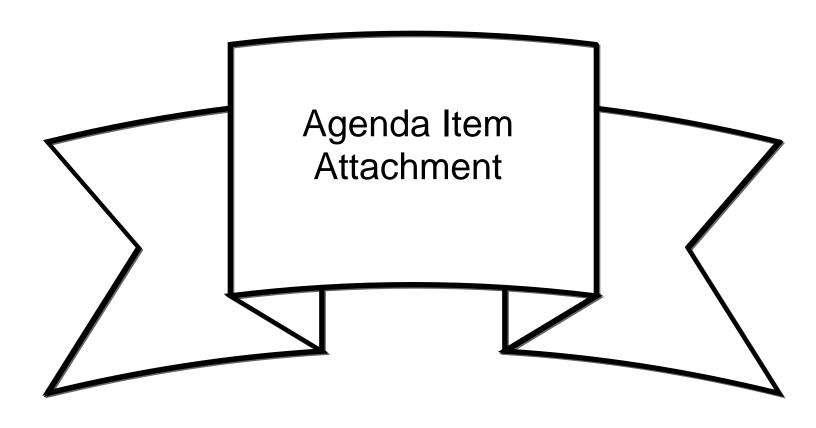
BE IT FURTHER RESOLVED that the Council of the City of Berkeley approves, and the City Manager is hereby authorized to effectuate, a new Classification and Salary table for Representation Units E and F that implement the salary adjustments reflected in the new MOU and supersede Resolution No. 69,965,-N.S.; and

BE IT FURTHER RESOLVED that a fully executed original of said contract is filed in the Office of the City Clerk.

Exhibits

- A: Memorandum of Understanding Between the City of Berkeley and Berkeley Police Association, 2023-2026 (Revised Version)
- B: Memorandum of Understanding Between the City of Berkeley and Berkeley Police Association (Tracked Changes Version)

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This attachment will be provided to the City Council and the public prior to the meeting (including posting to the city website) in accordance with the requirements for revised and supplemental materials in the Open Government Ordinance.

> City Clerk Department 2180 Milvia Street Berkeley, CA 94704 (510) 981-6900

The City of Berkeley, City Council's Web site: http://berkeleyca.gov



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Scott Ferris, Director, Parks Recreation & Waterfront

Subject: Grant Applications: Bipartisan Infrastructure Law (BIL) and State Funds For

Six City Infrastructure Improvement Projects

RECOMMENDATION

Adopt six Resolutions authorizing the City Manager or her designee to submit grant applications to six federal (BIL) and state-funded competitive grant programs for City Infrastructure improvement projects; accept any grants; execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the projects and appropriation of funding for related expenses, subject to securing the grants.

FINANCIAL IMPLICATIONS

- In August 2023, the City submit will two grant applications for the planning and design phases of the following two projects to the federal FHWA PROTECT Discretionary Grant Program:
 - a. The Berkeley Waterfront University Ave Shoreline and Habitat Resilience Project in the amount of \$484,000, and will provide a 12% local cash match of \$66,000 from the Parks Tax. This planning and design project will investigate feasible methods to ensure shoreline protection in the face of sea-level rise in order to increase the resilience of the Bay Trail, University Ave, and the Berkeley Meadow Wetlands at Eastshore State Park.
 - b. The Interstate 80 and Aquatic Park Lagoon Subsurface Culvert Resiliency and Habitat Project in the amount of \$466,000, and will provide a 12% local cash match of \$63,600 from the Parks Tax. This planning and design project will investigate feasible methods to renovate the existing failing subsurface culverts (tide tubes) that connect Aquatic Park to the Bay underneath I-80, and to the Model Yacht Basin. This project will increase the resilience of I-80, Bolivar Drive at Aquatic Park, and the adjacent local City roads (e.g., 2nd Street) from the impacts of sealevel rise and increased storms due to climate change.

- 2. In August 2023, the City will submit a grant application to the U.S. EPA Water Quality Program for the planning, design, and construction phases of the West Berkeley and Aquatic Park Lagoon Stormwater Improvement Project in the amount of \$1.5M, and provide the required local match of \$1.5M (50% of the total project cost) using the City's Storm Fund. This project will install trash separator devices at two stormwater culverts that drain into Aquatic Park (Bancroft and Channing), and a bioswale at the Channing culvert.
- 3. On September 30, 2023, the City will submit a grant application to the federal Reconnecting Communities Pilot Grant Program / Neighborhood Access and Equity Grant Program (RCP/NAE) for the Santa Fe Railroad Track to Park Conversion Project in the amount of \$5.5M. The City already has \$5M in state funding for the project, which will be used as the primary source of the required 50% local match. The additional match of up to \$500,000 will come from Parks Tax.
- 4. On September 30, 2023, the City will submit a grant application to the state's Strategic Growth Council (SCG) Community Resiliency Centers (CRCs) Implementation Grant Program for the Martin Luther King, Jr. Youth Services Center Seismic Retrofit Project in the amount of \$3.6M. No local match is required.
- On September 30, 2023, the City will submit a grant application to the state's Strategic Growth Council (SCG) Community Resiliency Centers (CRCs) Implementation Grant Program for the South Berkeley Senior Center Renovation Project in the amount of \$6.1M. No local match is required.

CURRENT SITUATION AND ITS EFFECTS

On November 15, 2021, the Bipartisan Infrastructure Law (BIL) enacted the Infrastructure Investment and Jobs Act by congress, which set up several competitive grant programs for states and cities. These grant programs will fund billions in infrastructure programs across the U.S. over the next several years. In the summer of 2023, several grant programs announced Notice of Funding Opportunities (NOFO's). The City will compete for these grants for four parks improvement projects in the next two months to the following competitive grant programs: the FHWA PROTECT Discretionary Grant Program, the U.S. EPA Water Quality Grant Program, and the Reconnecting Communities Pilot / Neighborhood Access and Equity Grant Program, as well as upcoming grant programs over the next two years.

In 2016, the Transformative Climate Communities (TCC) Program, which is part of the state's Climate Budget (Senate Bill 170), began a statewide initiative that puts billions of Cap-and-Trade dollars to work reducing greenhouse gas emissions, strengthening the economy, and improving public health and the environment — particularly in disadvantaged communities. The Strategic Growth Council (SGC) administers the competitive grant program that will distribute \$115M n FY2024. The City will compete for these grant funds to complete the Martin Luther King Jr Youth Services Center Seismic Upgrade Project so that it can function as a community resilience center (CRC)

in times of natural disasters in the face of climate change. The City will also compete for these grant funds to complete the South Berkeley Senior Center Renovation Project.

BACKGROUND

The City has over \$1 billion in unfunded infrastructure improvement needs. The Bipartisan Infrastructure Law (BIL) of 2021 will provide billions in competitive grantfunded programs to address infrastructure needs across the U.S. This is an excellent opportunity for the City to identify local funds to provide the local matching funds required by these BIL grant programs and pursue funding to address longstanding needs for infrastructure upgrades in the City.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

All parks improvement construction projects are required to comply with the City of Berkeley Climate Action Plan, specifically in terms of reducing construction waste, as well as environmentally preferred purchasing guidelines to reduce waste and increase the use of renewable resources. This project helps the City meet Strategic Goal 1 – infrastructure.

RATIONALE FOR RECOMMENDATION

The allocation of local funds for parks improvement projects allows the City to apply for grant opportunities that require significant local matching funds.

ALTERNATIVE ACTIONS CONSIDERED

None

CONTACT PERSON

Scott Ferris, Director of Parks, Recreation & Waterfront, 981-6703 Liam Garland, Director, Public Works, 981-6400

Attachments

- 1: Resolution GRANT APPLICATION: FHWA PROTECT DISCRETIONARY GRANT PROGRAM FOR THE BERKELEY WATERFRONT UNIVERSITY AVE SHORELINE AND HABITAT RESILIENCE PROJECT
- 2: Resolution GRANT APPLICATION: FHWA PROTECT DISCRETIONARY GRANT PROGRAM FOR THE INTERSTATE 80 AND AQUATIC PARK LAGOON SUBSURFACE CULVERT RESILIENCY AND HABITAT PROJECT
- 3: Resolution GRANT APPLICATION: THE U.S. EPA WATER QUALITY PROGRAM FOR THE PLANNING, DESIGN, AND CONSTRUCTION PHASES OF THE WEST BERKELEY AND AQUATIC PARK LAGOON STORMWATER IMPROVEMENT PROJECT
- 4: Resolution GRANT APPLICATION: THE FEDERAL RECONNECTING COMMUNITIES PILOT GRANT PROGRAM / NEIGHBORHOOD ACCESS AND EQUITY GRANT PROGRAM (RCP/NAE) FOR THE CONSTRUCTION PHASE OF THE SANTA FE RAILROAD TRACK TO PARK CONVERSION PROJECT

Grant Applications: BIL funds for five parks improvement projects

CONSENT CALENDAR September 12, 2023

- 5: Resolution GRANT APPLICATION: THE STRATEGIC GROWTH COUNCIL COMMUNITY RESILIENCY CENTERS (CRCS) GRANT PROGRAM FOR THE MARTIN LUTHER KING, JR. YOUTH SERVICES CENTER SEISMIC RETROFIT PROJECT
- 6: Resolution GRANT APPLICATION: THE STRATEGIC GROWTH COUNCIL COMMUNITY RESILIENCY CENTERS (CRCS) IMPLEMENTATION GRANT PROGRAM FOR THE SOUTH BERKELEY SENIOR CENTER RENOVATION PROJECT

GRANT APPLICATION: FHWA PROTECT DISCRETIONARY GRANT PROGRAM FOR THE BERKELEY WATERFRONT UNIVERSITY AVE SHORELINE AND HABITAT RESILIENCE PROJECT

WHEREAS, on November 15, 2021, the Bipartisan Infrastructure Law (BIL) enacted the Infrastructure Investment and Jobs Act by congress, which set up several competitive grant programs for states and cities; and

WHEREAS, these grant programs will fund billions in infrastructure programs across the U.S. over the next several years. In the summer of 2023, several grant programs announced Notice of Funding Opportunities (NOFO's); and

WHEREAS, in August 2023, the City will submit a grant application to the FHWA PROTECT Discretionary Grant Program for The Berkeley Waterfront University Ave Shoreline and Habitat Resilience Project in the amount of \$484,000, and will provide a 12% local cash match of \$66,000 from the Parks Tax. This planning and design project will investigate feasible methods to ensure shoreline protection in the face of sea-level rise in order to increase the resilience of the Bay Trail, University Ave, and the Berkeley Meadow Wetlands at Eastshore State Park.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to: submit a grant application to the FHWA PROTECT Discretionary Grant Program for the Berkeley Waterfront University Ave Shoreline and Habitat Resilience Project in the amount of \$484,000, and authorizes a 12% local cash match of \$66,000 from the Parks Tax; to accept any grants; to execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the project and appropriation of funding for related expenses, subject to securing the grant. A record signature copy of said agreements and any amendments to be on file in the Office of the City Clerk.

GRANT APPLICATION: FHWA PROTECT DISCRETIONARY GRANT PROGRAM FOR THE INTERSTATE 80 AND AQUATIC PARK LAGOON SUBSURFACE CULVERT RESILIENCY AND HABITAT PROJECT

WHEREAS, on November 15, 2021, the Bipartisan Infrastructure Law (BIL) enacted the Infrastructure Investment and Jobs Act by congress, which set up several competitive grant programs for states and cities; and

WHEREAS, these grant programs will fund billions in infrastructure programs across the U.S. over the next several years. In the summer of 2023, several grant programs announced Notice of Funding Opportunities (NOFO's); and

WHEREAS, in August 2023, the City will submit a grant application to the FHWA PROTECT Discretionary Grant Program for the Interstate 80 and Aquatic Park Lagoon Subsurface Culvert Resiliency and Habitat Project in the amount of \$466,000, and will provide a 12% local cash match of \$63,600 from the Parks Tax. This planning and design project will investigate feasible methods to renovate the existing failing subsurface culverts (tide tubes) that connect Aquatic Park to the Bay underneath I-80, and to the Model Yacht Basin. This project will increase the resilience of I-80, Bolivar Drive at Aquatic Park, and the adjacent local City roads (e.g., 2nd Street) from the impacts of sea-level rise and increased storms due to climate change.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to: submit a grant application to the FHWA PROTECT Discretionary Grant Program for the Interstate 80 and Aquatic Park Lagoon Subsurface Culvert Resiliency and Habitat Project in the amount of \$466,000, and authorizes a 12% local cash match of \$63,600 from the Parks Tax; to accept any grants; to execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the project and appropriation of funding for related expenses, subject to securing the grant. A record signature copy of said agreements and any amendments to be on file in the Office of the City Clerk.

GRANT APPLICATION: THE U.S. EPA WATER QUALITY PROGRAM FOR THE PLANNING, DESIGN, AND CONSTRUCTION PHASES OF THE WEST BERKELEY AND AQUATIC PARK LAGOON STORMWATER IMPROVEMENT PROJECT

WHEREAS, on November 15, 2021, the Bipartisan Infrastructure Law (BIL) enacted the Infrastructure Investment and Jobs Act by congress, which set up several competitive grant programs for states and cities; and

WHEREAS, these grant programs will fund billions in infrastructure programs across the U.S. over the next several years. In the summer of 2023, several grant programs announced Notice of Funding Opportunities (NOFO's); and

WHEREAS, in August 2023, the City will submit a grant application to the U.S. EPA Water Quality Program for the planning, design, and construction phases of The West Berkeley and Aquatic Park Lagoon Stormwater Improvement Project in the amount of \$1.5M, and provide the required local match of \$1.5M (50% of the total project cost) using the City's Storm Fund. This project will install trash separator devices at two stormwater culverts that drain into Aquatic Park (Bancroft and Channing), and a bioswale at the Channing culvert.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to: submit an application to the U.S. EPA Water Quality Program for the planning, design, and construction phases of the West Berkeley and Aquatic Park Lagoon Stormwater Improvement Project in the amount of \$1.5M, and provide the required local match of \$1.5M (50% of the total project cost) using the City's Storm Fund; to accept any grants; to execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the project and appropriation of funding for related expenses, subject to securing the grant. A record signature copy of said agreements and any amendments to be on file in the Office of the City Clerk.

GRANT APPLICATION: THE FEDERAL RECONNECTING COMMUNITIES PILOT GRANT PROGRAM / NEIGHBORHOOD ACCESS AND EQUITY GRANT PROGRAM (RCP/NAE) FOR THE CONSTRUCTION PHASE OF THE SANTA FE RAILROAD TRACK TO PARK CONVERSION PROJECT

WHEREAS, on November 15, 2021, the Bipartisan Infrastructure Law (BIL) enacted the Infrastructure Investment and Jobs Act by congress, which set up several competitive grant programs for states and cities; and

WHEREAS, these grant programs will fund billions in infrastructure programs across the U.S. over the next several years. In the summer of 2023, several grant programs announced Notice of Funding Opportunities (NOFO's); and

WHEREAS, on September 30, 2023, the City will submit a grant application to the federal Reconnecting Communities Pilot Grant Program / Neighborhood Access and Equity Grant Program (RCP/NAE) for the **Santa Fe Railroad Track to Park Conversion Project** in the amount of \$5.5M. The City already has \$5M in state funding for the project, which will be used as the primary source of the required 50% local match. The additional match will come from Parks Tax.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to: submit an application to the federal Reconnecting Communities Pilot Grant Program / Neighborhood Access and Equity Grant Program (RCP/NAE) for the the **Santa Fe Railroad Track to Park Conversion Project** in the amount of \$5.5M and authorize up to \$500,000 in local match from the Parks Tax; to accept any grants; to execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the project and appropriation of funding for related expenses, subject to securing the grant. A record signature copy of said agreements and any amendments to be on file in the Office of the City Clerk.

RESOLUTION NO. -N.S

GRANT APPLICATION: THE STRATEGIC GROWTH COUNCIL COMMUNITY
RESILIENCY CENTERS (CRCS) IMPLEMENTATION GRANT PROGRAM FOR THE
MARTIN LUTHER KING, JR. YOUTH SERVICES CENTER SEISMIC RETROFIT
PROJECT

WHEREAS, in 2016, the Transformative Climate Communities (TCC) Program, which is part of the state's Climate Budget (Senate Bill 170), began a statewide initiative that puts billions of Cap-and-Trade dollars to work reducing greenhouse gas emissions, strengthening the economy, and improving public health and the environment — particularly in disadvantaged communities; and

WHEREAS, the Strategic Growth Council (SGC) administers the competitive grant program that will distribute \$115M in FY2024; and

WHEREAS, on September 30, 2023, the City will submit a grant application to the SGC's Community Resiliency Centers (CRCs) Implementation Grant Program for the Martin Luther King, Jr. Youth Services Center Seismic Retrofit Project in the amount of \$3.6M. No local match is required.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to: submit an application to the Strategic Growth Council Community Resiliency Centers (CRCs) Implementation Grant Program for the Martin Luther King, Jr. Youth Services Center Seismic Retrofit Project in the amount of \$3.6M; to accept any implementation grants; to execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the project and appropriation of funding for related expenses, subject to securing the grant. A record signature copy of said agreements and any amendments to be on file in the Office of the City Clerk.

RESOLUTION NO. -N.S

GRANT APPLICATION: THE STRATEGIC GROWTH COUNCIL COMMUNITY
RESILIENCY CENTERS (CRCS) IMPLEMENTATION GRANT PROGRAM FOR THE
SOUTH BERKELEY SENIOR CENTER RENOVATION PROJECT

WHEREAS, in 2016, the Transformative Climate Communities (TCC) Program, which is part of the state's Climate Budget (Senate Bill 170), began a statewide initiative that puts billions of Cap-and-Trade dollars to work reducing greenhouse gas emissions, strengthening the economy, and improving public health and the environment — particularly in disadvantaged communities; and

WHEREAS, the Strategic Growth Council (SGC) administers the competitive grant program that will distribute \$115M in FY2024; and

WHEREAS, on September 30, 2023, the City will submit a grant application to the SGC's Community Resiliency Centers (CRCs) Implementation Grant Program for the South Berkeley Senior Center Renovation Project in the amount of \$6M. No local match is required.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Manager or her designee is authorized to: submit an application to the Strategic Growth Council Community Resiliency Centers (CRCs) Implementation Grant Program for the South Berkeley Senior Center Renovation Project in the amount of \$6.1M; to accept any implementation grants; to execute any resulting grant agreements and any amendments; and that Council authorize the implementation of the project and appropriation of funding for related expenses, subject to securing the grant. A record signature copy of said agreements and any amendments to be on file in the Office of the City Clerk.



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Scott Ferris, Director, Parks Recreation & Waterfront

Subject: Utility Easement: Bolivar Drive – East Bay Municipal Utility District

RECOMMENDATION

Adopt first reading of an Ordinance authorizing and directing the City Manager to convey a utility easement to the East Bay Municipal Utility District along Bolivar Drive at Aquatic Park.

FISCAL IMPACTS OF RECOMMENDATION

None

CURRENT SITUATION

The Aquatic Park Northeast Landscape and Streetscape Improvements Project (Project) between Addison Street and Channing Way cul-de-sac on Bolivar Drive is currently under construction via a Community Benefits Agreement with the Berkeley Commons -- 600 Addison Development Project.

As part of the Project, a new East Bay Municipal Utility District (EBMUD) potable waterline is required to be installed along Bolivar Drive from Addison Street to Bancroft Way to serve the new fire hydrants, to provide domestic water supply to two City-owned buildings and to a new publicly-accessible drinking fountain at the renovated park area.

In order to construct this waterline, a utility easement is required to be granted by the City to EBMUD. This utility easement will also allow for future maintenance, operation and repair or replacement of this waterline by EBMUD.

This new EBMUD waterline will supply domestic water for new fire hydrants that allows access for Fire Department to suppress fire at facilities located between Addison Street and Bancroft Way.

This new waterline will also provide reliable potable water to City-owned buildings at 82 Bolivar Drive & 90 Bolivar Drive, currently operated by Bay Area Outreach and Recreation Program (BORP) and Waterside Workshops. BORP provides sports, recreation and fitness programming for children, youth and adults with physical disabilities and visual impairments and Waterside Workshops provides bicycle education, repair, reuse, and youth internship programs to our community.

BACKGROUND

The Project, including the new EBMUD waterline, is being funded by a Community Benefits Agreement with the Berkeley Commons -- 600 Addison Development Project.

The Project has the following elements:

- Full reconstruction of Bolivar Drive from Addison Street to Channing Way. This will include: a) new asphalt surfacing, striping, and signage to enhance vehicle, bicycle, and pedestrian access and safety; b) conversion of the road from two-way to one-way (southbound); a new pedestrian/bicycle pathway; c) new porous paving at the new parking stalls to absorb stormwater and reduce ponding after storms; and d) new disabled parking stalls to enhance safety and access to the Bay Area Outdoor Recreation Program (BORP) Adaptive Cycling Center, the Waterside Workshops Program, and the general public accessing Aquatic Park.
- Between Bolivar Drive and Aquatic Park, new landscaping will be installed with native plants and over 90 new native trees, and new lawns with plazas will be installed for enhanced nature viewing, picnicking, gatherings, and other passive outdoor recreation.

The Project is anticipated to be completed in early 2024.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE CHANGE

There are no environmental effects associated with the recommendation contained in this report.

RATIONALE FOR RECOMMENDATION

A utility easement is required by East Bay Municipal Utility District to permit Easy Bay Municipal Utility District to construct, replace, repair, maintain, operate and use of the waterline.

ALTERNATIVE ACTIONS CONSIDERED

None

CONTACT PERSON

Scott Ferris, Director of Parks, Recreation & Waterfront, 510-981-6700 Nelson Lam, Supervising Civil Engineer, Parks, Recreation & Waterfront, 510-981-6395

Attachment:

1: Ordinance

Exhibit A: Utility Easement

ORDINANCE NO. -N.S.

AUTHORIZING AND DIRECTING CITY MANAGER TO CONVEY UTILITY EASEMENT: BOLIVAR DRIVE – EAST BAY MUNICIPAL UTILITY DISTRICT

BE IT ORDAINED by the Council of the City of Berkeley as follows:

Section 1. Conveyance of property authorized.

The City Manager is hereby authorized to convey to the East Bay Municipal Utility District a utility easement for Bolivar Drive, substantially in the form attached hereto as Exhibit A, for the real property described therein.

Section 2. Posting.

Copies of this Ordinance shall be posted for two days prior to adoption in the display case located near the walkway in front of the Maudelle Shirek Building, 2134 Martin Luther King Jr. Way. Within 15 days of adoption, copies of this Ordinance shall be filed at each branch of the Berkeley Public Library and the title shall be published in a newspaper of general circulation.

Exhibits

A: Utility Easement

Page 4 EXHIBIT A

RECORDING REQUESTED BY

East Bay Municipal Utility District

AND WHEN RECORDED MAIL TO

East Bay Municipal Utility District P. O. Box 24055 - MS #903 Oakland, CA 94623

Attn: Real Estate Services (RK)

EA 23-001 - RW 5769 - Out of Tract Easement

SPACE ABOVE THIS LINE FOR RECORDER'S USE

APN: 60-2521-3-1

Pursuant to Government Code Section 27383, Grantee is exempt from paying recording fees.

R&T 11911 - Consideration is less than \$100

Certificate of Acceptance Attached

GRANT OF EASEMENT

THIS INDENTURE, made by and between City of Berkeley, a California municipal corporation, hereinafter called the Grantor, and EAST BAY MUNICIPAL UTILITY DISTRICT, a public corporation organized and existing under the laws of the State of California, hereinafter called the Grantee.

WITNESSETH:

THAT the Grantor, for a good and valuable consideration, the receipt and sufficiency whereof are hereby acknowledged, hereby grants to the Grantee and to its successors and assigns a perpetual easement and right-of-way for the purpose of laying down, constructing, reconstructing, removing, replacing, repairing, maintaining, operating and using, as the Grantee may see fit, any facilities necessary for the transmission of utilities, including all necessary braces, connections, fastenings and other appliances and fixtures, in, under, along and across that certain real property described in **Exhibit "A"** and shown on **Exhibit "B"**, attached hereto and made a part hereof.

TOGETHER with the right of ingress to and egress from said right-of-way and the right at all times to enter in, over and upon said right-of-way and every part thereof and also to use said right-of-way for all purposes connected with the laying down, constructing, reconstructing, replacing, removing, repairing, maintaining, operating and using said utilities.

The Grantor and the Grantor's heirs, successors, or assigns shall not place or permit to be placed on said right-of-way any building or structure, including but not limited to houses, garages, outbuildings, swimming pools, tennis courts, retaining walls, decks, and patios nor allow to be done anything which may interfere with the full enjoyment by the Grantee of the rights herein granted.

The above paragraph notwithstanding Grantor reserves the right to landscape the

easement area in a manner consistent with the Grantee's use; however, such use by Grantor shall not include the planting of trees nor a change in the existing surface elevation (grade) of the easement area by more than one (1) foot without first having prior written consent of the Grantee.

The Grantee agrees that said utilities shall be constructed and maintained at a depth of at least eighteen (18) inches below the present surface of the ground.

The Grantee agrees upon the completion of any of its works hereunder to restore as near as possible the surface of the ground to the condition in which it was prior to the commencement of said work.

TO HAVE AND TO HOLD, all and singular, the rights above described unto the Grantee and the Grantee's successors and assigns forever.

IN WITNESS WHEREOF,	the Grantor has executed this indenture this day of
	City of Berkeley, a California municipal corporation
	By:

[AUTHORIZED SIGNER(S), TITLE]

Page 2 of 2

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.				
State of California		-)		
County of		_ =) -		
	before me,			
Dat		Here Insert Name and Title of the Officer		
personally appear	ed			
		Name(s) of Signer(s)		
subscribed to the his/her/their author	within instrument and ack ized capacity(les), and that	ctory evidence to be the person(s) whose name(s) is/are mowledged to me that he/she/they executed the same in by his/her/their signature(s) on the instrument the person(s), (s) acted, executed the instrument. I certify under PENALTY OF PERJURY under the laws		
		of the State of California that the foregoing paragraph is true and correct.		
		WITNESS my hand and official seal.		
		Signature		
		Signature of Notary Public		
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EXHIBIT A LEGAL DESCRIPTION

Real property situate in the City of Berkeley, County of Alameda, State of California, described as follows:

Being a portion of Section 9, Township 1 South, Range 4 West, Lots 1 and 2 as shown on that certain map entitled "Map No. 4 of Salt Marsh and Tide Lands, situate in the County of Alameda, State of California" certified copies of which are on file with the Survey General of the State of California and a portion of Berkeley Aquatic Park (APN 60-2521-3-1), and a portion of that certain Quitclaim Deed recorded September 12, 1936 in Liber 3402 Page 25 in the Office of the County Recorder of Alameda County more particularly described as follows:

BEGINNING at the southwesterly corner of Parcel B as shown on that certain Parcel Map 11067 filed on April 27, 2023 in Book 358 of Parcel Maps at Pages 26 through 27, inclusive, in the Office of the County Recorder of Alameda County being also a point on Allardt's Water line as described and shown on the project report of Ralph A. Beebee, dated September 3, 1936 on file at the City of Berkeley;

Thence along the southerly extension of the southwesterly line of Parcel B, South 19°56'38" East, 30.15 feet to the intersection with the centerline of Bancroft Way;

Thence along the centerline of Bancroft Way, South 75°42'45" West, 20.10 feet;

Thence along a line parallel with and 20 feet westerly from, measured at right angles, the westerly line of Parcel B, as shown and described on said Parcel Map (358 PM 26) North 19°56'38" West, 207.89 feet;

Thence continuing along a line parallel with and 20 feet westerly from, measured at right angles, the westerly line of Parcel A and B, as shown and described on said Parcel Map (358 PM 26) North 22°41'29" West, 860.26 feet;

Thence North 68°17'58" West, 15.61 feet;

Thence North 22°41'29" West, 48.61 feet;

Thence North 24°20'06" West, 60.20 feet;

Thence North 01°14'01" East, 38.74 feet;

Thence North 72°35'23" East, 14.59 feet to a point on said Allardt's Water line;

Thence along said line South 28°56'22" East, 20.41 feet;

Thence leaving said Allardt's Water line South 72°35'23" West, 4.31 feet;

Thence South 01°14'01" West, 19.84 feet;

Thence South 24°20'06" East, 55.95 feet;

Thence South 22°41'29" East, 40.49 feet;

4670 Willow Road Suite 250 Pleasanton California 94588 phone 925.396.7700 fax 925.396.7799 www.bkf.com



Thence South 68°17'58" East, 15.61 feet to a point on the westerly line of said Parcel A;

Thence along the westerly line of said Parcel A and Parcel B, respectively, also being said Allardt's Water line, South 22°41'29" East, 869.15 feet;

Thence South 19°56'38" East, 180.20 feet along said Parcel B; to the POINT OF BEGINNING.

Containing 24,616 square feet or 0.565 acres, more or less.

END OF DESCRIPTION.

Exhibit B attached hereto and by this reference made part hereof.

For: BKF Engineers

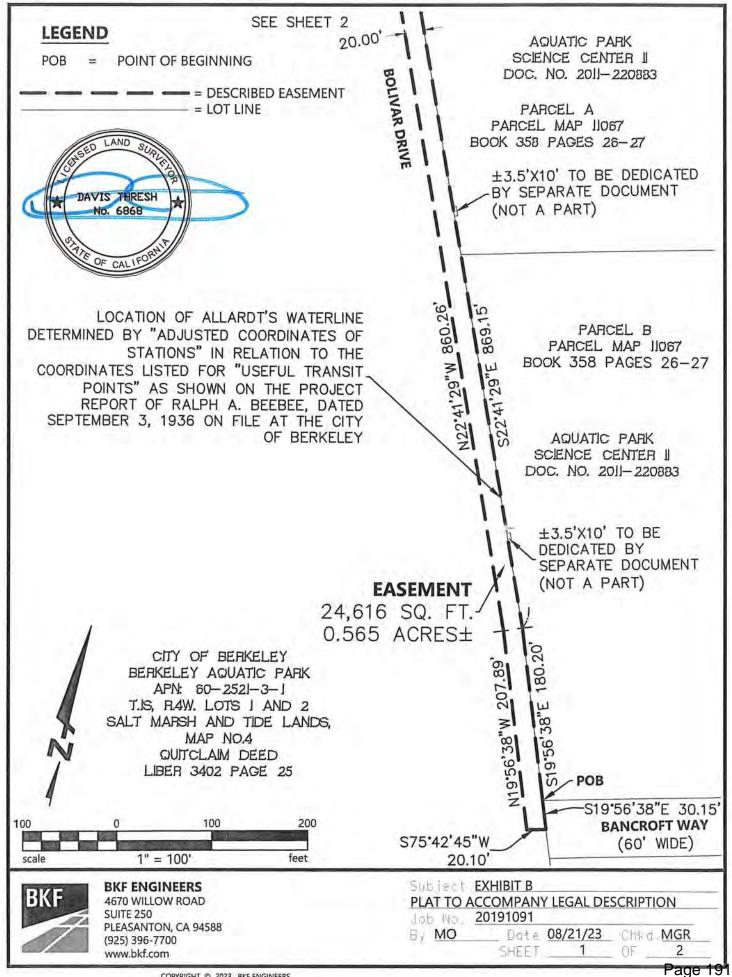
Davis Thresh, P.L.S. No. 6868

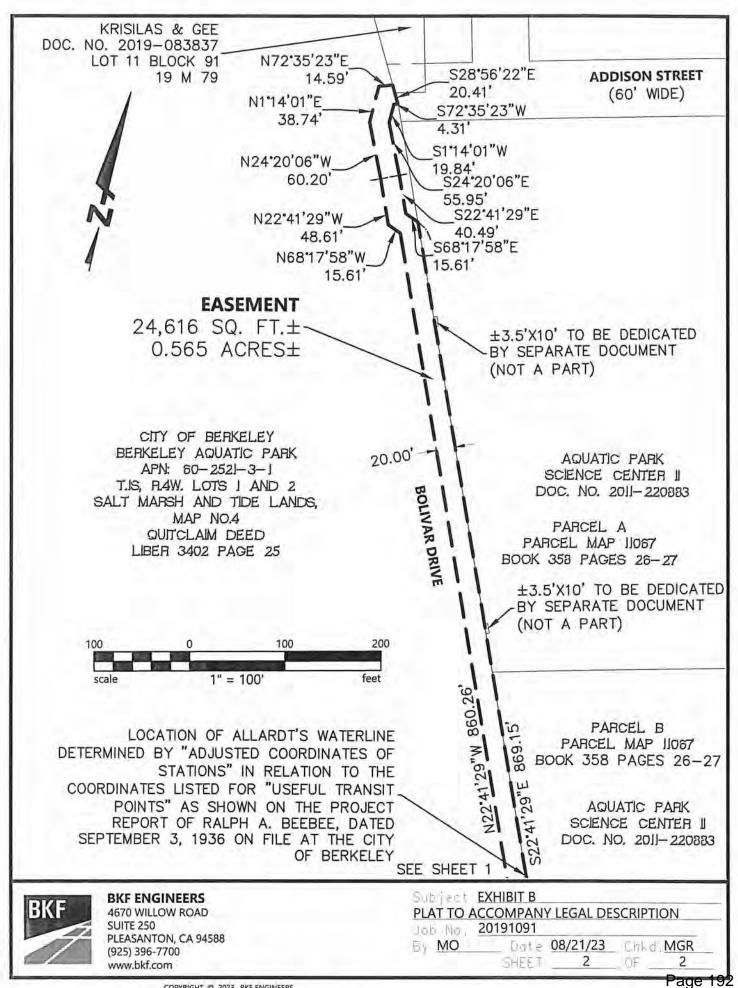
08/21/2023

Dated



4670 Willow Road Suite 250 Pleasanton California 94588 phone 925.396.7700 fax 925.396.7799 www.bkf.com







To: Honorable Mayor and Members of the City Council

From: Homeless Services Panel of Experts

Submitted by: Carole Marasovic, Acting Chair, Homeless Services Panel of Experts

Subject: Serving inclement weather needs, RV dwellers, and other vehicle dwellers

through the Encampment Mobile Mental Health Wellness Team, as is

feasible, within parameters of the state-approved project plan

RECOMMENDATION

That Council refer to staff to include providing services to meet inclement weather needs of the unhoused and provide services to RV, and other vehicle, dwellers, as is feasible, within the parameters of the state-approved plan.

FISCAL IMPACTS OF RECOMMENDATION

The fiscal impacts have already been met under the state-approved Mental Health Services Act plan for an Encampment Mobile Mental Health Wellness Team to provide mental health wellness services to support unhoused persons in encampments in Berkeley for 4-5 years for a total of \$2.8 million dollars in MHSA monies.

CURRENT SITUATION AND ITS EFFECTS

The state of California has already approved a plan for 4-5 years for Berkeley to implement an Encampment Mental Health Wellness Mobile Team which provide support services in a client-centered manner, to encampments of unhoused persons. Under this plan, the services would be provided consistent with the unhoused persons wishes as to what they want and need to promote their mental health wellness. This plan will be implemented with Mental Health Services Act monies for a total of about 2.8 million over a 4-5 year period. The provider has been selected but not yet, publicly announced as of this writing.

Last year, the unhoused, who were unsheltered, suffered a brutal winter where they often were left without equipment and warm clothing. In particular, they were in need of tents, rain gear and clothing such as gloves and hats. It is expected that these inclement weather needs will continue unless provisions are made for regular delivery of these items.

Public

Serving inclement weather needs, RV dwellers, and other vehicle dwellers

CONSENT CALENDAR September 12, 2023

RV dwellers, and other vehicle dwellers, are a visible number of unhoused persons in the community who also have wellness needs and could benefit from the Encampment Mobile Mental Health Wellness Team consistent with the state-approved plan.

BACKGROUND

On July 13, 2023, the Homeless Services Panel of Experts passed the following motion:

Action: M/S/C Wachspress/Meany move to Council to refer to staff to include providing services to meet inclement weather needs of the unhoused and provide services to RV, and other vehicle, dwellers, as is feasible, within the parameters of the state-approved Encampment Mobile Mental Health Wellness Team.

Vote: Ayes: Meany, Hynes, Kealoha-Blake, Bookstein, Feller, Jones, Wachspress

and Marasovic.

Noes: None. Abstain: None. Absent: None.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

With client-centered mental health wellness services provided by the Encampment Mental Health Wellness Mobile Team, there should be an improved environmental and climate impact. The services to RVs and vehicle dwellers and meeting inclement weather needs of all of Berkeley's unhoused encampments should further improve those impacts.

RATIONALE FOR RECOMMENDATION

The Homeless Services Panel of Experts appreciates the MHSA state-approved plan for Encampment-based Mobile Mental Health Wellness Team services. Incorporating meeting inclement weather services' needs, such as providing warm clothing and tents, and defining encampments to include RVs and other vehicle dwellers, should be easily accomplished, if feasible, within the parameters of the state-approved plan.

ALTERNATIVE ACTIONS CONSIDERED

To leave the plan standing as is.

CITY MANAGER

The City Manager takes no position on the content and recommendations of the Commission's report.

CONTACT PERSON

Josh Jacobs, Homeless Services Coordinator, Neighborhood Services, (510) 225-5435



To: Honorable Mayor and Members of the City Council

From: Homeless Services Panel of Experts

Submitted by: Carole Marasovic, Acting Chair, Homeless Services Panel of Experts

Subject: Authorization for an Additional Homeless Services Panel of Experts meeting

in October 2023

RECOMMENDATION

Adopt a Resolution authorizing one additional meeting of the Homeless Services Panel of Experts in October 2023, which would restore one general meeting given that 3 special meetings were otherwise used to address Measure P allocations.

FISCAL IMPACTS OF RECOMMENDATION

The only fiscal impacts are the cost of the room rental for commission meetings and commission stipends for those commissioners who financially qualify.

CURRENT SITUATION AND ITS EFFECTS

The ordinance mandating the number of commission meetings allotted each year provides for only 10 meetings per calendar year without returning to Council for approval for additional meetings.

In order for the Homeless Services Panel of Experts (HSPE) to review and make Measure P recommendations to meet Council's deadlines, three special meetings were held.

In January, 2024, HSPE will be conducting an intensive review of funding proposals under the community agency allocation funding process. Due to the three special meetings that had to be called, without the restoration of one regular monthly meeting, HSPE would not have an opportunity to meet between August-December to discuss homeless policy and make recommendations to Council. As such, HSPE would not have any meetings for the last five months in 2023. Without the granting of one additional meeting, HSPE would not meet until January, 2024 when they will be involved in the community agency allocation process reviewing and scoring funding proposals.

During the current funding process, HSPE believes that they need additional information brought to them by staff and to have fact-gathering and exploratory discussions

between funding cycles. This cannot be done without the addition of an eleventh meeting this October.

BACKGROUND

On June 7, 2023, the Homeless Services Panel of Experts passed the following motion:

Action: M/S/C Meany/Marasovic move to restore 1 monthly meeting of Homeless Services Panel of Experts in order to conduct regular monthly meetings in October.

Vote: Ayes: Meany, Kealoha-Blake, Bookstein, and Marasovic.

Noes: Hynes. Abstain: None. Absent: Feller, Jones, Wachspress (Leave of

absence).

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no significant environmental effects.

RATIONALE FOR RECOMMENDATION

The Homeless Services Panel of Experts is entrusted with not only making recommendations for funding but also to know the full landscape of homeless services in Berkeley and to recognize gaps that need to be addressed. The Homeless Services Panel of Experts is also entrusted with making policy recommendations even more under its mandate since the Homeless Commission was folded into HSPE. In order to do so, HSPE needs Council's approval to be able to conduct one additional monthly meeting in October 2023, if granted it will be the only meeting during the last five months of 2023.

ALTERNATIVE ACTIONS CONSIDERED

To not have 1 meeting restored so that HSPE cannot secure information needed to fulfill their mandated responsibilities and not make any policy recommendations to Council.

CITY MANAGER

The City Manager takes no position on the content and recommendations of the Commission's report.

CONTACT PERSON

Josh Jacobs, Homeless Services Coordinator, Neighborhood Services, (510) 225-5435

Attachments:

1: Resolution

RESOLUTION NO. ##,###-N.S.

AUTHORIZING (1) ADDITIONAL MEETING FOR THE HOMELESS SERVICES PANEL OF EXPERTS

Whereas, Resolution No. 68,258-N.S. stipulates how many annual meetings are allowed for Berkeley's commissions and places the Homeless Commission in Category B, with a maximum of 10 meetings per year; and

Whereas, the Homeless Services Panel of Experts was created to continue the ongoing function previously performed by the Homeless Commission pursuant to BMC 7.52.190(J), and no updated resolution has been passed giving authority to the Homeless Services Panel of Experts to hold more than 10 meetings; and

Whereas, the Homeless Services Panel of Experts plans to hold an additional meeting in October for the purpose of conducting fact finding, discussing policy, and making recommendations to City Council.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the Council authorizes one additional meeting in 2023 for the Homeless Services Panel of Experts.



To: Honorable Mayor and Members of the City Council

From: Homeless Services Panel of Experts

Submitted by: Carole Marasovic, Acting Chair, Homeless Services Panel of Experts

Subject: Accommodating Client Literacy and Cognitive Challenges in Community

Agency Allocation Funding Process as to Homeless Providers

RECOMMENDATION

That Council refer to staff to include in the community agency allocation funding RFP a question to homeless services providers as to how homeless services providers plan to accommodate clients with literacy and cognitive challenges.

FISCAL IMPACTS OF RECOMMENDATION

There should be minimal, if any, fiscal impacts.

<u>CURRENT SITUATION AND ITS EFFECTS</u>

Many persons who engage with the homeless services system have literacy and cognitive challenges. They are frequently provided documents to sign without knowing the content of those documents. Homeless services providers should be providing accommodations to these persons so that they understand the nature of what they are agreeing to in these documents.

BACKGROUND

On July 13, 2023, the Homeless Services Panel of Experts passed the following motion:

Action: M/S/C Meany/Wachspress move that Council refer to staff to include a question, to homeless services providers, in the community agency allocation funding RFP as to how homeless services providers plan to accommodate clients with literacy and cognitive challenges.

Vote: Ayes: Meany, Hynes, Kealoha-Blake, Bookstein, Feller, Jones, Wachspress and

Marasovic.

Noes: None. Abstain: None. Absent: None.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no known identifiable environmental impacts.

RATIONALE FOR RECOMMENDATION

HSPE can only make recommendations to Council instead of directly to staff.

During previous site visits to homeless services programs, clients of programs indicated that literacy and cognitive challenges were a major issue for clients who frequently are presented with forms requiring their consent that they do not understand.

The community agency allocation funding process is an opportunity for providers to respond to this important issue and how they will accommodate these clients. Staff, in a prior community agency funding cycle, incorporated the Homeless Commission's concern on another matter, grievance procedures, into RFPs. Thus, this issue can be easily addressed.

ALTERNATIVE ACTIONS CONSIDERED

To not take any action.

CITY MANAGER

See City Manager's companion report.

CONTACT PERSON

Josh Jacobs, Homeless Services Coordinator, Neighborhood Services, (510) 225-5435



To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Josh Jacobs, Homeless Services Coordinator, City Manager's Office

Subject: Companion Report: Accommodating Client Literacy and Cognitive Challenges

in Community Agency Allocation Funding Process as to Homeless Providers

RECOMMENDATION

Take no action on the Homeless Services Panel of Experts' recommendation, as staff have already included in the community agency allocation funding Request for Proposals (RFP) a question to homeless services providers as to how they plan to accommodate clients with literacy and cognitive challenges.

FISCAL IMPACTS OF RECOMMENDATION

There should be minimal, if any, fiscal impacts.

CURRENT SITUATION AND ITS EFFECTS

Staff agree that many persons who engage with the homeless services system have literacy and cognitive challenges, and after the Homeless Service Panel of Experts approved their recommendation, voluntarily agreed to add a question to assess how homeless service providers are providing accommodations to these persons as part of the agency allocation funding process.

BACKGROUND

On July 13, 2023, the Homeless Services Panel of Experts passed the following motion:

Action: M/S/C Meany/Wachspress move that Council refer to staff to include a question, to homeless services providers, in the community agency allocation funding RFP as to how homeless services providers plan to accommodate clients with literacy and cognitive challenges.

Vote: Ayes: Meany, Hynes, Kealoha-Blake, Bookstein, Feller, Jones, Wachspress and

Marasovic.

Noes: None. Abstain: None. Absent: None.

In response, staff have preemptively added a question to address these concerns to the agency allocation funding process.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS

There are no known identifiable environmental effects.

RATIONALE FOR RECOMMENDATION

There is no action needed as staff have already addressed the concern raised by the panel.

ALTERNATIVE ACTIONS CONSIDERED

To add further questions to the RFP process.

CONTACT PERSON

Josh Jacobs, Homeless Services Coordinator, Neighborhood Services, (510) 225-5435



To: Honorable Members of the City Council

From: Mayor Jesse Arreguín

Subject: Appoint Ayanna Davis to the Berkeley Housing Authority Board

RECOMMENDATION

Adopt a Resolution appointing Ayanna Davis to serve on the Berkeley Housing Authority Board of Commissioners for a four-year term.

BACKGROUND

On May 22, 2007, the Berkeley City Council established a Berkeley Housing Authority (BHA) Board of Commissioners. State law mandates BHA commissioners, including successors, be appointed by the Mayor and confirmed by the City Council.

There are currently two vacancies on the seven-member Berkeley Housing Authority Board. Pursuant to California's Health and Safety Code Section 34272, the Mayor nominates Ayanna Davis to fill a vacancy for a four-year term on the BHA Board. A search is currently underway to fill the final vacant seat.

Ms. Davis has worked for Health Black Families, Inc. (HBF) for the last eight years, serving as the Deputy Executive Director for the past two years. During her time at HBF, she has been a community leader in creating engagement and advocacy, in addition to supervising day-to-day operations. She brings decades of experience over a wide range of fields, including community radio programming, event management, legal and research assistance, and grassroots organizing. She is the fifth generation of her family to live in Berkeley and the East Bay, and leverages that history to give back and support underserved communities. Her experience, compassion, advocacy, and mobilization skills make her the ideal candidate to serve on the BHA Board and support implementation of the City's housing goals.

FINANCIAL IMPLICATIONS

None

ENVIRONMENTAL SUSTAINABILITY

There are no identifiable environmental effects or opportunities associated with adopting this recommendation.

CONTACT PERSON

Appointment of Ayanna Davis to the BHA Board

CONSENT CALENDAR September 12, 2023

Mayor Jesse Arreguín 510-981-7100

Attachments:

- 1: Resolution
- 2: Resume of Ayanna Davis

Page 2 Page 204

RESOLUTION NO. ##,###-N.S.

APPOINTING AYANNA DAVIS AS A COMMISSIONER ON THE BERKELEY HOUSING AUTHORITY BOARD OF COMISSIONERS

WHEREAS, the Council of the City of Berkeley, as the governing body of the City of Berkeley, declared itself to the Commissioners of the Berkeley Housing Authority (BHA) and appointed two tenant Commissioners pursuant to Health and Safety Code Section 34290; and

WHEREAS, on May 22, 2007 the Mayor appointed, and the City Council by a majority vote confirmed, the appointment of 5 Commissioners and 2 tenant Commissioners to the BHA Board pursuant to Health and Safety Code Section 34270; and

WHEREAS, there are currently two vacant Commissioner seats that needs to be filled; and

WHEREAS, the Mayor has nominated Ayanna Davis, a Berkeley resident who has decades of experience over a wide range of fields, including community radio programming, event management, legal and research assistance, and grassroots organizing; and

WHEREAS, Davis currently works as the Deputy Executive Director of Health Black Families, Inc. (HBF), where she has been a community leader in creating engagement and advocacy, in addition to supervising day-to-day operations; and

WHEREAS, Davis' experience, compassion, advocacy, and mobilization skills make her the ideal candidate to serve on the BHA Board and support implementation of the City's housing goals.

NOW THEREFORE, BE IT RESOLVED by the Mayor of the City of Berkeley that Ayanna Davis is appointed to serve as a tenant Commissioner on the Berkeley Housing Authority Board; and

BE IT FURTHER RESOLVED by the Council of the City of Berkeley that it supports the Mayor's determination regarding the qualifications of Ayanna Davis and hereby confirms the Mayor's appointment; and

BE IT FURTHER AND FINALLY RESOLVED by the Mayor of the City of Berkeley that, pursuant to Health and Safety Code Section 34272(a), Ayanna Davis is appointed to serve as a Commissioner for a four-year term.

RESUME

Ayanna Davis <u>mamaayanna@healthyblackfam.org</u> 510-379-6387

EDUCATION

2004 - 2007: Academy of Chinese Culture and Health Sciences; Oakland, CA

Major: Master of Science | Traditional Medicine | Health Sciences 2007 - 2009 Community Acupuncture 1000-hour Clinical Internship

San Francisco State University; San Francisco, CA Major: Liberal Arts/Minor: Education; BS completion

College of Alameda; Alameda, CA

Major: Special Education; AA; Major: Business; AB

RELATED WORK EXPERIENCE

July 1, 2021 – Present

Deputy Executive Director, Healthy Black Families

Part of Executive Team with focus on policy development, program governance, community engagement and organizational advocacy. Support Executive Director with day-to-day operations and Board duties. Work with community stake holders, partners, and community-based organizations on affordable housing, health and education equity, policy, advocacy, and community engagement initiatives. Design, implement, and facilitate advocacy and policy training, workshops, and classes. Supervise program manager and program staff in day-to-day program activities to ensure meeting of contract and grant deliverable, goals, and objectives. Supervise, train, and evaluate employees, office staff, and volunteers; Prepare reports, presentations, communications, and other correspondence.

August 1, 2015 – June 30, 2021 Healthy Black Families, Inc. Director of Programs

Support Executive office with day-to-day operations and Board duties. Supervise day-to-day program related goals and activities as assigned. Conduct data management, evaluation, analysis, assessment, and monitoring to ensure that program activities meet contract goals and objectives. Supervise and train employees, office staff and volunteers; Prepare reports, presentations, outreach communications, and other correspondence. Oversee program grants budget, work plans and reporting. Ensure program activities align with HBF strategic plan. Supervise Sisters Together Empowering Peers (STEP) Program. Support the Berkeley Black Infant Health Program. Participate in local coalitions and community partnerships. Report to the Board of Directors, funders, and community partners. Plan and supervise community education forums; Create, plan, oversee and implement, programming, training, events, calendars, and schedules.

October 1, 2012 – June 2016: Rafiki Coalition for Health and Wellness Wellness Manager (Internal/External); Clinic Manager

Managed Internal and External Wellness Program; Wellness Center Manager. Managed onsite wellness program and healthy food pantry at City of San Francisco Housing Authority housing development; planned and coordinated over 120 physical activity/movement, garden, and nutrition education classes, health workshops and special events yearly; identified and hired workshop leaders, class instructors, nutritionists, chefs, CAM practitioners and vendors; created and managed program budgets, invoices and payment vouchers; created and coordinated monthly, quarterly and yearly class and workshop schedules and calendars; worked as liaison with funders and collaborative partners; wrote monthly, semi-annual and annual reports; supported development director in grant writing and reporting; supervised and evaluated associates and volunteers; designed and presented educational information; planned, taught and led movement, nutrition, and educational classes and workshops; managed on-site garden programs.

June 2010 – August 2012: Urban Releaf; Oakland, CA

Administrative Coordinator, Grants and Events Research – (contract position).

Coordinate and organize and host special community programs, community engagement, and educational events; create and coordinate budgets; organize speakers and vendors; coordinate community outreach; public relations; research, program design and grant writing; budget preparation, fundraising and outreach consultations.

1996 – 2012: Legal Assistant/Research Assistant/Paralegal

Contract legal and research assistance specializing in medical research, legal writing, document review, and case research; financial accounting and cost estimation; individual case preparation; case and process service; client and witness interviewing; court document filing; and report writing for trial preparation in Criminal Defense, Personal Injury, Family and Special Interest Law Litigation.

RELATED TRAINING:

January - May 2012: Restorative Justice Leadership Training; Oakland, CA

Dec 2010 - Dec 2013: National Bay Area CARES Leadership Training; Oakland, CA

July 2015/2009/2007/2005: CPR and First Aid Certification; Red Cross, Oakland, CA

Feb 2004 - May 2004: Foundations of Non-violent Communication; EBCRC, Oakland, CA

January 2000 - June 2002: Re-evaluation Co-Counselor Training; Berkeley, CA

January 2001 – June 2001: Legal Secretary/Paralegal Refresher Course

June 2001 - Jan 2002: Microsoft Office User's Certification

January 1981 - December 1996: Paralegal, legal investigator consultant

RELATED COMMUNITY LEADERSHIP:

October 2020 – Present: Affordable Housing Preference Policy survey outreach, policy writing, policy advocacy; Berkeley, CA

July 2017 - Present: Acting Director Kongo Ngola Kapoeira Institute

July 1993 - Present: Founding Member and Strategic Advisor; Malcolm X Grassroots Movement

Oakland Chapter

June 2015 – December 2019: Co-Coordinator - Malcolm X Grassroots Movement Oakland Chapter

January 2014 – December 2017: Co-Coordinator - State of Black Oakland (SOBO) People's Assembly Leadership Committee

January 2002 - July 2006: Cofounder-Director - Black Health and Healing Coalition; Bay Area

June 2002 – July 2006: Black Women's Health and Healing Conferences and Retreats

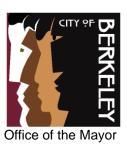
July 2001 – June 2004: Lead Health Educator/Teacher School of Social Justice and Community Development; Oakland, CA

July 1994 – December 2010: Cofounder/Co-Coordinator – Black Women's Health and Healing Circles; Bay Area

July 1985 – December 2002: KPFA Radio – Producer, Host, Director – Community Radio Programming; Berkeley, CA

July 1984 – December 1997: Founder, Co-Coordinator – African Women United For Development Bay Area

References: Upon Request



To: Honorable Members of the City Council

From: Mayor Jesse Arreguín

Subject: Excused Absence for Councilmember Kate Harrison

RECOMMENDATION

Excuse Councilmember Kate Harrison from the September 19, 2023 Council meeting as a result of attending to official business of the City.

BACKGROUND

Pursuant to the City Charter, Article V, § 19, the City Council must approve an absence by a Councilmember from a meeting in order for that absence to be considered excused. Specifically, it states:

If the Mayor or any member of the Council is absent from one or more regular meetings of the Council during any calendar month, unless excused by the Council in order to attend to official business of the City, or unless excused by the Council as a result of their own illness or the illness or death of a "close family member" as defined in the City's bereavement policy from attending no more than two regular meetings in any calendar year, they shall be paid for each regular meeting attended during such months in an amount equal to the monthly remuneration divided by the number of regular meetings held during such month.

Councilmember Harrison is unable to attend the September 19, 2023 Council meeting due to her presentation at the Zero Carbon Retreat near Arcata, California, which is taking place on September 19-20, 2023. Councilmember Harrison is one of the speakers at this event, where she will present on the actions the Council and City of Berkeley has taken towards electrification and related energy and environmental policies, namely the City's groundbreaking Just Transition Residential Electrification Pilot Program.

Current and past speakers have included members of Congress, members of the California Energy Commission, representatives of Community Choice Aggregators and utilities, municipal governments, and zero carbon building professionals.

Redwood Energy's 15th Zero Carbon Retreat			
	Tuseday 9/19	Wednesday 9/20	
9:30	Sean Armstrong - Redwood Energy	Kate Harrison - Berkeley City Councilmember	
10:00	Claire Halbrook - Director at Gridworks	Will Vicent & Muhammad Fasical - California Energy Commission	
	BREAK	BREAK	
11:00	David Kaneda - IDeAsC	Emily Higbee, Dylan Anderson, & Jessie Lee - Redwood Energy	
11:30	Misti Bruceri - Principal of Misti Bruceri and Associates	Mckenna Dunbar - Sierra Club	
	LUNCH	LUNCH	
1:30	Nick Jiles - Rocky Mountain Institute	Greg Pfotenhauer - Artemisia Energy & Justin Kjeldsen - Franklin Energy	
2:00	Jenny Low - Build it Green	Weldon Kennedy - Channing St. Copper Co.	
2:30	Gibran Washington - Manager of Eco-D	Rachelle Boucher - Building Decarbonization Coalition	
	BREAK	BREAK	
3:30	Roxana Rojas - Rising Sun	Mark Hall - <u>Revalue.io</u>	
4:00	Maria Diaz/Jonathan Sander - Redwood Energy	Christine Tam - Utilities Department at the City of Palo Alto	
4:30	Quency Phillips - Founder & Executive Director of Lighthouse Silicon Valley	Shawn Oram - Ecotope	

Representatives from the City of Berkeley have been routinely invited to present and regularly attend each year.

The conference is well attended and remains a key opportunity for disseminating Berkeley's innovative climate policies to other jurisdictions.

FINANCIAL IMPLICATIONS None

ENVIRONMENTAL SUSTAINABILITY Not applicable

CONTACT PERSON

Mayor Jesse Arreguín 510-981-7100



To: Honorable Mayor and Members of the City Council

From: Councilmember Taplin and Councilmember Robinson

Subject: Letter to State Legislators Regarding San Pablo Park Pool Project

RECOMMENDATION

Send a letter to the requesting state budget allocations for capital improvements at San Pablo Park including the Frances Albrier Community Center and San Pablo Park Pool.

FINANCIAL IMPLICATIONS

Staff time.

BACKGROUND

Measure T1, passed by Berkeley voters in 2016, provided funding for a conceptual design and planning for a renovated Frances Albrier Community Center with an adjacent new pool at San Pablo Park. This project completed a conceptual design for the replacement of the Frances Albrier Community Center to a Care and Shelter facility and the addition of a 25 meter pool. However, the second phase of T1 projects did not include the actual construction for this project. The Community Center still needs significant renovations for ADA accessibility and seismic safety upgrades. The City's Building Analysis conducted as part of the conceptual design found significant dry rot and inadequate structural bracing of the roof, among other serious issues with the building (see Attachment 3).

On November 19, 2020, the Parks, Recreation & Waterfront Commission recommended projects for funding under Phase 2 of Measure T1, but only included Frances Albrier and the adjacent pool under projects "that are high priority but exceed the resources available under T1 Phase 2." (See Attachment 4). The commission further noted: "Many on our Commission were strongly in support of investing in Frances Albrier Center to create an inspirational community center, and those who participated in the planning effort were strongly in favor of the vision they created, which included a community pool. It is not possible to renovate or rebuild Willard Pool, and we fear that many children in our city will not have an opportunity to learn to swim...We want to make sure that Berkeley is well positioned to move forward with one of these projects if Federal or State funding is made available." The City Council approved these recommendations on December 15, 2020.

The City of Berkeley included the San Pablo Park Pool Project in its 2023 Legislative Platform (see Attachment 2). According to City staff, \$14.8 million would fully construct a competitive and recreational pool complex in San Pablo Park adjacent to the existing

SPPP Letter

CONSENT CALENDAR September 12, 2023

Frances Albrier Community Center. Currently, the closest public pool is at the West Campus Swim Center (2100 Browning St), but there is currently no public aquatic facility operating in what is typically considered South Berkeley.

According to the US Census Bureau, the San Pablo Park neighborhood saw a 34.3% decline in its Black population from 2010-2020, the largest decline of any Census tract in Berkeley. Meanwhile, construction costs have increased 26% over the last two years (2020 – 2022). These increases have required staff to reduce design and construction scopes and identify other funding sources where possible in order to complete many T1 phase 2 projects. Further deferring this project would only increase final costs and exacerbate the competition for scarce resources among other worthy projects. Failing to complete this project would risk breaking yet another promise to the Black community on behalf of the City.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE IMPACTS None.

CONTACT PERSON

Councilmember Taplin Council District 2 510-981-7120

Attachments:

- 1: Letter
- 2: 2023 Legislative Platform
- 3: Frances Albrier Planning and Conceptual Design
- 4: December 15, 2020 Meeting Agenda

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¹ Markovich, A. (2022). A changing Berkeley: 6 maps show how the past decade has remade the city. *Berkeleyside*. Retrieved from https://www.berkeleyside.org/2022/07/17/berkeley-population-demographics-housing-census-2020-maps



Senate Budget Committee & Assembly Budget Committee California State Capitol Sacramento, CA 95814

September 12, 2023

RE: Budget Request from the City of Berkeley Related to Infrastructure Improvements at San Pablo Park

Dear Committee members:

On behalf of the City of Berkeley, we want to thank you for your long-standing support for open space and the environment throughout the region and for investing in our communities' job base and capital improvement projects.

The City Council of the City of Berkeley is issuing this open letter to urgently request \$14.8 million in State funding for Berkeley's San Pablo Park Pool Project. The funding would fully construct a competitive and recreational pool complex in San Pablo Park adjacent to the existing Frances Albrier Community Center. This Aquatic facility would provide South Berkeley residents access to aquatic play, swimming lessons, and swim teams. These programs would be instrumental in bringing aquatic opportunities to lower income individuals and families.

As you may know, this project has been indefinitely delayed due to shortfalls in the City's Measure T1 infrastructure bond budget, as construction costs have continued to escalate and force difficult tradeoffs in prioritization. The City's Department of Parks, Recreation, & Waterfront (PRW) has made great strides in championing environmental and social justice in Berkeley's formerly redlined neighborhoods, providing high-quality services, securing millions in grant funding to plant hundreds of new trees, and renovating the tennis courts at San Pablo Park. However, our community needs additional support from our State and federal partners to fulfill our collective vision.

As this neighborhood has seen the greatest decline in its Black population over the past decade, this project's deferral severely compromises the City's commitment to racial justice and reparations. San Pablo Park remains a hub for Berkeley's Black community, as a central gathering place for families and friends displaced and dispersed across the region, and as a playing field for Berkeley Junior Jackets, and home of the San Pablo Tennis Club–for decades, it was one of the only parks in the Bay Area where Black people were allowed to play tennis. This park's symbolic and material importance in our struggle for racial justice cannot be overstated.

In today's economy, rising construction costs will only force more uncomfortable tradeoffs in municipal infrastructure planning if local revenues do not keep pace with these costs. Given this reality, we are increasingly concerned that Berkeley's list of unfunded capital projects will only grow the longer we wait to fully fund them. Securing contracts with these funds as soon as possible will help ensure that the final price tag is as close as possible to our staff's initial estimate.

Thank you for your leadership and your consideration of this important matter.

Sincerely,

The Berkeley City Council 2180 Milvia St Berkeley, CA 94704



SUPPLEMENTAL AGENDA MATERIAL for Supplemental Packet 1

Meeting Date: December 13, 2022

Item Number: 6

Item Description: City of Berkeley 2023 State and Federal Legislative Platform

Submitted by: Dee Williams-Ridley, City Manager

The proposed 2023 State and Federal Legislative Platform supports the City's efforts to seek federal and state funding assistance in the areas of affordable housing and homelessness, infrastructure improvements and climate resiliency. City staff have identified several projects in the attached "City of Berkeley 2023 Legislative Platform Project List" to include within the legislative platform for the upcoming calendar year.



Page 7 of 140 CITY OF BERKELEY 2023 LEGISLATIVE PLATFORM PROJECT LIST

Project Name: San Pablo Park Pool Project

Project Description: This funding would fully construct a competitive and recreational pool

complex in San Pablo Park adjacent to the existing Frances Albrier

Community Center

Community Benefit: This Aquatic facility would provide South Berkeley Residents access to

aquatic play, swimming lessons, and swim teams. These programs would

be instrumental in bringing aquatic opportunities to lower income

individuals and families.

Estimated Cost: \$14.8M for planning, design and construction

Contact: Scott Ferris, Director of Parks, Recreation, and Waterfront

SFerris@cityofberkeley.info; 510.981.6711

Project Name: Pier- Ferry Project

Project Description: This project will rebuild 1500 feet of the failed recreation pier and include

a docking area for daily WETA Ferry service that would transport people

to locations throughout the bay

Community Benefit: Before its closure due to structural damage in 2015, the pier was used for

walking, biking, fishing and sight-seeing by over 100,000 people per year. The addition of a ferry landing will increase this use by up to 900 people

per day.

Estimated Cost: \$8.0M for Planning and Design including CEQA and NEPA.

The City has applied for \$5.0M in grant funds from the Alameda County Transportation Commission for this project, but funding decisions have

not been made.

Contact: Scott Ferris, Director of Parks, Recreation, and Waterfront

SFerris@cityofberkeley.info; 510.981.6711

Project Name: Sea Level Rise Projects in the Waterfront

Project Description: These three (3) projects will address vulnerable shoreline locations in the

Waterfront to meet State resiliently requirements by mid-century and

State adaptable requirements by end of century

Community Benefit: These projects will protect our recreational and commercial assets

including streets, trails, nature areas, restaurants and hotels that insure equitable access to Waterfront areas for several hundred thousand east

bay residents per year.

Estimated Cost: \$10.05M for planning, design and construction as follows:

University Avenue Southern Shoreline: \$4.5M

■ Inner Harbor: \$3.05M

North Marina Blvd Shoreline: \$2.5M

Contact: Scott Ferris, Director of Parks, Recreation, and Waterfront

SFerris@cityofberkeley.info; 510.981.6711



Page 8 of 140 CITY OF BERKELEY 2023 LEGISLATIVE PLATFORM PROJECT LIST

Project Name: Fire Station Renovation/Replacement

Project Description: Renovation or replacement of Berkeley's seven fire stations **Community Benefit:** Increase space for additional staffing; meet operational needs

Estimated Cost: \$4.5-40M for renovation based on station

Contact: David Sprague, Interim Fire Chief, Berkeley Fire Department

dsprague@cityofberkeley.info; 510.981.3473

Project Name: Regional Fire Training Center

Project Description: Construct a regional fire training center

Community Benefit: Provide adequate and nearby training space for emergency responders

Estimated Cost: \$20M for design, permitting and soft costs; \$60M for construction **Contact:** David Sprague, Interim Fire Chief, Berkeley Fire Department

David Sprague, Interim Fire Chief, Berkeley Fire Department dsprague@cityofberkeley.info; 510.981.3473

Project Name: Civic Center Vision

Project Description: Develop Plans for Old City Hall and Veteran's Building

Community Benefit: Restore and make use of old, dilapidated City buildings and enhance the

Civic Center

Estimated Cost: \$10M for design

Contact: Liam Garland, Public Works Director

Igarland@cityofberkeley.info; 510.981.6303

Project Name: Telegraph Shared Streets

Project Description: Rebuild Telegraph Avenue from Dwight to Bancroft to prioritize transit,

bikes, and pedestrians, and divert cars from Telegraph at Haste and

Channing

Community Benefit: Improve pedestrian and bike safety and access, improve transit reliability,

and enhance the commercial district

Estimated Cost: \$1M for design and preliminary engineering; \$9M for construction

Contact: Liam Garland, Public Works Director

Igarland@cityofberkeley.info; 510.981.6303

Project Name: US DOT Safe Streets & Roads for All:

Vision Zero Pedestrian & Bicycle Crossing Safety

Project Description: Implement Bicycle and Pedestrian Plan crossing improvements at eight

Intersections

Community Benefit: Improve safety and accessibility for people walking and biking across high

injury streets

Estimated Cost: \$10M for design and construction (submitted for US DOT grant)

The City has submitted for a US DOT grant, but funding decisions have

not been made

Contact: Liam Garland, Public Works Director

lgarland@cityofberkeley.info; 510.981.6303



Page 9 of 140 CITY OF BERKELEY 2023 LEGISLATIVE PLATFORM PROJECT LIST

Project Name: US DOT Reconnecting Communities: Ashby Ave Vision Zero Safety Plan

Project Description: Develop a conceptual plan for safety improvements along Ashby Avenue

(State Route 13) from Telegraph Avenue to San Pablo Avenue

Community Benefit: Facilitate effective interagency coordination, to develop a comprehensive

corridor traffic safety plan, and support the robust local public engagement necessary to fully understand and address the safety

concerns of the local community

Estimated Cost: \$600,000 for study and conceptual design

The City has submitted for a US DOT grant, but funding decisions have

not been made

Contact: Liam Garland, Public Works Director

Igarland@cityofberkeley.info; 510.981.6303

Project Name: Caltrans HSIP Cycle 11: Protected Left Turns

Project Description: Hardware upgrade to add left turn signals to existing left turn lanes

Community Benefit: Protected left turn signals remove potential conflicts between left turning

vehicles and Pedestrians which is one of the primary causes of severe

and fatal traffic injuries

Estimated Cost: \$6M for design and construction

The City has submitted for a US DOT grant, but funding decisions have

not been made

Contact: Liam Garland, Public Works Director

Igarland@cityofberkeley.info; 510.981.6303

FRANCES ALBRIER PLANNING AND CONCEPTUAL DESIGN – EXECUTIVE SUMMARY

BACKGROUND

Built in 1965, the Frances Albrier Community Center (FACC) is located at 2800 Park Street, on the east side of San Pablo Park, Berkeley's oldest park. The FACC is a well-used community center that serves users of all ages from all over the City for a wide variety of recreation programs, afterschool and summer programs, community meetings and event space rentals. The most popular program at the FACC is the afterschool program for children ages 5-12 which has a capacity of 65 children. Enrollment reaches the maximum capacity every season and typically has an average waitlist of approximately 30 children.

As part of the City's Resilience Strategy, the Frances Albrier Community Center has been designated as one of seven mass "care and shelter" facilities for the City of Berkeley. Mass care and shelter facilities are to meet code requirements for "Immediate Occupancy" after a large disaster, such as an earthquake event. In 1960, building code requirements were much lower than what is required today to achieve the requirement for Immediate Occupancy, and a seismic analysis of the building performed in 2015 concluded that significant structural upgrades would be required to meet Immediate Occupancy performance. Furthermore, the building's mechanical, electrical and plumbing infrastructure are in constant need of repair and maintenance to improve the building's operation.

The Frances Albrier Community Center is a valuable resource for the neighborhood, and the community has expressed that FACC does not currently serve today's needs. FACC has the potential to meet the City's current program needs for the park as well as expand programming for groups of all ages. The community is in support of a structurally upgraded facility that is modern and flexible enough to serve the daily needs of the community, host special events, and function as a site for mass care and shelter activities in times of crisis.

FUNDING SOURCE

In 2016, Berkeley voters approved *Measure T1*, which authorized the City to sell \$100 million of general obligation bonds to repair, renovate, replace, or reconstruct the City's aging infrastructure and facilities, including important City facilities and buildings. In 2017, as part of the City's Measure T1 Bond program, the Frances Albrier Community Center received funding for the Planning and Conceptual Design for a new or renovated community center and mass care and shelter facility.

PROJECT TEAM

In March of 2019, the City of Berkeley selected Siegel and Strain Architects to provide professional consulting services to assist in completion of this project.

OUTREACH AND COMMUNITY ENGAGEMENT

Focus Groups, Interviews and Community Outreach

From June through September of 2019, staff and the consultant team conducted one-on-one or small group interviews with Frances Albrier Community Center and San Pablo Park stakeholders in Berkeley, including City Council Members (and/or their staff), City staff, and fee program providers. The team also met with and spoke to community users such as summer day camp families, neighborhood daycares,

long term residents of the San Pablo Park neighborhood, as well as park users and residents surrounding the park by door to door canvassing.

Community outreach events included attending National Night Out at San Pablo Park, canvassing the neighborhood National Night Out events, and San Pablo Park Movie Night. Online or remote efforts to connect with and inform the community about the project included posting events to the Berkeleyside calendar, mailing flyers to the surrounding neighborhood, posting on the City's various web pages and calendars, and email announcements out to program users and a contact list of attendees who showed interest in the project at other public meetings. All in all, the project team executed a robust community outreach effort and participated in 14 events over 12 weeks, an average of 1 event per week.

Community Outreach Summary

During the community outreach phase, the main themes of interest that emerged included:

- Enlarging the community center to be able to offer more recreational opportunities.
- Providing a modern, accessible, inviting, and safe space.
- Opening the community center to be a neighborhood gathering space and resource.
- Providing a sustainable and environmentally friendly solution to meet the City's Resiliency and Zero Net Energy and sustainability goals.
- Adding a swimming pool to replace the lost Willard Pool.

Community Open House #1

On October 23, 2019, staff and the consultant team hosted the first community open house at the Frances Albrier Community Center. The open house format allowed attendees to come and go at their convenience to engage with the project team. The open house started in the early evening to target feedback from families enrolled in or interested in the afterschool care program, and continued into the evening for the general public. Recreation staff were on hand to engage with children to make it more convenient for families to participate.

Four information stations were set up for attendees to visit: Site Analysis and Building Analysis, Project Goals, Activities and Spaces, and Conceptual Designs. (Attachments 1, 2, 3, and 4, respectively).

- The Site and Building Analysis station displayed a list of benefits and concerns with the existing community center and programs. The lists were compiled based on observations, assessments, interviews and meetings during the outreach phase.
- The Project Goals station focused on conversations about goals that were prioritized based on feedback received during the public outreach process.
- At the Activities and Spaces station, attendees were able to see a list of possible program activities as well as possible activities with different sized swimming pools.
- The Conceptual Designs station presented four design concepts.

Passing through each station, attendees engaged with various team members. Attendees completed survey sheets and/or engaged with team members who solicited additional feedback and compiled notes over the evening. Following the engagement, a similar survey along with files of the presentation boards were digitally formatted into an online survey which then went out to the community for additional feedback. This allowed members of the community who could not physically attend the community meeting to have an opportunity to view the design concepts and provide input.

Community Open House #2 - Remote Engagement

Following the first community open house, the plan was to hold the second community open house workshop on March 25, 2020 and present the preferred conceptual design. Due to the COVID-19 (Coronavirus) global pandemic, all public in-person meetings were cancelled and residents were directed to shelter-in-place by order of the City of Berkeley Public Health Officer.

The project team quickly switched to remote engagement and utilized digital, phone-in, or mail-in input. The consultant team developed a digital presentation covering the following topics:

- Project Overview
- Project History and Site Information
- Community Input
- Design
- Project Schedule and Budget

The presentation included opportunities for the community to provide further input on the conceptual designs for the team to develop the preferred option. As part of the presentation, the project team recorded responses to questions designed to engage the respondents with various aspects of each conceptual plan. See **Attachment 6** for the Community Outreach Summary. Responses included questions to determine what percentage of respondents attended and/or completed the survey from previous engagements, and what percentage of respondents were new.

CONCEPTUAL DESIGN OPTIONS A, B, C and D

The focus group meetings, community engagement and visioning process led to the creation of four conceptual design options. The three ideas that drew the most excitement were investment in the community, the addition of a City-owned public pool, and building upgrades. The expansion of the City's current programs as well as the opportunity to provide multi-activity and multi-generational use drew a strong interest as well.

Design Option A

Design Option A is the largest footprint, and reuses portions of the existing space and building walls. This option features a large gymnasium in addition to a separate multipurpose room and stage, the existing open courtyard, and the addition of a small pool (Attachment 4a).

Design Option B

Design Option B reconstructs the building and features a large lap and recreational size pool, an enclosed courtyard, and a small multipurpose room that can accommodate indoor sports, movement classes and rentals. An adjacent stage has doors that open up and connect to an outdoor stage, (Attachment 4b).

Design Option C

Design Option C is the smallest footprint and reconstructs the building. This option features a medium lap and recreational sized pool, medium sized multipurpose room with a stage, and a large courtyard that opens toward the ages 5-12 playground area (Attachment 4c).

Design Option D

Design Option D reconstructs the building and features a medium sized pool, medium sized multipurpose room with a stage and a very small courtyard area (**Attachment 4d**).

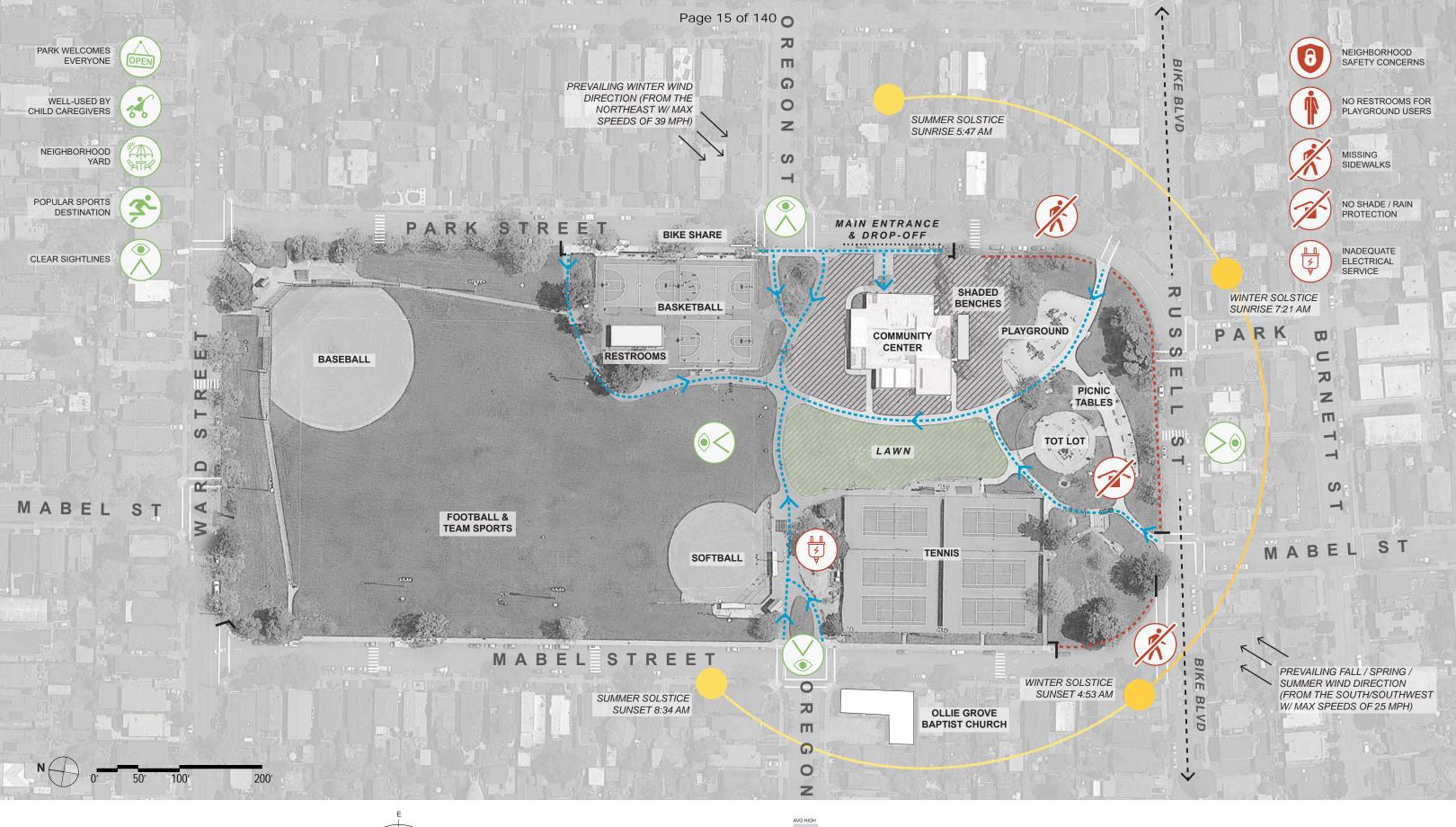
PREFERRED DESIGN CONCEPT

The preferred design concept, which combines elements of both Design Option B and Design Option C, is aligned with the majority of community, stakeholder and staff input. The preferred design concept, visualized in **Attachment 5**, includes the following key elements: large lap and recreational sized pool, multipurpose room with stage and adjacent exterior stage, flex/meeting room, commercial kitchen, and large courtyard with pathway connection to the 5-12 playground, and a public restroom within sight of the playgrounds.

FUTURE COSTS AND FUNDING STRATEGY

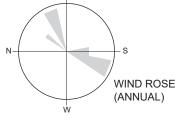
The cost for construction of the preferred design is \$24.6M and is presented in full in **Attachment 7**, with an estimated \$32M total project cost. The cost estimate will inform the subsequent implementation phases of planning, final design and construction for the preferred design concept. The project could be funded in phases with the community center without the pool (\$17.4M) in phase 1 and then the pool and associated building in phase 2 (\$7.2M). Partial or full funding for the project could be considered in the public process for Phase 2 of *Measure T1*, in potential future federal infrastructure funding, or for funding in a separate bond measure. The conceptual plans will also be used to seek any other funding opportunities.

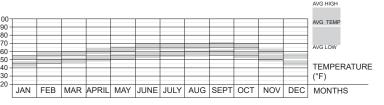
Site and Building Analysis

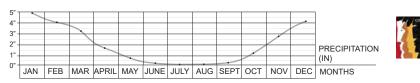


SITE ANALYSIS

FRANCES ALBRIER COMMUNITY CENTER 2800 PARK ST, BERKELEY, CA 94702















BUILDING ANALYSIS

FRANCES ALBRIER COMMUNITY CENTER **2800 PARK ST, BERKELEY, CA 94702**













Project Goals

PROJECT GOALS

FRANCES ALBRIER COMMUNITY CENTER 2800 PARK ST, BERKELEY, CA 94702









MULTIGENERATIONAL

- Flexible program rooms
- Additional programming and activity opportunities for people of all ages



- More campers and students
- More program rooms



INTEGRATED IN PARK

- Better visibility into (and out of) community center
- Support playground and tennis court users (restrooms, shade)



SAFETY

- Secure program spaces and courtyard
- Implement crime prevention through environmental design



EMERGENCY PREPAREDNESS

- Information hub during and after disasters
- Emergency services and supplies



SUSTAINABLE DESIGN

- Integrate City's principles and goals for sustainable design and operation
- Consider passive, net-zero, and all-electric strategies



COMMUNITY ENGAGEMENT

- Reach out to neighbors, park users, local sports groups, city staff, and council member for input
- Continued engagement and updates throughout design and construction

Activities and Spaces

ACTIVITIES & SPACES

FRANCES ALBRIER COMMUNITY CENTER 2800 PARK ST, BERKELEY, CA 94702



COMMUNITY CENTER

SPACE NAME	AREA (SF)	ACTIVITIES	
Lobby & Circulation	1,600		Waiting area; informal gathering space; community information space
Offices	720		
Multipurpose Room			Basketball
Small (74' x 42') - Junior High basketball court - Live Oak Rec. Center	4,400	(<u>X</u>)	Volleyball; futsal; badminton; pickleball
Medium (84' x 50') - High School basketball court - Golden Gate Rec. Ctr.	5,500	F	Movement classes; gymnastics; martial arts; dance classes; Zumba; hoop dance classes; yoga
Large (84' x 50') - High School basketball court - James Kenney Comm. Ctr.	7,500		Large meetings/trainings; community events; afterschool programming; camp programs
Stage	1,250		Performing arts; theater productions; afterschool programs
		4	Yoga; dance
Early Education	925		Parent and Me/Baby and Me classes
			Young children; Pre-K Power Play; Tots Around Tow Tot Art Classes
		(† *	Community rentals (birthday parties, baby showers) meeting space
Arts & Crafts	925	F	Art classes (all ages); pottery/ceramics (all ages); summer camps; afterschool programs
			Puppy training
Digital Media	925	\\$	Computer lab; laptop/tablet cart; rental/meeting space
			STEM classes; afterschool programs; summer camp
Meeting / Flex Room	925		Homework room; tutoring
			Neighborhood socials; small meetings; specialty classes; rentals; afterschool program; summer camp
Kitchen	600		Cooking classes; community kitchen classes; community rental; afterschool program and camp us
Restrooms	840		
Utilities	1,050		
Courtyard	4.000	**	Vegetable garden
Small Medium	1,000 3,250		Outdoor programs; community roptols; offersobool s
Large	4,500	(**)	Outdoor programs; community rentals; afterschool a camp programs

POOL FACILITY

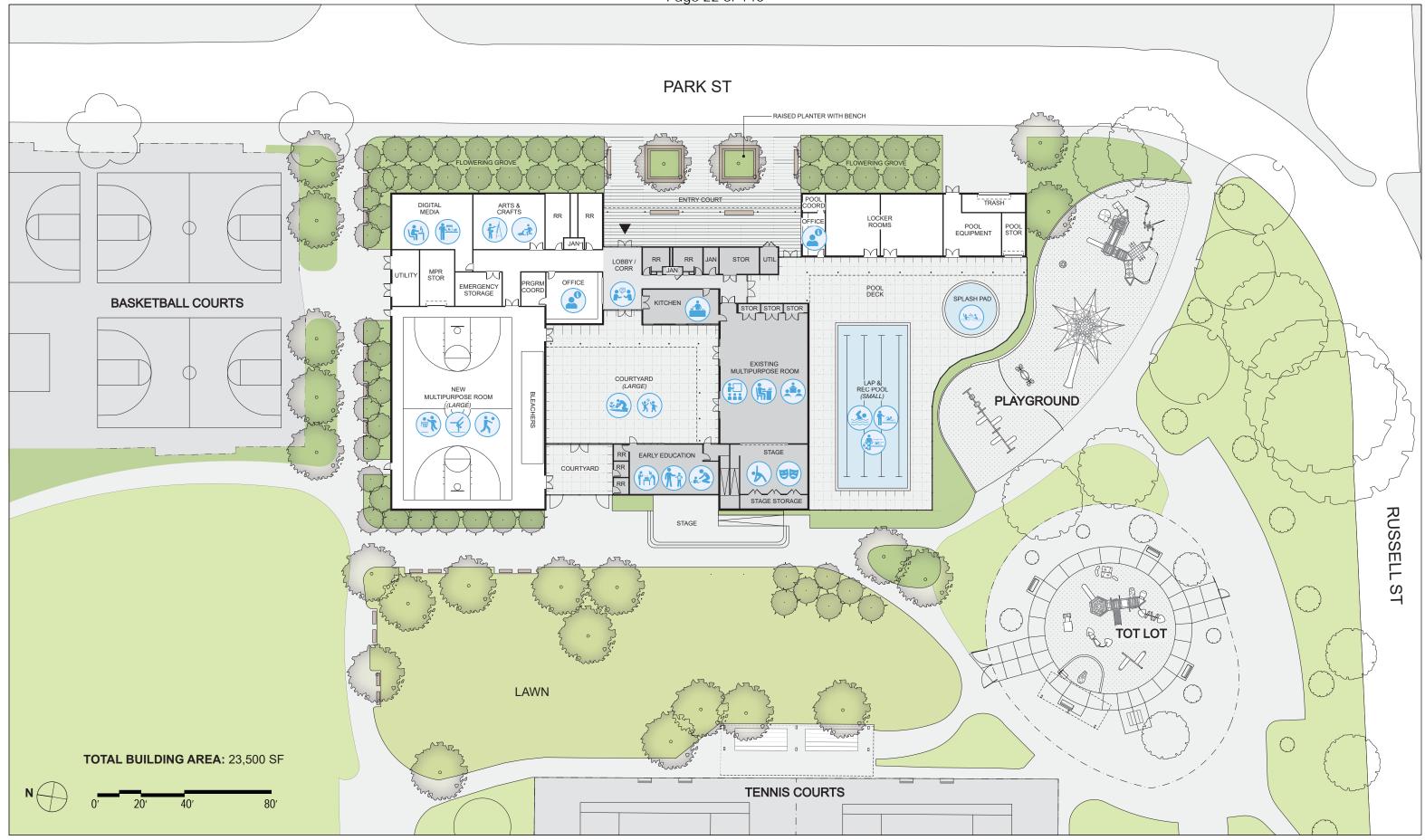
SPACE NAME	AREA (SF)	ACTIVITIES	
Entry	500	•	
Pool Small (75' x 32') - 4 lanes of lap swim	1,000		Lap swim; swim lessons; water walking; public swim; family swim; small Masters program; senior exercise Junior lifeguard camp; community safety classes (WSI, Lifeguarding)
Medium (75' x 45') - 6 lanes of lap swim - King Pool, Willard Pool, West Campus Pool	3,250	12	ACTIVITIES ABOVE + Swim lessons; parent/child swim lessons
Large (75' x 82') - 11 lanes of lap swim - Berkeley High Pool	4,500		ACTIVITIES ABOVE + Water polo
			Scuba diving training
			Introduction to paddleboard; introdcution to kayaking
			Synchronized swim
Pool Deck	5,500 - 10,200		
Splash Pad	500		Water play; mushroom showers; Parent and Me/Tot Water Safety/Intro class (Water Exploration)
Locker Rooms / Showers	1,500		
Utilities	1,500		Equipment room; storage
Lifeguard/Pool Office	100		Administrative and break area for lifeguards

4a - Design Option A

4b - Design Option B

4c - Design Option C

4d - Design Option D



OPTION A



OPTION B



OPTION C





OPTION D



Preferred Conceptual Design



Community Outreach Summary

Page 30 of 140

Community Outreach Summary

Frances Albrier Community **Center Planning & Design**



Project Overview

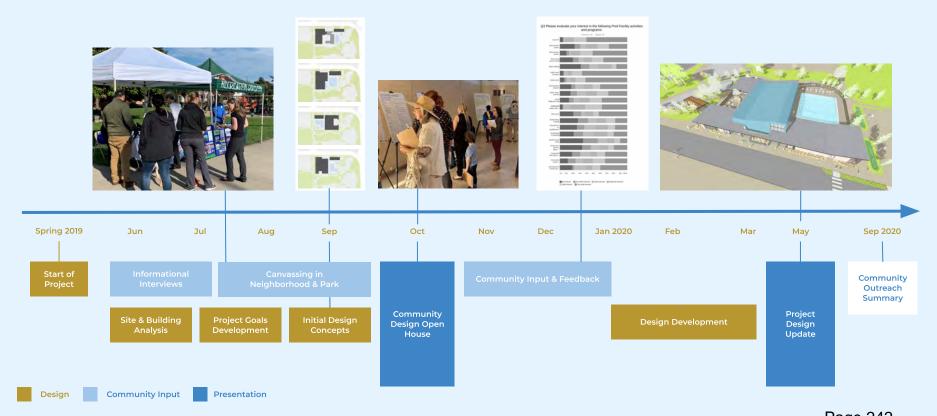
The Frances M. Albrier Community Center is a well-used public facility that offers spaces for classes and events, open to the public and private.

Measure T1 funding has enabled the necessary planning and design for the future of the Community Center as a Care and Shelter Facility with expanded space for popular programs.

The planning and design phase began in June 2019. Community input and feedback has been central to the design process. Public outreach efforts have included neighborhood canvassing, attendance at park events, in-person sessions and online surveys.



Project Timeline



Frances Albrier Community Center Page 242

Outreach Overview

n-Perso

Informational Interviews - July/August 2019

Canvassing in Neighborhood and Park

- Neighborhood Canvassing August 3, 2019
- National Night Out in San Pablo Park August 6, 2019
- Movies in the Park August 23, 2019

Community Design Open House - October 23, 2019

Online

Survey #1 - November/December 2019

Project Update - May 2020

Survey #2 - June 2020

130+

Community members on mailing list

310

Survey responses



National Night Out Aug 6, 2019



Informational Interviews

OUTREACH OBJECTIVES

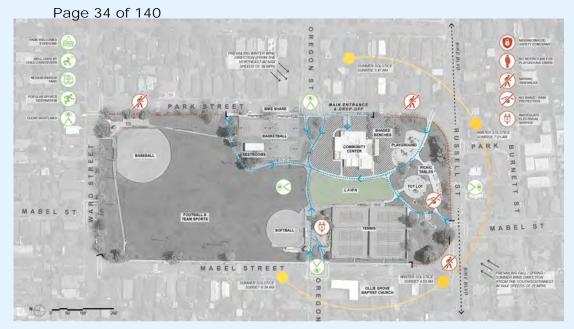
- Gather general information and history about the building and site
- Seek input on activities and uses at San Pablo Park

PARTICIPANTS

- District 2 Councilmember
- City of Berkeley Office of Energy & Sustainable Development
- Department of Parks, Recreation & Waterfront Staff, including program providers, recreation staff, and maintenance staff
- Long-term Residents
- Independent Daycare Providers

RESULTS

- Building & Site Analysis Diagram
- Project Goals



Site Analysis Diagram









Integrated in Park









Community Engagement

Project Goals

Page 244

Frances Albrier Community Center

Canvassing in Neighborhood & Park

OUTREACH OBJECTIVES

- Promote project awareness
- Seek input on activities and uses at Frances Albrier Community Center and in San Pablo Park

PARTICIPANTS

- Canvassing in Park 15 people
- National Night Out 39 people
- Movies in the Park 9 people

RESULTS

Desired Activities & Spaces



Desired Activities & Spaces

Frances Albrier Community Center Page 245

Community Design Open House

OUTREACH OBJECTIVES

- Review four plan options
- Seek input on community preferences regarding types, configuration, and location of spaces including: Multipurpose Room, Swimming Pool, and Courtyard

PARTICIPANTS

• 35 attendees (open to general public)

RESULTS

• Four Plan Options



Community Design Open House



Option A (adding to existing building)



Option C (all new building)



Option B (all new building)



Option D (all new building)

Survey #1

OUTREACH OBJECTIVES

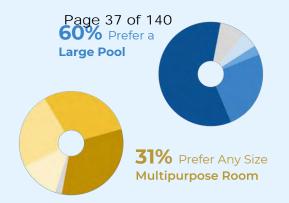
- Gauge interest in programs and activities
- Evaluate preference for potential size of multipurpose room and swimming pool
- Solicit feedback on project benefits and concerns

PARTICIPANTS

 164 responses to questionnaire (both online SurveyMonkey and in-person at Open House)

RESULTS

 Preferred Plan Option with large pool to the north, medium multipurpose room, and courtyard to the south next to playground



Ideas that drew most excitement:

Public pool

Building upgrades

Community Investment

Areas of greatest concern:

Parking

Cost

Project length / feasibility



Frances Albrier Community Center Preferred Plan Option

Project Update & Survey #2

OUTREACH OBJECTIVES

- Provide summary of community outreach effort to-date
- Report results of Survey #1
- Confirm preferred plan option
- Articulate benefits and concerns
- Evaluate preference for building massing/roof design

PARTICIPANTS

- Project Update published on City of Berkeley website
- 146 responses to online SurveyMonkey questionnaire

RESULTS

- Preferred shed roof option
- Enthusiasm for large pool and community center building upgrades
- Concern for parking impact and project cost/feasibility

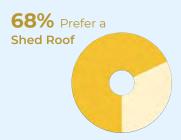
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Option A - Shed Roof



Option B - Gable Roof



Aerial view of massing option



View from playground



View of courtyard

"Great opportunity for multi-activity, multi-generational community use in family-oriented residential area."

Sample survey responses

"It would be wonderful to have a large, modern public pool in the heart of Berkeley."

Frances Albrier Community Center Page 248



What is the cost of the project?

The construction cost estimate is \$24 million. Measure TI has funded the conceptual design and planning to-date. The City of Berkley is currently seeking support and funding for design completion and construction.

How will the project impact parking?

The next phase of the planning process will involve a detailed traffic study. The City is exploring multiple solutions to mitigate vehicular traffic including public transportation and bike share programs.

Why does this project include a swimming pool?

San Pablo Park is an ideal opportunity site for a large pool due to the size of the park. The addition of a pool to the community center would provide the community with the only City-owned public swimming pool in Berkeley.

How will security concerns be addressed?

The new community center is designed and sited to foster positive social interaction. Access points are visible from Park Street, Russell Street and San Pablo Park. They are positioned for natural surveillance from the outside and to be monitored by staff from the inside. The plan incorporates transitional zones between the public streets and the park and the more protected interior spaces such as the gymnasium and program rooms.

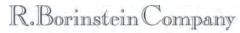
What is a Berkeley Care and Shelter Facility?

The 2016 Berkeley Resilience Strategy designated Frances Albrier Community Center as one of the seven mass Care and Shelter facilities for community use in the event of an emergency, such as an earthquake or fire. The Center is designed to meet enhanced design criteria for seismic activity and other natural disasters so that it can serve as an information hub, emergency supply dispensary and an overnight public shelter after a major earthquake or during a fire storm.





Cost Estimate



project management services construction management & estimating

Budget Estimate Report Conceptual Design Alternates

Frances Albrier Community Center

Berkeley, CA

Report Date: 3/24/20

Prepared for:

Siegel & Strain Architects

Prepared by:

Robert Borinstein R. Borinstein Company



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CONCEPT PHASE ESTIMATE EXECUTIVE SUMMARY REPORT

3/24/20 Submission

Project Frances Albrier Community Center
Comparative Scheme Option Estimates - Conceptual Design

		OPTIO	ON A			OPT	ION B			
SCHEME DESCRIPTION	N	ET	net unit	cost		NET	net unit cost		VARIANCE	
	AMC	DUNT	incl mark	c-ups		AMOUNT	incl mark	-ups		= B - A
SE SCOPE			21,300	gsf			21,040	gsf		
MOBILIZATION, PROJECT PREP, & DEMOLITION	\$ 3	67,000	\$17.23	/gsf	\$	444,000	\$21.10	/gsf	\$	77,000
BUILDING STRUCTURE	\$ 3,2	45,000	\$152.35	/gsf	\$	4,991,000	\$237.21	/gsf	\$	1,746,000
BUILDING ENVELOPE	\$ 3,3	91,000	\$159.20	/gsf	\$	3,384,000	\$160.84	/gsf	\$	(7,000
INTERIOR BUILDOUT & MEP	\$ 6,6	80,000	\$313.62	/gsf	\$	7,043,000	\$334.74	/gsf	\$	363,000
KITCHEN EQUIPMENT	\$ 3	96,000	\$18.59	/gsf	\$	396,000	\$18.82	/gsf	\$	-
BUILDING SUBTOTAL	\$ 14,0	79,000	\$660.99	/gsf	\$	16,258,000	\$772.72	/gsf	\$	2,179,000
SITE DEMOLITION, GRADING, & SITE DRAINAGE	\$ 4	08,000	\$19.15	/gsf	\$	438,000	\$20.82	/gsf	\$	30,000
FINISH SITEWORK	\$ 2,4	35,000	\$114.32	/gsf	\$	2,112,000	\$100.38	/gsf	\$	(323,000
SITE SUBTOTAL	\$ 2,8	43,000	\$133.47	/gsf	\$	2,550,000	<u>\$121.20</u>	/gsf	\$	(293,000)
SERVICE UTILITIES	\$ 3	72,000	\$17.46	/gsf	\$	391,000	\$18.58	/gsf	\$	19,000
PHOTOVOLTAIC SYSTEM	\$ 9	00,000	\$42.25	/gsf	\$	1,045,000	\$49.67	/gsf	\$	145,000
UTILITIES SUBTOTAL	\$ 1,2	72,000	\$59.72	/gsf	\$	1,436,000	\$68.25	/gsf	\$	164,000
POOL, DECK, EQUIPMENT, & POOL FENCING	\$	-	\$0.00	/gsf	\$	3,393,000	\$161.26	/gsf	\$	3,393,000
TOTAL BUDGET ESTIMATE - BASE SCOPE	\$ 18,1	94,000	\$854.18	/gsf	\$	23,637,000	\$1,123.43	/gsf	\$	5,443,000
ERNATE SCOPE										
1. ALL ELECTRIC POOL HEAT PUMP	\$	-	\$0.00	/gsf	\$	890,000	\$42.30	/gsf	\$	890,000
2. EXTEND SIDEWALK AT SOUTH END	\$	49,000	\$2.30	/gsf	\$	49,000	\$2.33	/gsf	\$	-
3. HAZARDOUS MATERIAL ABATEMENT ALLOWANCE	\$	74,000	\$3.47	/gsf	\$	74,000	\$3.52	/gsf	\$	-
TOTAL BUDGET ESTIMATE - ALTERNATE SCOPE	\$ 1	23,000	\$5.77	/gsf	\$	1,013,000	\$48.15	/gsf	\$	890,000
TOTAL BUDGET ESTIMATE - BASE + ALT SCOPE	¢ 10 2	17 000	\$859.95	/acf	•	24,650,000	¢1 171 50	/acf	¢	6,333,000

ESTIMATE SUMMARY EXCLUSIONS

- 1 A/V cabling or equipment assumed to be provided in an owner vendor budget. The estimate will provide a budget for conduit infrastructure
- 2 FF&E (Furnishings, Fixtures, & Equipment Non Built-in)
- 3 Theater seating, equipment, sound or lighting systems
- 4 Ornamental signage or donor recognition program. The estimate will inloude a budget for code required and room ID signage
- 5 Data & telephone equipment assumed to be provided in an owner vendor budget. The estimate will provide a budget for cabling infrastructure
- 6 Security alarm equipment & devices assumed to be provided in an owner vendor budget. The estimate will provide a minor budget for conduit infrastructure
- 7 Planning or permit fees.
- 8 The cost to remove hazardous materials as well as the cost to work in the presence of hazardous materials See Alternates
- 9 Project soft costs (A&E Fees, Owner's Management Expenses, Builder's Risk Insurance, Capital Campaign Costs, etc)
- 10 Inflation escalation Estimates based on present day cost of construction)

Refer to attached estimate detail



INTERMEDIATE SUMMARY REPORT

	Totals			Totals	· · · · · · · · · · · · · · · · · · ·	
Summary Assembly Description	Raw Cost			w/Mark-		
SCOPE						
OPTION A - RENOVATE BUILDING		21,300 gsf bldg			<u>21,300</u> gsf bldg	
I. MOBILIZATION & PROJECT PREPARATION	\$ 78,000	\$3.66 /gsf bldg		\$ 116,127	\$5.45 /gsf bldg	
II. BUILDING DEMOLITION	\$ 168,186	\$7.90 /gsf bldg		\$ 250,397	\$11.76 /gsf bldg	
III. BUILDING STRUCTURE - FOUNDATION & SOG	\$ 317,550	\$14.91 /gsf bldg		\$ 472,773	\$22.20 /gsf bldg	
IV. BUILDING SUPERSTRUCTURE - ABOVE GRADE	\$ 1,862,225	\$87.43 /gsf bldg		\$ 2,772,506	\$130.16 /gsf bldg	
V. BUILDING EXTERIOR ENVELOPE - WALLS	\$ 1,313,975 \$ 963,460	\$61.69 /gsf bldg		\$ 1,956,264	\$91.84 /gsf bldg	
VI. BUILDING EXTERIOR ENVELOPE - ROOF		\$45.23 /gsf bldg		\$ 1,434,412	\$67.34 /gsf bldg	
VII. INTERIOR BUILDOUT - CONSTRUCTIONS & FINISHES	\$ 1,909,960	\$89.67 /gsf bldg		\$ 2,843,575	\$133.50 /gsf bldg	
VIII. INTERIOR BUILDOUT - MEPF	\$ 2,576,710 \$ 265,814	\$120.97 /gsf bldg		\$ 3,836,241 \$ 395,748	\$180.11 /gsf bldg	
IX. KITCHEN EQUIPMENT BUILDING SUBTOTAL	\$ 9,455,880	\$12.48 /gsf bldg			\$18.58 /gsf bldg	
BUILDING SUBTUTAL	\$ 9,400,000	\$443.94 /gsf bldg	F/ 700 of oits	\$ 14,078,043	\$660.94 /gsf bldg	F/ 700 of oits
X. SITE ELEMENTS DEMOLITION	\$ 150,528	¢7.07 /acf blda	56,700 sf site	\$ 224.107	¢10 E2 /acf blda	56,700 sf site
XI. EARTHWORK & GRADING	\$ 130,326	\$7.07 /gsf bldg	\$2.65 /sf site	\$ 224,107 \$ 116,455	\$10.52 /gsf bldg	\$3.95 /sf site
XII. SITE DRAINAGE	\$ 45,000	\$3.67 /gsf bldg	\$1.38 /sf site	\$ 116,455 \$ 66,997	\$5.47 /gsf bldg	\$2.05 /sf site
XIII. FINISH SITEWORK	\$ 1,635,525	\$2.11 /gsf bldg <u>\$76.79</u> /gsf bldg	\$0.79 /sf site \$28.85 /sf site	•	\$3.15 /gsf bldg <u>\$114.32</u> /gsf bldg	\$1.18 /sf site \$42.95 /sf site
SITEWORK SUBTOTAL	\$ 1,909,273	\$76.79 /gsi bidg \$89.64 /gsf bldg	\$33.67 /sf site	\$ 2,434,992 \$ 2,842,551	\$114.32 /gsi bldg \$133.45 /gsf bldg	\$42.95 /SI SILE \$50.13 /sf site
SHEWORK SUDIOTAL	φ 1,7U7,2/3	₽07.04 /YSI DIAG	\$33.07 /SI SILE	\$ 2,042,001	#133.43 /ysi vidg	400.13 ISI SILE
XIV. WATER UTILITIES	\$ 42,000	\$1.97 /gsf bldg		\$ 62,530	\$2.94 /gsf bldg	
XV. SANITARY UTILITIES	\$ 5,000	\$0.23 /gsf bldg		\$ 7,444	\$0.35 /gsf bldg	
XVI. GAS SERVICE UTILITIES	\$ -	\$0.00 /gsf bldg		\$ -	\$0.00 /gsf bldg	
XVII. ELECTRICAL UTILITIES	\$ 203,000	\$9.53 /gsf bldg		\$ 302,229	\$14.19 /gsf bldg	
XVII. PHOTVOLTAIC SYSTEM	\$ 604,500	\$28.38 /gsf bldg		\$ 899,988	\$42.25 /gsf bldg	
SITEWORK SUBTOTAL	\$ 854,500	\$40.12 /gsf bldg		\$ 1,272,191	\$59.73 /gsf bldg	
Subtotal Raw Cost of Construction	\$ 12,219,652	\$573.69 /gsf bldg				
Mark-ups including contingency	\$ 5,973,133	\$280.43 /gsf bldg				
Subtotal Cost of Hard Construction	\$ 18,192,785	\$854.12 /gsf bldg		\$ 18,192,785		
OPTION B - NEW BUILDING		21,040 gsf bldg			21,040 gsf bldg	
I. MOBILIZATION & PROJECT PREPARATION	\$ 78,000	\$3.71 /gsf bldg		\$ 116,127	\$5.52 /gsf bldg	
II. BUILDING DEMOLITION	\$ 219,991	\$10.46 /gsf bldg		\$ 327,525	\$15.57 /gsf bldg	
III. BUILDING STRUCTURE - FOUNDATION & SOG	\$ 1,243,705	\$59.11 /gsf bldg		\$ 1,851,645	\$88.01 /gsf bldg	
IV. BUILDING SUPERSTRUCTURE - ABOVE GRADE	\$ 2,108,775	\$100.23 /gsf bldg		\$ 3,139,573	\$149.22 /gsf bldg	
V. BUILDING EXTERIOR ENVELOPE - WALLS	\$ 1,530,654	\$72.75 /gsf bldg		\$ 2,278,858	\$108.31 /gsf bldg	
VI. BUILDING EXTERIOR ENVELOPE - ROOF	\$ 742,009	\$35.27 /gsf bldg		\$ 1,104,713	\$52.51 /gsf bldg	
VII. INTERIOR BUILDOUT - CONSTRUCTIONS & FINISHES	\$ 2,033,199	\$96.63 /gsf bldg		\$ 3,027,054	\$143.87 /gsf bldg	
VIII. INTERIOR BUILDOUT - MEPF	\$ 2,697,720	\$128.22 /gsf bldg		\$ 4,016,402	\$190.89 /gsf bldg	
IX. KITCHEN EQUIPMENT	\$ 265,814	\$12.63 /gsf bldg		\$ 395,748	\$18.81 /gsf bldg	
BUILDING SUBTOTAL	\$ 10,919,866	\$519.01 /gsf bldg		\$ 16,257,646	\$772.70 /gsf bldg	
		,go. 21ug	48,830 sf site			48,830 sf site
X. SITE ELEMENTS DEMOLITION	\$ 150,528	\$7.15 /gsf bldg	\$3.08 /sf site	\$ 224,107	\$10.65 /gsf bldg	\$4.59 /sf site
XI. EARTHWORK & GRADING	\$ 98,438	\$4.68 /gsf bldg	\$2.02 /sf site	\$ 146,555	\$6.97 /gsf bldg	\$3.00 /sf site
XII. SITE DRAINAGE	\$ 45,000	\$2.14 /gsf bldg	\$0.92 /sf site	\$ 66,997	\$3.18 /gsf bldg	\$1.37 /sf site
XIII. FINISH SITEWORK	\$ 1,418,855	\$67.44 /gsf bldg	\$29.06 /sf site	\$ 2,112,411	\$100.40 /gsf bldg	\$43.26 /sf site
SITEWORK SUBTOTAL	\$ 1,712,820	\$81.41 /gsf bldg	\$35.08 /sf site	\$ 2,550,070	\$121.20 /gsf bldg	\$52.22 /sf site
					- •	
XIV. WATER UTILITIES	\$ 42,000	\$2.00 /gsf bldg		\$ 62,530	\$2.97 /gsf bldg	
XV. SANITARY UTILITIES	\$ 5,000	\$0.24 /gsf bldg		\$ 7,444	\$0.35 /gsf bldg	
XVI. GAS SERVICE UTILITIES	\$ 12,500	\$0.59 /gsf bldg		\$ 18,610	\$0.88 /gsf bldg	
XVI. ELECTRICAL UTILITIES	\$ 203,000	\$9.65 /gsf bldg		\$ 302,229	\$14.36 /gsf bldg	
XVII. PHOTVOLTAIC SYSTEM	\$ 702,000	\$33.37 /gsf bldg		\$ 1,045,147	<u>\$49.67</u> /gsf bldg	
SITEWORK SUBTOTAL	\$ 964,500	\$45.84 /gsf bldg		\$ 1,435,961	\$68.25 /gsf bldg	
VIV DOOL DEAK FOUIDMENT A DOOL SENGE	¢ 2270750			é 2.202./24		
XIX. POOL, DECK, EQUIPMENT, & POOL FENCE POOL SUBTOTAL	\$ 2,278,750 \$ 2,278,750	\$108.31 /gsf bldg \$108.31 /gsf bldg		\$ 3,392,634 \$ 3,392,634	\$161.25 /gsf bldg \$161.25 /gsf bldg	
. 302 005101712	Ψ <u>-</u> 1210,130	2100.01 Igai blug		¥ 0,072,004	T.O.L.D Igai bidg	
Subtotal Raw Cost of Construction	\$ 15,875,936	\$754.56 /gsf bldg				
Mark-ups including contingency	\$ 7,760,375	<u>\$368.84</u> /gsf bldg				



INTERMEDIATE SUMMARY REPORT

Summary Assembly Description	Totals Raw Cost	Totals w/Mark-up
*		
<u>ALTERNATES</u>		
1. ALL ELECTRIC POOL HEAT PUMP	\$ 597,500	\$ 889,566
2. EXTEND SIDEWALK AT SOUTH END	\$ 33,180	\$ 49,399
3. HAZARDOUS MATERIAL ABATEMENT ALLOWANCE	\$ 50,000	<u>\$ 74,441</u>
Total Cost of Hard Construction - Alternate Scope	\$ 680,680	\$ 1,013,406



ESTIMATE NOTES, QUALIFICATIONS, AND ASSUMPTIONS

Project: Frances Albrier Community Center

Conceptual Plan Design Alternatives

Location: Berkeley, CA

Report Date: 3/24/20

The following is meant to clarify select assumptions used in this conceptual budget estimate and serves as a supplement to the conceptual design documents upon which this estimate is based. It does not constitute a complete narrative of all assumptions included in the estimate.

PROJECT DOCUMENTS

This estimate report is based on a combination of design documents including the following:

- Drawings: Frances Albrier Community Center Option A, Concept Design Pricing Set dated
 3/3/20 as prepared by Siegel & Strain Architects
- Drawings: Frances Albrier Community Center Option B, Concept Design Pricing Set dated
 3/3/20 as prepared by Siegel & Strain Architects
- Conceptual Project Manual: Frances Albrier Community Center Concept Design dated 3/5/20 as prepared by Siegel & Strain Architects
- Misc email correspondence between members of the project team clarifying scope

PROJECT NOTES & QUALIFICATIONS

- 1. This budget estimate report represents the probable cost of "hard construction" as understood at the conceptual phase and is assembled using empirical market data. Though correspondence with the design team helped clarify a number of issues, the nature of a conceptual estimate involves making a significant quantity of assumptions which may or may not represent the final design or as-built conditions. It is not a guarantee of final project cost, which is dependent upon the development of details for the final design as well as upon the methodology of bid solicitation and the bidding climate at the time of award.
- 2. Escalation. An escalation factor has been provided assuming construction performed in 2022. The estimate includes an annual escalation factor of 5%, which is compounded annually, applied to the number of years between now and the anticipated mid-point of construction.
- 3. The attached estimate detail and quantification graphics provide additional information as to the scope assumed in this estimate.

EXCLUSIONS

1. Data and telephone equipment in buildings assumed to be provided by the owner's vendor. The estimate includes a budget for conduit and cabling.



- 2. Audio-visual cabling or equipment. The estimate includes a budget for conduit infrastructure in the Education Center only.
- 3. Theater seating, equipment, sound, or lighting systems
- 4. Security alarm system. The estimate includes a budget for conduit infrastructure.
- 5. Furniture, fixtures, and equipment (FF&E) other than the budget for the kitchen equipment.
- 6. Permit or planning fees except for permit fees required by mechanical, electrical, and plumbing contractors.
- 7. The cost to remove hazardous materials as well as the cost to work in the presence of hazardous materials. See Alternate for, which provides an allowance of \$75,000 for abatements. A hazardous materials report has not been provided for use in this estimate.
- 8. Owner soft and direct costs. The estimate excludes owner soft and direct costs, such as design and engineering, except for design-build trades, construction management and other consultants, special inspections, capital campaign expenditures, financing, builder's risk insurance, etc.
- 9. Owner's course of construction contingency. The owner's course of construction contingency is assumed to be carried in a separate owner's budget. This contingency is different than the design and contractor's contingencies provided for in the estimate to better anticipate the cost of construction at the time of contract award. The owner's course of construction contingency should be carried to anticipate change orders during the construction phase generated by unknown conditions or by discretionary changes to the design.

MARK-UP STRUCTURE

The following mark-up structure is applied progressively to the direct trade costs. The result is a compounding of the factors note below.

- 1. <u>Contractor's General Expenses</u>. A budget has been applied for the general contractor's field expenses and temporary construction required to manage and supervise a public funded project and on-site construction activities. This budget is presently factored as a percentage (15%) of the direct or raw cost of construction.
- 2. <u>General Contractor's Fee</u>. General contractor's overhead and profit has been included as a combined fee factored as a percentage (7.5%) of the direct or raw cost of construction including contractor's general condition expenses.
- 3. <u>General Contractor's Insurance</u>. A budget for contractor's insurance is applied as a percentage (1%) of the direct or raw cost of construction including contractor's general expenses, and general contractor's fee.
- 4. <u>Building Permit Fee</u>. Excluded as noted in Project Notes and Qualifications above.
- 5. <u>Contingency.</u> A contingency has been factored as a percentage (15%) of the direct or raw cost of construction including contractor's general expenses, general contractor's fee and insurance. It has been applied to anticipate the following:
 - Design & estimating contingency to account for the preliminary nature of the design documents.



- General contractor's contingency built into the contractor's price at the time of award.
- 6. <u>Performance & Payment Bonds.</u> A factor of 1.25% has been included to account for the cost of performance and payment bonds assumed to be required by the public agency.



construction management & estimating

Est by: RMB

ESTIMATE DETAIL REPORT CONCEPT PHASE ESTIMATE

Project Frances Albrier Community Center

Comparative Scheme Option Estimates - Conceptual Design

Est Date: 3/24/20 Submission

Design Docs: Frances Albrier Community Center Concept Design Pricing Set

Document Date: Various Transmitted 3/3/20

Bldg Footprint 21,300 gsf 56,700 sf Total Site Footprint

OPTION A - RENOVATE BUIL	
OPTION A - RENOVATE BIT	1 1 311/11(-

Estimate	e Detail					trade	assembly	
code	item description	quantity	у	unit cost	ext	subtotals	totals	quals & assumptions
I. MOBIL	LIZATION & PROJECT PREPARATION							
50	Mobilization & Proj Preparation							
	Mobilization/demobilize & temporary facilities	1.00	bgt	20,000.00	20,000			
	Construction Fencing	1,400.00	lf	7.50	10,500			
	Temp erosion control & BMP measures	1.00	bgt	2,500.00	2,500			
	Prepare SWPPP	1.00	bgt	7,500.00	7,500			
	Layout & stake	1.00	bgt	5,000.00	5,000			
	Misc equip budget - forklift/gradall, etc	1.00	bgt	25,000.00	25,000			

1.00 bgt

Subtotal 78,000

TOTAL: I. MOBILIZATION & PROJECT PREPARATION 78,000 \$3.66 /gsf bldg

7,500.00

Net Total Incl Mark-up 116,127

7,500

II. BUILDING DEMOLITION

Temporary utilties

F2010 Building Elements Demolition				
Strip finishes - building to be removed	1,400.00	sf	2.50	3,500
Strip finishes - building to remain back to CMU & conc slab	7,100.00	sf	4.00	28,400
Strip clerestory & siding from sawtooth roofs	2,600.00	sf	7.50	19,500
Remove flat roofs - roofing and framing	4,900.00	sf	0.75	3,675
Remove roof at sawtooth - roofing and joist framing	4,365.00	sf	1.50	6,548
Remove sawtooth trusses - multipurpose room	6.00	ea	1,500.00	9,000
Remove sawtooth truss framing - low roofs	2,153.00	sf	3.50	7,536
Remove pop-up framing - stage	575.00	sf	3.50	2,013
Remove courtyard canopy roofs & posts	190.00	lf	7.50	1,425
Remove storefront and windows	1,450.00	sf	5.00	7,250
Demo courtyard fireplace	1.00	bgt	2,500.00	2,500
Sawcut CMU for new opeinings in CMU to stay	140.00	lf	35.00	4,900
Selective demo CMU wall section at building to remain	890.00	sf	10.00	8,900
Demo CMU walls at building section to be removed	1,690.00	sf	6.00	10,140
Demo conc slab at building to be removed	1,400.00	sf	3.50	4,900
Demo conc footings at building to be removed	195.00	lf	30.00	5,850
Budget to cut & demo slab for new utilties at bldg to remain	1.00	bgt	7,500.00	7,500
Haul and dispose	315.00 t	tons	110.00	34,650

Subtotal 168,186

F2020 **Hazardous Components Abatement**

See Alternates Subtotal

TOTAL: II. BUILDING DEMOLITION 168,186 \$7.90 /gsf bldg Net Total Incl Mark-up 250,397

V. BUILDING STRUCTURE - FOUNDATION & SOG

A1010 **Standard Foundations**

Building foundations complete - grade beam 2'0x2'0 845.00 If 70.00 59,150 Building foundations complete - roof col grade beams 2'0x2'0 420.00 If 70.00 29,400

							COHSCIE	retion management ee estimat
OPTION A	<u> - RENOVATE BUILDING</u>							
Estimate D	etail					trade	assembly	
code	item description	quantit	y	unit cost	ext	subtotals	totals	quals & assumptions
0.1		0.00		0.000.00	47.000			
Col	lumn footing complete - Gym 6x6x3 (assume depth)	8.00	ea	2,000.00	16,000			
Col	lumn footing complete - MP Room (assume 3x3x2)	6.00	ea	1,500.00	9,000			
Col	lumn footing complete - roof beam support (assume 3x3x2	5.00	ea	1,500.00	7,500			
Col	lumn footing complete - eaves beam support (assume 3x3)	13.00	ea	1,500.00	19,500			
Buo	dget to dowel new footings to existing	1.00	bgt	7,500.00	7,500			
	Subtotal					148,050		
A1030	Slab on Grade							
S0	G - complete 5" over 6" w100#/cy - & vapor barrier	13,500.00	sf	9.50	128,250			
Buo	dget to dowel new slab to existing	1.00	bgt	2,500.00	2,500			
Buo	dget to patch slab at utility cuts	1.00	bgt	10,000.00	10,000			
Per	rimeter curb at new framed walls	500.00	lf	50.00	25,000			
Per	rimeter curb at new storefront at existing openings	50.00	lf	75.00	3,750			
	Subtotal					169,500		
TO	OTAL: V. BUILDING STRUCTURE - FOUNDATION & SO)G					317,550	\$14.91 /gsf bldg
	Net Total Incl Mark-up							472,773

IV. BUILDING SUPERSTRUCTURE - ABOVE GRADE				
B1020 Roof Construction				
Crane	1.00	bgt	20,000.00	20,000
Scaffolding (pro-rate with façade)	17,600.00	csf	5.00	88,000
Gym Framing				
WF columns - avg 28' high - 100#/lf	8.00	ea	12,500.00	100,000
Truss - 7'0 deep steel custom (72'0 ea)	4.00	ea	25,000.00	100,000
Steel frame around clerestory window (50#/lf)	250.00	lf	500.00	125,000
Load bearing exterior wall framing - high walls avg 28'0	8,500.00	sfwl	20.00	170,000
Shearwall premium	3,575.00	sfwl	10.00	35,750
Interior partition framing in gym - assume full height	4,065.00	sfwl	15.00	60,975
Roof framing - TJI, blocking, & ply sheathing complete	8,525.00	sf	25.00	213,125
Rim joist	360.00	lf	15.00	5,400
Low Structure Framing				
Columns in multi-purpose room (avg 18'0 high)	6.00	ea	7,500.00	45,000
Truss - Multi-purpose Room custom wood/steel (42' ea)	3.00	ea	15,000.00	45,000
Columns - misc ridge beam support (avg 18'0 high)	5.00	ea	5,000.00	25,000
Ridge beams	410.00	lf	85.00	34,850
Columns - roof canopy beam support (12'0 to 14' high)	13.00	ea	3,500.00	45,500
Roof canopy/eave beams	300.00	lf	85.00	25,500
New reinforced & grouted CMU walls	1,785.00	sfwl	30.00	53,550
Sill bolted into top of existing 8'0 CMU	245.00	lf	10.00	2,450
Sill bolted into top of existing 12'0 CMU	75.00	lf	10.00	750
Framing to extend bearing to existing CMU	1,075.00	sfwl	25.00	26,875
Exterior wall framing	2,450.00	sfwl	15.00	36,750
Load bearing & non-load bearing interior wall framing	5,000.00	sfwl	15.00	75,000
Shearwall premium	3,410.00	sfwl	10.00	34,100
Budget for minimal reconfiguration of existing framed walls	1,100.00	sfwl	7.50	8,250
Storefront headers	150.00	lf	30.00	4,500
Roof framing - slope - TJI, blocking, & ply sheathing complete	15,400.00	sf	25.00	385,000
Roof framing - flat mechanical platform - TJI, blocking, & ply	835.00	sf	20.00	16,700
sheathing complete				
Roof framing - courtyard canopies - TJI, blocking, & ply sheathing complete	1,900.00	sf	18.00	34,200
Rim joist	1,000.00	lf	15.00	15,000
Mechanical Platform	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,			10,000
Steel platform/structure for AHU 1 - low roof	1.00	ea	25,000.00	25,000
Steel platform for remote kitchen equip - low roof	1.00		5,000.00	5,000
The second secon			-,-50.00	

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OPTION A - RENOVATE BUILDING

Estimate Detail					trade	assembly	
code	item description	quantity	unit cost	ext	subtotals	totals	quals & assumptions

Subtotal 1,862,225

TOTAL: IV. BUILDING SUPERSTRUCTURE - ABOVE GRADE

1,862,225 \$87.43 /gsf bldg

1,313,975

\$61.69 /gsf bldg

1,956,264

						,		
		Net Total Incl Mark-	up				2,772,506	
V. BUILDIN	NG EXTERIOR ENVELOPE - WA	LLS						
B20	Exterior Enclosure	Ext Walls	17,600 sfwl					
Sc	affolding (pro-rate with structure)		17,600.00 sfwl	5.00	88,000			
Fu	rring strips anchored to CMU		4,000.00 sfwl	4.00	16,000			
Th	ermal board insulation on CMU		4,000.00 sfwl	5.50	22,000			
Th	ermal batt insulation at wood fran	ned walls	9,600.00 sfwl	2.75	26,400			
Th	ermal board insulation at wood fra	amed walls	9,660.00 sfwl	4.00	38,640			
De	ensglass sheathing		9,660.00 sfwl	4.00	38,640			
Va	por barrier, peel & stick, & flashin	ıg	13,660.00 sfwl	4.25	58,055			
La	th & stucco complete		13,660.00 sfwl	22.00	300,520			
Tri	im/articulation at windows and do	ors	1,425.00 If	25.00	35,625			
Ste	orefront glazing		2,120.00 sf	100.00	212,000			
Cle	erestory windows at Gym - mecha	anized	1,410.00 sf	150.00	211,500			
Wi	indows - operable		200.00 sf	70.00	14,000			
Mi	sc caulking		17,600.00 sfwl	0.75	13,200			
Ste	orefront - entry doors - pairs (6'0x	8'0)	8.00 pair	7,500.00	60,000			
Sto	orefront - entry doors - singles (3'	0x8'0)	2.00 ea	3,500.00	7,000			
Do	oors - HM pair 6'0x7'0		1.00 pair	4,000.00	4,000			
Do	oors - HM single 3'0x7'0		4.00 ea	2,400.00	9,600			
Do	oors - barn doors at trash (8'0x8'0)	1.00 pair	3,000.00	3,000			
Pa	int HM doors		6.00 leaf	400.00	2,400			
Pa	int barn doors		2.00 leaf	500.00	1,000			
Mi	sc painting budget		1.00 bgt	7,500.00	7,500			
	Subtotal					1,169,080	\$66.43	/sf total ext wall
B20	Exterior Enclosure	Eaves Soffit	8,435 sf					
Fra	aming & wood slat finish - high gy	m roof	880.00 sf	15.00	13,200			
Fra	aming & wood slat finish - low roo	fs	5,685.00 sf	15.00	85,275			
Fra	aming & wood slat finish - courtya	rd canopies	1,870.00 sf	15.00	28,050			
Bu	udget for eave vents		1.00 bgt	1,500.00	1,500			
Fir	nish eaves wood		8,435.00 ea	2.00	16,870			
	Subtotal					144,895	\$17.18	/sf total soffit

VI. BUILDING EXTERIOR ENVELOPE - ROOF

TOTAL: V. BUILDING EXTERIOR ENVELOPE - WALLS

B30	Roofing	29,960	sf roof		
	Rigid insulation - high standing seam roof over Gym	8,480.00	sf	4.25	36,040
	Rigid insulation - low standing seam roofs	18,750.00	sf	4.25	79,688
	Rigid insulation - flat mechanical roof	830.00	sf	4.25	3,528
	Batt insulation in rafters - high standing seam roof over Gym	7,600.00	sf	3.75	28,500
	Batt insulation in rafters - low standing seam roofs	13,070.00	sf	3.75	49,013
	Batt insulation in rafters - flat mechanical roof	830.00	sf	3.75	3,113
	Densglass overlay - high standing seam roof over Gym	8,480.00	sf	3.00	25,440
	Densglass overlay - low standing seam roofs	18,750.00	sf	3.00	56,250
	Densglass overlay - flat mechanical roof	830.00	sf	3.00	2,490
	Standing seam roof - high roof over Gym	8,480.00	sf	20.00	169,600
	Standing seam roof - low roofs	18,750.00	sf	20.00	375,000
	Standing seam roof - courtyard canopies	1,900.00	sf	20.00	38,000
	TPO - flat mechanical roof	830.00	sf	15.00	12,450
	Gutter - high roof over gym - pre-finished	280.00	lf	50.00	14,000

Net Total Incl Mark-up

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OPTIO	NI A	DENIO	WATE	DIIII	
UPIII	IN A -	RENU	VAIF	BUIL	1 111/1/17

Column Perm Column Col	OPTION A - RENOVATE BUILDING						
Cauther - Low roofs - pre-flinished 720.00 f 50.00 36.000 Roof degle fascia- high roof - pre-finished 450.00 f 250.00 17.000 Roof degle fascia- high roof - pre-finished 135.00 f 350.00 1.250 17.000 Roof degle fascia- high roof - pre-finished 135.00 f 350.00 1.250 17.000 Roof degle fascia- high roof - pre-finished 135.00 f 350.00 1.2000 1.000	Estimate Detail				trade	assembly	
Rout edge fascia - high noof - pre finished	code item description	quantity	unit cost	ext	subtotals	totals	quals & assumptions
Rout edge fascia - high noof - pre finished							
Downspouls - pre-finished 1500 If 2500 17000 100000 10000 100000 100000 100000 100000 100000 100000 100000 10000	Gutter - low roofs - pre-finished	720.00 If	50.00	36,000			
Rouf classing 1,000 1,00	Roof edge fascia - high roof - pre-finished	75.00 If	35.00	2,625			
Misc flashing	Downspouts - pre-finished	680.00 If	25.00	17,000			
Misc flashing	Roof edge fascia - high roof - pre-finished	135.00 If	35.00	4,725			
Material Properties		1.00 bg	t 10,000.00				
Net Total Incid Mark-up 1,434,412	Subtotal	_			963,460		\$32.16 /sf roof
Name	TOTAL: VI. BUILDING EXTERIOR ENVELOPE - ROOF	:			<u> </u>	963,460	\$45.23 /gsf bldg
Rebuild stage platform and ramp 1,000.00 st 70,000 15,00	Net Total Incl Mark	-up					1,434,412
Rebuild stage platform and ramp 1,000.00 st 70,000 15,00							
Rebuild proscentum arch Rebuild proscentum arch Interior partition framing - see Building Superstructure Frame accussits partition header & end enclosures Furing stips anchored to lenterior face of CMU Acoustic wall insulation Prinished drywall on walls (NIC framing) low spaces Prinished pri							
Rebuild proscentimarch 1.00 bgt 15,000 15,000 15,000 Interior partition framing - see Building Superstructure Frame accustic partition header & end enclosures 1.00 bgt 2,500 00 2,500							
Interior partition framing - see Building Superstructure Frame acoustic partition framing Superstructure Frame acoustic partition frame Superstructure Finished drywall on walls (NIC framing) low spaces Finished drywall on walls (NIC framing) low spaces Finished drywall on walls (NIC framing) high Gym walls Find core wood - pair Int doors solid core wood - pair Int doors solid core wood - single Int doors solid core wood - single Int doors solid core wood - double closet Int doors solid core wood - indifice AHU closets 3.00	•						
Firame acoustic partition header & end enclosures Furring strips anchored to interior face of CMU Acoustic wall insulation Acoustic wall insulation Finished drywall on walls (NIC framing) low spaces 22,000,00 stwl 1,25 11,250 Finished drywall on walls (NIC framing) high Gym walls 13,200,00 stwl 6,50 85,800 Drop drywall ceilings - RRS Int doors solid core wood - pair 11 doors solid core wood - single 11 doors solid core wood - single 11 doors solid core wood - double closet 11 doors solid core wood - double closet 11 doors solid core wood - in office AHU closets 3,00 ea 1,500,00 4,500 Int doors solid core wood - in office AHU closets 3,00 ea 1,500,00 4,500 Access hatch budget Subtotal C30 Interior Finishes Flooring Floor leveling and repairs - existing slab Flooring Floor leveling and repairs - existing slab Althetic wood flooring - Gym (includes striping - NIC logg) Althetic wood flooring - Gym & Emerg Storage Althetic wood flooring - MPR Storage Premium for finish wood at stage platform.ramp & stairs Linoleum - Lobby/Corifors Linoleum - Lobby/Corifors Linoleum - Lobby/Corifors Linoleum - Digital Media/Arts & Crafts/Early Ed Epoxy flooring wicove base - RRS 1,270,00 sf 16,00 1,000 Epoxy flooring wicove base - Larks Epoxy flooring wicove base - Janitor's closets Epoxy flooring wicove base - Dry Goods & Storage Epoxy flooring wicove base - Main Utility Trash room - no treatment to slab Wood Base Wood base at rooms with linoleum & carpet Nord base at arooms with linoleum & carpet Nord base at rooms with linoleum & carpet Nord base at rooms with linoleum & carpet Nord base at rooms with linoleum & carpet Nord base at	•	1.00 bg	t 15,000.00	15,000			
Accustic wall insulation Finished drywall on walls (NIC framing) low spaces 22,000,00 stwl 5,00 110,000 Finished drywall on walls (NIC framing) high Gym walls 13,200,00 stwl 5,00 18,825 Int doors solid core wood - pair Int doors solid core wood - pair Int doors solid core wood - doubte closet Int doors solid core wood - doubte closet Int doors solid core wood - in office AHU closets Access hatch budget To by Subtotal C30 Interior Finishes Flooring Floor leveling and repairs - existing slab Floor leveling and repairs - existing slab Floor leveling minor float - new slab (NIC Gym & Trash) Afhletic wood flooring - Gym & Emerg Storage Althetic wood flooring - MPR Storage Althetic wood flooring - Multipurpose Rm Wood flooring - MPR Storage Premium for finish wood at stage platform,ramp & stairs Linoleum - Lobby/Coritors Linoleum - Lobby/Coritors Linoleum - Copier/Stora Epoxy flooring wicove base - RRS Epoxy flooring wicove base - Main Utility Trash room - no reatment to slab Wood base at athletic floors - in flooring price Int window & door casings 1,425.0 FIRP panels - Linchelm - RRP 2000, 51, 60,00 Althetic wood casings 1,425.0 Fire panels - Linchelm - RRP 2000, 51, 60,00 Althetic wood base - RRP O high Proxy flooring wicove base - Main Utility Proxy flooring wicove base - RRS Epoxy flooring wicove base - Main Utility Proxy flooring wicove base - RRS Fire panels - Lin				-			
Acoustic wall insulation Prinished drywall on walls (NIC framing) low spaces Prinished drywall on walls (NIC framing) high Gym walls 13,200,00 sfwl 1.25 11,250	•	1.00 bg	t 2,500.00	2,500			
Finished drywall on walls (NIC framing) low spaces Finished drywall on walls (NIC framing) high Gym walls Finished drywall cellings - RPs Int doors solid core wood - pair Int doors solid core wood - pair Int doors solid core wood - single Int doors solid core wood - in office AHU closets 3.00 ea 1,500.00 4,500 Access hatch budget **Tool to be solid to re wood - in office AHU closets **T	Furring strips anchored to interior face of CMU	5,800.00 sfw	/l 4.00	23,200			
Finished drywall on walls (NIC framing) high Gym walls 13,200.00 sfwl 6.50 85,800 Drop drywall cellings- RRS 1,255.00 st 15.00 18,825 Int doors solid core wood - pair 4.00 pr 3,500.00 14,000 Int doors solid core wood - single 14.00 ea 2,000.00 28,000 Int doors solid core wood - in office AHU closets 3.00 ea 1,500.00 4,500 Access hatch budget 3.00 ea 1,500.00 4,500 Interior Finishes Columbrie Finishes Flooring Flooring Floor leveling and repairs - existing slab 7,100.00 sf 1.00 6,300 11,0		9,000.00 sfw	/l 1.25	11,250			
Drop drywall cellings - RRS 1,255.00 st 15.00 18,825 Int doors solid core wood - pair 14.00 ea 2,000,00 28,000 14,000 28,000 Int doors solid core wood - single 14.00 ea 2,000,00 28,000 14,500 2,500 14,500 2,500	Finished drywall on walls (NIC framing) low spaces	22,000.00 sfw	/l 5.00	110,000			
Int doors solid core wood - single 14,00 ea 2,000.00 2,8000 Int doors solid core wood - single 14,00 ea 2,000.00 39,000 Int doors solid core wood - double closet 13,00 pr 3,000.00 39,000 Int doors solid core wood - in office AHU closets 3,00 ea 1,500.00 4,500 Access hatch budget Subtotal 2,500.00 2,500 Subtotal 2,500.00 2,500 Therior Finishes 2,500.00 2,500 Floor leveling and repairs - existing slab 7,100.00 sf 2,500 17,750 Floor leveling minor float - new slab (NIC Gym & Trash) 6,300.00 sf 1,00 6,300 Athletic wood flooring - Gym (includes striping - NIC logo) 6,100.00 sf 1,00 6,300 Wood flooring - Gym & Emerg Storage 550.00 sf 2,000 11,000 Athletic wood flooring - Multipurpose Rm 2,465.00 sf 17,00 14,905 Wood flooring - MPR Storage 100.00 sf 2,000 2,000 Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 10,000 10,000 Linoleum - Digital Media/Arts & Crafts/Early Ed 2,750.00 sf 7,50 20,625 Carpet - Office/Office Coord 78,00 sf 16,00 20,320 Epoxy flooring wicove base - RRS 1,270.00 sf 16,00 2,320 Epoxy flooring wicove base - Main Utility 200.00 sf 16,00 3,200 Epoxy flooring wicove base - Janitor's closets 150.00 sf 16,00 3,200 Trash room - no treatment to slab Walls & Base Wood base at an athletic floors - in flooring price 1,400.00 sf 2,500 35,625 Ceramic tile wainscot - RRS 70 high 2,660.00 sf 20,00 51,200 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP panels - Janitor's closets 700.00 sf 6,00 4,800 FRP p	Finished drywall on walls (NIC framing) high Gym walls	13,200.00 sfw	d 6.50	85,800			
Int doors solid core wood - single 14.00 ea 2,000.00 28,000 Int doors solid core wood - double closet 13.00 pr 3,000.00 39,000 2,500 2	Drop drywall ceilings - RRs	1,255.00 sf	15.00	18,825			
Int doors solid core wood - double closet Int doors solid core wood - in office AHU closets 3.00 ea I,500.00 4,500 2,500.00 2.000 2.	Int doors solid core wood - pair	4.00 pr	3,500.00	14,000			
Int doors solid core wood - in office AHU closets	Int doors solid core wood - single	14.00 ea	2,000.00	28,000			
Access hatch budget	Int doors solid core wood - double closet	13.00 pr	3,000.00	39,000			
Subtotal C30 Interior Finishes Flooring Floor leveling and repairs - existing slab 7,100.00 sf 2.50 17,750 Floor leveling minor float - new slab (NIC Gym & Trash) 6,300.00 sf 1.00 6,300 6,300 Athletic wood flooring - Gym (includes striping - NIC logo) 6,100.00 sf 2.00 11,000 Athletic wood flooring - Gym (includes striping - NIC logo) 6,100.00 sf 20.00 11,000 41,905 Mood flooring - MPR Storage 100.00 sf 20.00 2,000 Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 20.00 2,000 Premium for finish wood at stage platform,ramp & 2,410.00 sf 7.50 18,075 18,075 10,000	Int doors solid core wood - in office AHU closets	3.00 ea	1,500.00	4,500			
Province Flooring Floor leveling and repairs - existing slab 7,100.00 sf 2.50 17,750 6,300 Sf 1.00	Access hatch budget	1.00 bg	t 2,500.00	2,500			
Flooring Floor leveling and repairs - existing slab 7,100.00 sf 2,50 17,750 Floor leveling minor float - new slab (NIC Gym & Trash) 6,300.00 sf 1,00 6,300 Athletic wood flooring - Gym (includes striping - NIC logo) 6,100.00 sf 18,00 109,800 Wood flooring - Gym & Emerg Storage 550.00 sf 20,00 11,000 Athletic wood flooring - MPR Storage 100.00 sf 20,00 11,000 Wood flooring - MPR Storage 100.00 sf 10,00 10,000 Linoleum - Lobby/Corridors 2,410.00 sf 7,50 18,075 Linoleum - Digital Media/Arts & Crafts/Early Ed 2,750.00 sf 7,50 18,075 Linoleum - Copier/Store 139,00 sf 7,50 20,625 Carpet - Office/Office Coord 78,00 sf 7,50 20,625 Carpet Office/Office Coord 139,00 sf 7,50 20,625 Carpet - Office/Office Coord 139,00 sf 16.00 20,320 Epoxy flooring w/cove base	Subtotal				424,575		\$19.93 /gsf bldg
Floor leveling and repairs - existing slab Floor leveling minor float - new slab (NIC Gym & Trash) Althelic wood flooring - Gym (includes striping - NIC logo) Mood flooring - Gym (includes striping - NIC logo) Mood flooring - Gym & Emerg Storage Althelic wood flooring - Multipurpose Rm 2,465.00 Fremium for finish wood at stage platform,ramp & stairs Linoleum - Lobby/Corridors Linoleum - Lobby/Corridors Linoleum - Digital Media/Arts & Crafts/Early Ed Linoleum - Copier/Store Epoxy flooring w/cove base - RRs Linoleum - Copier/Store Epoxy flooring w/cove base - Kitchen Epoxy flooring w/cove base - Dry Goods & Storage Epoxy flooring w/cove base - Janitor's closets Wood base at athletic floors - in flooring price Int window & door casings Ceramic tile wainscot - RRs 7'0 high FRP panels - Junifor's closets FRP panels - Janitor's closets	C30 Interior Finishes						
Floor leveling minor float - new slab (NIC Gym & Trash) 6,300.00 sf 18.00 109,800 Athletic wood flooring - Gym (includes striping - NIC logo) 6,100.00 sf 18.00 109,800 Wood flooring - Gym & Emerg Storage 550.00 sf 20.00 11,000 Athletic wood flooring - Multipurpose Rm 2,465.00 sf 17.00 41,905 Wood flooring - MPR Storage 100.00 sf 20.00 2,000 Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 10,000 Linoleum - Lobby/Corridors 2,410.00 sf 7.50 18,075 Linoleum - Digital Media/Arts & Crafts/Early Ed 2,750.00 sf 7.50 20,625 Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,220 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab Walls & Base Wood base at athletic floors - in flooring price Int window & door casings 1,425.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800	<u>Flooring</u>						
Athletic wood flooring - Gym (includes striping - NIC logo)	Floor leveling and repairs - existing slab	7,100.00 sf	2.50	17,750			
Wood flooring - Gym & Emerg Storage 550.00 sf 20.00 11,000 Athletic wood flooring - Multipurpose Rm 2,465.00 sf 17.00 41,905 Wood flooring - MPR Storage 100.00 sf 20.00 2,000 Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 10.00 10,000 Linoleum - Lobby/Corridors 2,410.00 sf 7.50 18,075 Linoleum - Digital Medial/Arts & Crafts/Early Ed 2,750.00 sf 7.50 20,625 Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Bry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 3,200 Trash room - no treatment to slab - - - - Walls & Base Wood base at athletic floors -	Floor leveling minor float - new slab (NIC Gym & Trash)	6,300.00 sf	1.00	6,300			
Athletic wood flooring - Multipurpose Rm Wood flooring - MPR Storage 100.00 sf 20.00 2,000 Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 10,000 Linoleum - Lobby/Corridors 2,410.00 sf 7.50 18,075 Linoleum - Digital Media/Arts & Crafts/Early Ed 2,750.00 sf 7.50 20,625 Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Klichen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab Walls & Base Wood base at athletic floors - in flooring price Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 6.00 4,800 FRP panels - Stitchen 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200	Athletic wood flooring - Gym (includes striping - NIC logo)	6,100.00 sf	18.00	109,800			
Wood flooring - MPR Storage 100.00 sf 20.00 2,000 Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 10.00 10,000 Linoleum - Lobby/Corridors 2,410.00 sf 7.50 18,075 Linoleum - Digital Media/Arts & Crafts/Early Ed 2,750.00 sf 7.50 20,625 Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - - - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at with lettic floors - in flooring price	Wood flooring - Gym & Emerg Storage	550.00 sf	20.00	11,000			
Premium for finish wood at stage platform,ramp & stairs 1,000.00 sf 10.00 10,000 Linoleum - Lobby/Corridors 2,410.00 sf 7.50 18,075 Linoleum - Digital Media/Arts & Crafts/Early Ed 2,750.00 sf 7.50 20,625 Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - - - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at Athletic floors - in flooring	Athletic wood flooring - Multipurpose Rm	2,465.00 sf	17.00	41,905			
Linoleum - Lobby/Corridors	Wood flooring - MPR Storage	100.00 sf	20.00	2,000			
Linoleum - Digital Media/Arts & Crafts/Early Ed	Premium for finish wood at stage platform,ramp & stairs	1,000.00 sf	10.00	10,000			
Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00	Linoleum - Lobby/Corridors	2,410.00 sf	7.50	18,075			
Carpet - Office/Office Coord 78.00 sy 60.00 4,680 Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00	Linoleum - Digital Media/Arts & Crafts/Early Ed	2,750.00 sf	7.50	20,625			
Linoleum - Copier/Store 139.00 sf 7.50 1,043 Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200		78.00 sy					
Epoxy flooring w/cove base - RRs 1,270.00 sf 16.00 20,320 Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,800	Linoleum - Copier/Store	139.00 sf	7.50	1,043			
Epoxy flooring w/cove base - Kitchen 545.00 sf 16.00 8,720 Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200	The state of the s	1,270.00 sf	16.00				
Epoxy flooring w/cove base - Dry Goods & Storage 220.00 sf 16.00 3,520 Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,800							
Epoxy flooring w/cove base - Janitor's closets 150.00 sf 16.00 2,400 Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - Walls & Base - Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price - Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200							
Epoxy flooring w/cove base - Main Utility 200.00 sf 16.00 3,200 Trash room - no treatment to slab - Walls & Base - Wood base at rooms with linoleum & carpet 1,100.00 lf 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 lf 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200		150.00 sf	16.00				
Trash room - no treatment to slab - Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 If 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 If 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200							
Walls & Base Wood base at rooms with linoleum & carpet 1,100.00 If 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 If 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200				-			
Wood base at rooms with linoleum & carpet 1,100.00 If 7.50 8,250 Wood base at athletic floors - in flooring price - - Int window & door casings 1,425.00 If 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200							
Wood base at athletic floors - in flooring price - Int window & door casings 1,425.00 If 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200	· · · · · · · · · · · · · · · · · · ·	1.100.00 If	7.50	8 250			
Int window & door casings 1,425.00 If 25.00 35,625 Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200	·	.,	7.00	5,230			
Ceramic tile wainscot - RRs 7'0 high 2,660.00 sf 20.00 53,200 FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200	· · · · · · · · · · · · · · · · · · ·	1.425.00 lf	25.00	35 625			
FRP panels - Kitchen 800.00 sf 6.00 4,800 FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200							
FRP panels - Dry Goods & Storage 800.00 sf 6.00 4,800 FRP panels - Janitor's closets 700.00 sf 6.00 4,200	· · · · · · · · · · · · · · · · · · ·						
FRP panels - Janitor's closets 700.00 sf 6.00 4,200	·						
·							
raini inisheu urywan un wans at iow spaces 22,000.00 Siwi 2.00 44,000							
	i aliit ililisheu urywali oli Walis at IOW Spaces	22,000.00 SIW	n 2.00	44,000			

nate Detail					trade	assembly	
e item description	quantit	у	unit cost	ext	subtotals	totals	quals & assump
Paint finished drywall on walls at high Gym walls 1	13,200.00	cfwl	3.00	39,600			
Paint base & running trim	2,525.00		5.00	12,625			
Paint doors	51.00		400.00				
	31.00	icai	400.00	20,400			
Ceiling Wood slat soiling on suspended grid. Cym	4 100 00	cf	4E 00	274 500			
0 , 0 ,	6,100.00		45.00	274,500			
3 1 3 1 1	2,465.00		45.00	110,925			
	2,410.00		8.50	20,485			
Suspended acoustic ceiling - Digital Media/Arts & Crafts/Early			8.50	23,375			
Suspended acoustic ceiling - Office/Office Coord/Copier	855.00		8.50	7,268			
Suspended acoustic ceiling - Gym & Emerg Storage	550.00		8.50	4,675			
Suspended acoustic ceiling - MPR Storage	100.00		8.50	850			
Suspended acoustic ceiling washable - Kitchen/DG/Storage	850.00		7.00	5,950			
, ,	1,255.00	sf	2.00	2,510			
Subtotal					959,375		\$45.04 /gsf bldg
C3050 Interior Fabrications							
Office desk counters	80.00	lf	250.00	20,000			
Office underdesk station cabinets (assume)	11.00	ea	500.00	5,500			
Classroom cabinet - lower/counter/upper - Arts & Crafts	10.00	lf	1,000.00	10,000			
Classroom cabinet - lower/counter/upper - Early Ed	14.00	lf	1,000.00	14,000			
Lavatory counters	20.00	lf	300.00	6,000			
Misc storage shelving budget	1.00	bgt	1,000.00	1,000			
Acoustic Ultra Plus high impact fabric panels - Gym (assume 8'0 high)	2,400.00	sf	30.00	72,000			
Acoustic Ultra Plus high impact fabric panels - Multipurpose (assume 8'0 high)	300.00	sf	30.00	9,000			
Acoustic high impact tackable fabric panels - Digital Media/Arts & Crafts/Early Ed (assume 6'0 high)	1,560.00	sf	26.00	40,560			
Magnetic white boards - Digital Media/Arts & Crafts/Early Ed (assume 6'0 high)	3.00	locs	300.00	900			
Bulletin board display case - Lobby	1.00	bat	500.00	500			
Acoustic operable partition w/pocket doors - Multipurpose Rm	480.00	-	60.00	28,800			
	1,400.00		65.00	91,000			
Window coverings - Multi-purpose - shade & blackout screen:	620.00		30.00	18,600			
Window coverings - Office - shade & blackout screens	145.00		30.00	4,350			
Window coverings - Digital Media - shade & blackout screens	255.00		30.00	7,650			
Window coverings - Arts & Crafts - shade & blackout screens	155.00		30.00	4,650			
Window coverings - Airs & Grants - shade & blackout screens Window coverings - Early Ed - shade & blackout screens	400.00		30.00	12,000			
Toilet partitions - phenolic - ADA stall	4.00		2,200.00	8,800			
Toilet partitions - phenolic - ADA stall Toilet partitions - phenolic - standard stall	5.00		1,500.00				
Urinal screens			750.00	7,500			
	1.00			750			
Toilet accessories - per stall	9.00		400.00	3,600			
Grab bars at HC stalls	7.00		200.00	1,400			
Restroom accessories - per room - multi - stall RR	4.00		1,800.00	7,200			
Restroom accessories - per room - single occupancy RR	3.00		2,000.00	6,000			
Shower accessories - renovated RRs	2.00		200.00	400			
Restroom mirrors - large multi-stall RRs	80.00		25.00	2,000			
Restroom mirrors - at wall hung sinks	5.00	ea	150.00	750			
Fire extinguisher cabinets (extinguishers by owner)	6.00	ea	350.00	2,100			
Furnishings - NIC (assume to be FF&E)		excl		-			
Code & room ID signage (NIC ornamental signage) Subtotal	1.00	bgt	1,500.00	1,500	388,510		\$18.24 /gsf bldg
E1070 Entertainment and Recreational Equipment S	Stage						
Overhead rigging	1.00	bgt	7,500.00	7,500			
Theater lights, audio, equip NIC		excl		_			

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stimate Detail code	item description	quantit	у	unit cost	ext	trade subtotals	assembly totals	quals 8	assumptio
Subto	otal					7,500		\$0.35	/gsf bldg
E1070 Entertai	nment and Recreational Equipment	Gym Equi	p						0 0
Floor striping - s		, ,	•		_				
	rise stationary or tip & roll - 4 rows	42.00	lf	250.00	10,500				
	boards - overhead retractable - motoraized	2.00	ea	8,000.00	16,000				
Basketball back	boards - wall braced side fold - motoraized	4.00	ea	6,500.00	26,000				
Digital scoreboa	rd (1), shotclocks (2), controller	1.00	set	11,000.00	11,000				
Volleyball set		1.00	ea	5,000.00	5,000				
Dividing curtain	(26'0 high)	70.00	lf	450.00	31,500				
Wall padding - 7	"0	1.00	bgt	30,000.00	30,000				
Subto	otal					130,000		\$6.10	/gsf bldg
TOTAL: VII. IN	Net Total Incl Mark-up						1,909,960	\$89.67 2,843,575	/gsf bldg
II. INTERIOR BUILDO	UT - MEPF								
D20 Plumbin	<u></u>								
All fixtures inclusive	•								
	ng - heavy duty carrier	12.00	ea	5,500.00	66,000				
Urinals		3.00		4,000.00	12,000				
Lavatory sinks -	wall hung	5.00		4,000.00	20,000				
Lavatory counte	· ·	6.00		3,500.00	21,000				
Shower unit	. 66	2.00		5,000.00	10,000				
Counter sinks -	Classrooms	2.00		3,500.00	7,000				
	imed - Restrooms	4.00		2,500.00	10,000				
•	med - Trash Room	1.00		2,500.00	2,500				
Janitor's sink	ned Hash Room	3.00		4,000.00	12,000				
	n/bottle filling station (interior wall mount)	1.00		8,000.00	8,000				
•	n/bottle filling station exterior	1.00		12,000.00	12,000				
Hose bibb with I		4.00		1,500.00	6,000				
	circ pump and piping - restrooms - none	4.00	excl	1,300.00	0,000				
	ss water heaters - Janitor closets	3.00		1,500.00	4,500				
		1.00		20,000.00					
piping - kitchen	nybrid heat pump w/exp tank, circ pump and	1.00	byt	20,000.00	20,000				
	a rough in hudget 0 connections	1.00	hat	EO 000 00	F0 000				
•	g rough-in budget & connections	1.00	•	50,000.00	50,000				
Floor sink - prim	=	1.00		3,000.00	3,000				
Grease intercep		1.00		3,500.00	3,500				
	s to program sinks	150.00		40.00	6,000				
	uns to program sinks	150.00		70.00	10,500				
Condensate dra		1.00	-	7,500.00	7,500				
	w, hammer arrestor, reducer valve	1.00		10,000.00	10,000				
Gas piping - nor		4.00	excl	4 500 00	-				
	water line at 5' from building	1.00		1,500.00	1,500				
	ine at 5' from building	1.00		1,500.00	1,500				
Gen regs and pe	ermitting	1.00	-	15,000.00	15,000				
Commissioning		1.00	bgt	5,000.00	5,000	004 500			
Subto	DIAI					324,500		\$15.23	/gsf bldg
D30 HVAC	.				,,				
	Roof mount 16 ton packaged unit w/heat lebel DPS016AHH, MERV 13, powered exh	1.00	bgt	64,000.00	64,000				
heatpump Daikii	rpose Rm: Split system 6 ton outdoor n DZ11TA090 w/indoor air handler Daikin neti mixing box wth Belimo actuators, MERV	1.00	ea	24,000.00	24,000				
HP-1 Digital Mer VRP36, MERV	dia: 3 ton indoor packaged unit - Friedrich	1.00	ea	12,000.00	12,000				

project management services construction management & estimating

OPTION A - RENOVATE BUILDING

OPTIO	N A - RENOVATE BUILDING								
	te Detail					trade	assembly		
code	item description	quantit	у	unit cost	ext	subtotals	totals	quals &	assumptions
	LID 2 Arts 9 Crofts, 2 ton indoor poskaged unit. Friedrich	1.00	0.0	12 000 00	12 000				
	HP-2 Arts & Crafts: 3 ton indoor packaged unit - Friedrich VRP36, MERV 13	1.00	ча	12,000.00	12,000				
	HP-4 Early Education: 3 ton indoor packaged unit - Friedrich	1.00	ea	12,000.00	12,000				
	VRP36, MERV 13			.=,	,				
	HP-3 Office: 3 ton indoor packaged unit - Friedrich VRP36,	1.00	ea	12,000.00	12,000				
	MERV 13								
	HP-5 Stage: 2 ton indoor packaged unit - Friedrich VRP24,	1.00	ea	8,000.00	8,000				
	MERV 13 EF 1, 2, 3 - 600 CFM inline Cook mode SQN-D	3.00	00	2 000 00	4 000				
		1.00		2,000.00 2,500.00	6,000 2,500				
	Roof gravity relief - Greenheck FGR 24x28 w/backdraft Kitchen grease duct & exhaust	1.00		20,000.00	20,000				
	Ducting, registers, & louvers	21,300.00	-	10.00	213,000				
	Controls - local t-stats only	1.00		10,000.00	10,000				
	•	4.00		1,500.00					
	House keeping pads - condensers Gen regs and permitting	1.00		15,000.00	6,000 15,000				
	Commissioning	1.00	U	10,000.00	10,000				
	Subtotal	1.00	byt	10,000.00	10,000	426,500		\$20.02	/gsf bldg
D4						420,300		\$20.02	rysi biug
דט	ASR, distribution piping, & heads complete	21,300	asf	8.00	170,400				
	Premium for running exposed in Gym & MPR	8,600	•	3.00	25,800				
	Distribution piping, & heads complete - under stage	710		12.00	8,520				
	Add distribution piping, & heads complete - Low roof eaves		gsf	8.00	6,040				
	and courtyard canopies		90.	0.00	0,010				
	Connect to new water line at 5' from building	1.00	bat	1,500.00	1,500				
	Gen reqs and permitting	1.00	-	7,500.00	7,500				
	Commissioning	1.00	bat	2,500.00	2,500				
	DDCV - see Utilities		3	,	_,				
	FDC & PIV - see Utilities				-				
	Subtotal					222,260		\$10.43	/gsf bldg
D5	0 Electrical Distribution								
** =	= connect to stand-by power								
	Main panel - 1,000A 480V, 3 Ph, 4 wire - indoor	1.00		16,500.00	16,500				
	Mechanical branch panel - 400A, 277/480V	1.00		7,400.00	7,400				
**	Lighting branch panels -100A, 277/480V	2.00		3,500.00	7,000				
	Kitchen branch feeder 225A 277/480V to kitch transformer	150.00		100.00	15,000				
	Kitchen step-down transformer - 150kVA	1.00		14,500.00	14,500				
**	Kitchen branch panel - 600A 120/208V double section	1.00		8,250.00	8,250				
**	Misc building power feeder 175A 277/480V (standby power) Misc building step-down transformer - 112.5kVA	250.00 1.00		90.00 11,700.00	22,500				
**	Misc building branch panel - 400A 120/208V double section	1.00		8,200.00	11,700				
**	Misc building branch panels - 100A 120/208V	2.00		2,800.00	8,200 5,600				
	Manual transfer switch - 400A, 480V 3-Pole (main bldg panel)			8,500.00	8,500				
	Standby power panel 400A 277/480V (for portable generator)			7,400.00	7,400				
	Power to mechanical equipment	1.00		30,000.00	30,000				
	Power device distribution	21,300	-	25.00	532,500				
	Power distribution premium & hook-ups - Kitchen	1.00	•	50,000.00	50,000				
	Connect to electrical service within 5' from building	1.00	-	1,000.00	1,000				
	Gen regs and permitting	1.00	U	15,000.00	15,000				
	Commissioning	1.00	J	5,000.00	5,000				
	Subtotal Elect Distribution		3			766,050		\$35.96	/gsf bldg
D5	0 Electrical Lighting								
	General lighting	21,300	gsf	20.00	426,000				
	Premium lighting - Gym	6,100	sf	15.00	91,500				
	Premium lighting - Multipurpose Rm	2,460	sf	15.00	36,900				
	Exit lights	1	bgt	10,000.00	10,000				
	Exterior lighting - on building	1.00	bgt	20,000.00	20,000				

		TE BUIL	

Estimate Detail						trade	assembly	
code	item description	quantity		unit cost	ext	subtotals	totals	quals & assumption
0 1 11 11 1		100		45 000 00				
Central battery in		1.00 b	•	15,000.00	15,000			
	ng controls - local only	1.00 b	ogt	25,000.00	25,000	(04.400		400.04 / 5111
	al Elect Lighting	Cuctome				624,400		\$29.31 /gsf bldg
	Low Voltage monitoring system complete	21,300 g	nef	5.00	106,500			
	on - NIC equipment	21,300 g	,	3.00	63,900			
Security system -			gsf	2.00	42,600			
	ss, Clock System - NIC		xcl	2.00	42,000			
	al Low Voltage Systems	0.		•		213,000		\$10.00 /gsf bldg
	TERIOR BUILDOUT - MEPF						2,576,710	\$120.97 /gsf bldg
	Net Total Incl Ma	rk-up						3,836,241
V WITOUEN FOUNDMEN	_							
X. KITCHEN EQUIPMEN E1020 Institutio	<u>I</u> nal Equipment							
1. Reach-in fridge		1 6	ea	3,042.00	3,042			
Reach-in freez			ea	2,858.00	2,858			
3. SS work table	CI		ea	2,315.00	2,315			
4. Ice maker			ea	2,643.00	2,643			
5. SS wall shelve			ea	323.00	646			
6. Water filter for	ice machine		ea	279.00	279			
7. Warming draw		_	ea	1,756.00	1,756			
10. Pass-thru she	_		ea	285.00	285			
11. SS wall shelf			ea	402.00	804			
12. Hot water dis	penser		ea	817.00	817			
13. Coffee Brewe			ea	2,415.00	2,415			
14. Iced Tea Bre			ea	684.00	684			
15. Undercounter			ea	2,055.00	2,055			
	remote chiller - dispenser		ea	5,437.00	5,437			
17. Pass-thru she			ea	285.00	285			
	ver - free standing		ea	1,756.00	1,756			
21. Wire shelving			ea	263.00	263			
22. Three compa			ea	3,101.00	3,101			
22.1 Pre-rinse fa			ea	671.00	671			
22.2 Drain lever /			ea	237.00	711			
23. SS wire shelv			ea	120.00	240			
24. SS wire shelv		2 6		181.00	362			
25. Dishwasher		_	ea	7,554.00	7,554			
26. Exhaust hood	- dishwasher		ea	1,010.00	1,010			
26.3 SS hood en			ea	435.00	435			
	lator - soiled dishtable (32 - incl w/27)		ea	1,590.00	1,590			
30. Wire shelf			ea	120.00	240			
31. Trash recepta	icle - poly		ea	80.00	320			
32.1 Pre rinse fai			ea	548.00	548			
33. Wire shelving			ea	617.00	617			
34 & 38. Hand si	nk	2 6		195.00	390			
	et - splash mount	2 6		252.00	504			
34.2 & 28.2Soap			ea	44.00	88			
34.3 &38.3Paper	•	2 6		58.00	116			
	e 14'x2'9 w/2 18"x18" tubs		ea	2,790.00	2,790			
· · · · · · · · · · · · · · · · · · ·	et - deck mounted	2 6		245.00	490			
	, lever/twist waste	2 6		237.00	474			
36. Undercounter			ea	4,105.00	4,105			
37. Table mount	=		ea	593.00	593			
39. Wire shelving			ea	575.00	575			
-	g cabinet	2 6		3,729.00	7,458			

	BUILDING

Estimate Detail						trade	assembly		
code	item description	quantit	/	unit cost	ext	subtotals	totals	quals &	assumptions
41. Cold & hold or		1	ea	7,240.00	7,240				
42. & 46. Filler tal	ble	2	ea	504.00	1,008				
Griddle, electr	ic countertop	1	ea	2,714.00	2,714				
44. Equip stand w	/undershelves	1	ea	708.00	708				
45.HD Range 36"	6 hotplate burners	2	ea	6,371.00	12,742				
47. Exhaust greas	se hood	1	ea	4,315.00	4,315				
47.4 Electric conti	rol panel	1	ea	2,143.00	2,143				
47,5 Fire suppres	sion system	1	ea	3,424.00	3,424				
47.6 SS dividers		1	ea	523.00	523				
47.7 SS hood end	losure	1	ea	893.00	893				
50, 50.1. Mop sin	k & faucet	1	ea	1,186.00	1,186				
50.2 Utility shelf -	Janitor's closet	1	ea	412.00	412				
51. Storage room	wire shelving	1	ea	2,120.00	2,120				
52. Walk-in coole	•	1	ea	11,869.00	11,869				
52.1 & 52.2. Rem	ote condenser &evaporator for walk-in cook	1	ea	4,567.00	4,567				
53. Walk -in coole	·	1	ea	1,989.00	1,989				
W01 Freight	3	1	ea	6,000.00	6,000				
W01 Staging and	delivery	1	ea	1,200.00	1,200				
	Exaust/grease hood installation	1	ea	7,203.00	7,203				
W03 Installation -		1	ea	14,625.00	14,625				
	Remote evaporator & condenser	1	ea	15,188.00	15,188				
	Balance of equipment and shelving	1	ea	84,240.00	84,240				
W11 Installation-		1	ea	859.00	859				
	Water tower			1,800.00					
W13 Start-up		1	ea	1,500.00	1,800				
W14 Training		1	ea		1,500				
Tax Subtot	al	1	ea	12,024.00	12,024	265,814			
	CHEN EQUIPMENT					203,014	265,814	¢12.40	lact blda
TOTAL. IX. KIT	Net Total Incl Mark-up						203,014	395,748	/gsf bldg
	ты тога ты тап ар							0,0,1.10	
X. SITE ELEMENTS DEM	<u>OLITION</u>								
G1010 Site Clear	ing								
Remove trees (10	" to 20") - incl stump removal & offhaul	17.00	ea	1,500.00	25,500				
Remove trees (les	ss than 20") - incl stump removal & offhaul	5.00	ea	750.00	3,750				
Clear & grubb lan	dscaping	45,000.00	sf	0.15	6,750				
Haul and dispose	organics (NIC trees)	285.00	СУ	100.00	28,500				
Subtot			,	-		64,500			
G1020 Site Elem	ents Demolition and Relocations	Finish Ele	ment	S					
Remove and salv	age park welcome sign	1.00	ea	200.00	200				
Remove and salv	age code & traffic signs	4.00	ea	100.00	400				
	age bollards at ball court	4.00	ea	75.00	300				
	n link fence at ball court	135.00	lf	4.00	540				
Remove wood be		100.00	lf	7.50	750				
	pedestals at wood benches	11.00		250.00	2,750				
Misc site element	•	1.00		750.00	750				
Saw cut concrete	3 donie	40.00	lf	15.00	600				
Saw cut asphalt		150.00	ii If	10.00	1,500				
Saw cut road asp	halt	110.00	lf	10.00	1,100				
Demo site concre		9,595.00		2.50				151	lev
		3,790.00		2.50	23,988			151	-
Demo courtyard o					9,475				lcy
Demo sidewalk co		1,880.00	sf	2.50	4,700				lcy
Demo curb & gutt		100.00	lf c	10.00	1,000			1	lcy
		1 100 00	ct	1.75	17 175				
Demo site asphal Demo road aspha		7,100.00 540.00		1.75 2.50	12,425 1,350				

		TE BUIL	

Estimate Detail							trade	assembly	
code	item desc	ription	quantity	,	unit cost	ext	subtotals	totals	quals & assumption
Haul and disr	.000		220.00.4	tone	110.00	24 200			
Haul and disp	ose btotal		220.00 1	lons	110.00	24,200	86,028		
		hatamont					00,020		
None anticipa	dous Components A	maternerit				_			
	btotal						-		
TOTAL: X	SITE ELEMENTS DEI	MOLITION						150,528	\$7.07 /gsf bldg
		Net Total Incl Ma	rk-up					100,020	224,107
(I. EARTHWORK & (SPADING								
	lements Demolition	and Relocations							
Cut & cap site		and Relocations	1.00	63	1,500.00	1,500			
•	lvage light standard		1.00		1,000.00	1,000			
Remove drain			6.00		500.00				
					2,500.00	3,000			
•	nove SD piping		1.00	-		2,500			
_	ation back flow	and nining	1.00	0	500.00	500			
	nove irrigation boxes a	ina piping	45,000.00		0.05	2,250			
Haul and disp			1.00	bgt	1,000.00	1,000	44 750		
	btotal						11,750		
	arthwork		(7,000,00	,	0.50				
Rough & fine	•		67,000.00		0.50	33,500			
Budget for im			1.00	-	7,500.00	7,500			
•	pact new building pad		14,200.00	sf	0.75	10,650			
	avation - foundations					-			
Subgrade pre	p - sitework concrete	paving	22,200.00	sf	0.50	11,100			
Subgrade pre	p - courtyard concrete	paving	3,840.00	sf	0.50	1,920			
- :	p - city sidewalk conci	rete paving	3,600.00	sf	0.50	1,800			
Su	btotal						66,470		
F2020 Hazaı	dous Components A	batement							
None anticipa Su	ted btotal								
TOTAL: XI.	EARTHWORK & GRA	ADING						78,220	\$3.67 /gsf bldg
		Net Total Incl Ma	rk-up						116,455
(II. SITE DRAINAGE									
G3030 Storn	Sewer								
Storm sewer	budget - new DIs and	SD lines	1.00	bgt	20,000.00	20,000			
Bioswales co	mplete		1,000.00	sf	25.00	25,000			
Su	btotal						45,000		
TOTAL: XII	SITE DRAINAGE							45,000	\$2.11 /gsf bldg
		Net Total Incl Ma	rk-up						66,997
(III. FINISH SITEWO	RK		56,700	sf					
	strian Paving	Site Paving							
Courtyard co			3,955.00	sf	15.00	59,325			
Site concrete			22,000.00		15.00	330,000			
	oncrete treads & risers	: (16'0 wide)	4.00		750.00	3,000			
	btotal	s (100 wide)	4.00	ca	730.00	3,000	392,325		\$6.92 /sf total site
		Sidewalk & I	Pulh out				372,323		\$0.92 /SI WAI SILE
	strian Paving	SIUCWAIK & I	3,700.00	cf	12.00	44.400			
Sidewalk pav	-				12.00	44,400			
Bulb-out curb	-	ad damas	110.00		65.00	7,150			
	os complete w/truncate	eu domes	2.00		2,500.00	5,000			
Asphalt patch			1.00	pgt	750.00	750			
Su	btotal	<u> </u>					57,300		\$1.01 /sf total site
		Cono Chuich	IFAC						
	Jevelopment nmunal seat wall w/mo	Conc Structi			80,000.00	80,000			

code	item description			unit aa-t	C . et	01.b4-4-1-	tatal-	۰ - ۱ - ۱ - ۱ - ۱	000::===1!
	nem description	quantit	у	unit cost	ext	subtotals	totals	quais &	assumptio
Concrete seat wall	s w/mosaic tile - linear 2'9wide by 18" h	106.00	lf	650.00	68,900				
Concrete seat wall 18" h - courtyard	s w/mosaic tile - radius planter 2'9wide by	90.00	lf	800.00	72,000				
Concrete seat wall 18" h - by Park St	s w/mosaic tile - radius planter 2'9wide by	80.00	lf	800.00	64,000				
Subtota	I					284,900		\$5.02	/sf total site
G2040 Site Devel						201,700		,	
	teel with wood rafters	1,670.00	sf	175.00	292,250				
Courtyard fence -	7'0 High - powder coated alum panels	60.00	lf	150.00	9,000				
Courtyard fence - o	double gates	2.00	pr	2,000.00	4,000				
Bike parking fence	/sliding gate	11.00	lf	350.00	3,850				
Ball court low chair	n link fence	100.00	lf	35.00	3,500				
Budget - modify/re	pair playground fence	1.00	bgt	2,500.00	2,500				
Re-install salvaged	l bollards at ballcourt	4.00	ea	200.00	800				
Concrete chess tal	bles - bury post - buy-out/install	3.00	ea	3,500.00	10,500				
Concrete ping pon	g table - cantelever - buy-out/install	1.00	ea	7,500.00	7,500				
Linear park bench	- 8'0 long	19.00	ea	2,000.00	38,000				
Trash/recycle stati	ons	2.00	ea	3,000.00	6,000				
Bike racks		8.00	ea	350.00	2,800				
Stock tank planters	S	6.00	ea	350.00	2,100				
Stair rails		12.00	lf	150.00	1,800				
Reinstall salvaged	street/code signs	3.00	ea	150.00	450				
New park welcome Subtota	-	1.00	bgt	5,000.00	5,000	390,050		\$6.88	/sf total site
G2050 Landscapi						370,030		ψ0.00	751 total Site
Soil in raised conci	-	37.00	CV	120.00	4,440				
Soil in stock tank p		3.00		120.00	360				
Amend soil		25,000.00	-	1.00	25,000				
Trees - 36" box		47.00		1,500.00	70,500				
Shrub planting - 15	5 gal (10,200 at 3'0 oc)	1,310	ea	150.00	196,500				
Meadow planting		2,400	sf	10.00	24,000				
Meadow planting in	n raised planters	675		10.00	6,750				
Bioswale planting	·	1,000	sf	8.00	8,000				
Ground cover		1,800	sf	6.00	10,800				
Sod lawn		8,500	sf	2.00	17,000				
Mulch shrub & mea	adow planting	17,400.00	sf	1.50	26,100				
Subtota						389,450		\$6.87	/sf total site
G2050 Landscapi	· ·								
Tie-into water & ba		1.00		3,000.00	3,000				
9	on, heads, & controls complete	25,000.00	st	2.50	62,500				
Subtota						65,500		\$1.16	/sf total site
G4020 Site Lighti	_	4.00		05 000 00					
	ull boxes to light standards	1.00	-	35,000.00	35,000				
New lights standar		7.00	ea	3,000.00	21,000	F/ 000			
Subtota TOTAL: XIII. FIN						56,000	1 425 525	¢7/ 70	last blda
IUIAL. AIII. FIN	ISH SHEWORK						1,635,525		/gsf bldg /sf total site
	Net Total Incl Mark-up)						2,434,992	/SI total Site
V. WATER UTILITIES								\$42.95	/sf total site
G3010 Water Sup	ply Domestic Water								
•	o main (assume 4") complete w/trench	80.00	If	75.00	6 000				
Cut & patch street		1.00		2,500.00	6,000 2,500				
out a paten siteet	ioi iaiciai (30 ii)	1.00	-	5,000.00	5,000				

	BUILDING

						trade	assembly		
code	item description	quantity	/	unit cost	ext	subtotals	totals	quals &	assumptio
Water meter insta	ıll - excluded - fees in owner budget		excl		-				
Subtot			07.01			13,500			
G3010 Water Su	pply Fire Water					.,			
	to main (assume 4") complete w/trench	80.00	lf	75.00	6,000				
Cut & patch stree	t for lateral - joint trench with domestic				-				
Tap into main		1.00	bgt	5,000.00	5,000				
DDCV (assume 4	")	1.00	bgt	10,000.00	10,000				
FDC & PIV		1.00	bgt	7,500.00	7,500				
Water meter insta	ıll - excluded - fees in owner budget		excl						
Subtot						28,500			
TOTAL: XIV. W	ATER UTILITIES						42,000		/gsf bldg
	Net Total Incl Mark-up							62,530	
V. SANITARY UTILITIES	3								
G3020 Sanitary	_								
Existing 4" SS line	e at rear elevation - misc budget for pipe	1.00	bgt	5,000.00	5,000				
adjustment			_						
Subtot	al					5,000			
TOTAL: XV. SA	NITARY UTILITIES						5,000	\$0.23	/gsf bldg
	Net Total Incl Mark-up							7,444	
VI. GAS SERVICE UTILI	ITIES								
G3060 Fuel Distr									
Gas service - non					_				
Subtot						_			
	AS SERVICE UTILITIES							\$0.00	/gsf bldg
	Net Total Incl Mark-up							0	
VIII EL EGEDIOAL LITUR	TIF0								
VII. ELECTRICAL UTILI G40 Electrical	<u>TIES</u> Site Utilities								
	rground conduit for PG&E feeder to new	500.00	If	75.00	37,500				
		300.00	II	73.00	37,300				
service panel. As	sume distance		02	20 000 00					
service panel. As New service boar	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor	1.00	ea	30,000.00	30,000				
service panel. As New service boar enclosure. 2 met	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers	1.00			30,000				
service panel. As New service boar enclosure. 2 met Pad & grounding	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer)	1.00	ea	3,000.00	30,000				
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over	1.00 1.00 1.00	ea ea	3,000.00 5,000.00	30,000 3,000 5,000				
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing Backfeed existing	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter	1.00 1.00 1.00 25.00	ea ea ea	3,000.00 5,000.00 300.00	30,000 3,000 5,000 7,500				
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing Backfeed existing Service feeder to	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V	1.00 1.00 1.00	ea ea ea	3,000.00 5,000.00	30,000 3,000 5,000	203.000			
service panel. As New service boar enclosure. 2 mete Pad & grounding Remove existing Backfeed existing Service feeder to Subtot	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V	1.00 1.00 1.00 25.00	ea ea ea	3,000.00 5,000.00 300.00	30,000 3,000 5,000 7,500	203,000	203,000	\$9.53	/qsf bldq
service panel. As New service boar enclosure. 2 mete Pad & grounding Remove existing Backfeed existing Service feeder to Subtot	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al	1.00 1.00 1.00 25.00	ea ea ea	3,000.00 5,000.00 300.00	30,000 3,000 5,000 7,500	203,000	203,000	\$9.53 302,229	/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing Backfeed existing Service feeder to Subtot TOTAL: XVII. E	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up	1.00 1.00 1.00 25.00	ea ea ea	3,000.00 5,000.00 300.00	30,000 3,000 5,000 7,500	203,000	203,000		/gsf bldg
service panel. As New service boar enclosure. 2 mete Pad & grounding Remove existing Backfeed existing Service feeder to Subtot TOTAL: XVII. E	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up	1.00 1.00 1.00 25.00 300.00	ea ea ea	3,000.00 5,000.00 300.00	30,000 3,000 5,000 7,500	203,000	203,000		/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing I Backfeed existing Service feeder to Subtot TOTAL: XVII. E	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic Systen	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000	203,000	203,000		/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing I Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00	30,000 3,000 5,000 7,500	203,000	203,000		/gsf bldg
service panel. As New service boar enclosure. 2 mete Pad & grounding Remove existing to Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000		203,000	302,229	
service panel. As New service boar enclosure. 2 mete Pad & grounding Remove existing to Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete Subtot	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system al	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000	203,000	·	302,229 \$28.38	/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete Subtot	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000		203,000	302,229 \$28.38	
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete Subtot TOTAL: XVIII. F	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system al PHOTVOLTAIC SYSTEM	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000		604,500	\$28.38 \$28.38	/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete Subtot	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system al PHOTVOLTAIC SYSTEM	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000		·	\$28.38 \$28.38	/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing i Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete Subtot TOTAL: XVIII. F	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system al PHOTVOLTAIC SYSTEM Net Total Incl Mark-up	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000		604,500	\$28.38 \$28.38	/gsf bldg
service panel. As New service boar enclosure. 2 met Pad & grounding Remove existing i Backfeed existing Service feeder to Subtot TOTAL: XVII. E VIII. PHOTVOLTAIC SY: D50 Electrical PV mounted to ro complete Subtot TOTAL: XVIII. F	sume distance d 1,600A 277/480V, 3Ph 4 wire in outdoor ers for PG&E transformer (NIC transformer) transformer after cut-over 600A off new meter - remove old meter building - 1,000A 277/480V al LECTRICAL UTILITIES Net Total Incl Mark-up STEM Photvoltaic System of - 186kW (575 325 watt modules) system al PHOTVOLTAIC SYSTEM Net Total Incl Mark-up	1.00 1.00 1.00 25.00 300.00	ea ea ea If	3,000.00 5,000.00 300.00 400.00	30,000 3,000 5,000 7,500 120,000		604,500	\$28.38 \$28.38	/gsf bldg

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OPTION A - RENOVATE BUILDING

Estimate Detail					trade	assembly	
code	item description	quantity	unit cost	ext	subtotals	totals	quals & assumptions
Building Permit			0.00%	-			Budget by owner
Contingency			15.00%	2,291,814			
Cost Escalation	(2 years at 5%/yr)		10.25%	548,469			to middle of 2022
Bonds	-		1.25%	73,742			
Total Budget Estir	nate - Hard Construction			5.973.133		18,192,785	1



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Est by: RMB

ESTIMATE DETAIL REPORT CONCEPT PHASE ESTIMATE

Project Frances Albrier Community Center

Comparative Scheme Option Estimates - Conceptual Design

Est Date: 3/24/20 Submission

Design Docs: Frances Albrier Community Center Concept Design Pricing Set

Document Date: Various Transmitted 3/3/20

21,040 gsf (Pool Bldg Breakout = 4,250)

Bldg Footprint Total Site Footprint

48,830 sf (NIC Pool & Pool Deck)

		I DING

UPTION B -	NEW BUILDING								
Estimate Det	tail					trade	assembly		
code	item description	quantity	unit	cost	ext	subtotals	totals	quals &	assumptions
	TION & PROJECT PREPARATION								
50	Mobilization & Proj Preparation								
Mobi	ilization/demobilize & temporary facilities	1.00 b	gt 20,	00.00	20,000				
Cons	struction Fencing	1,400.00 l	lf	7.50	10,500				
Tem	p erosion control & BMP measures	1.00 b	gt 2,	500.00	2,500				
Prep	are SWPPP	1.00 b	gt 7,	500.00	7,500				
Layo	out & stake	1.00 b	gt 5,	00.00	5,000				
Misc	equip budget - forklift/gradall, etc	1.00 b	gt 25,	00.00	25,000				
Tem	porary utilties	1.00 b	gt 7,	500.00	7,500				
	Subtotal					78,000			
TOT	AL: I. MOBILIZATION & PROJECT PREPARATION						78,000	\$3.71	/gsf bldg
	Net Total Incl Mark-up							116,127	
II. BUILDING	DEMOLITION								
F2010	Building Elements Demolition								
Strip	finishes	8,500.00 s	sf	2.50	21,250				
Strip	clerestory & siding from sawtooth roofs	2,600.00 s	sf	3.00	7,800				

building Licinchia Demontion				
Strip finishes	8,500.00 sf	2.50	21,250	
Strip clerestory & siding from sawtooth roofs	2,600.00 sf	3.00	7,800	
Remove flat roofs - roofing and framing	4,900.00 sf	0.75	3,675	
Remove roof at sawtooth - roofing and joist framing	4,365.00 sf	1.50	6,548	
Remove sawtooth trusses - multipurpose room	6.00 ea	500.00	3,000	
Remove sawtooth truss framing - low roofs	2,153.00 sf	3.50	7,536	
Remove pop-up framing - stage	575.00 sf	1.50	863	
Remove courtyard canopy roofs & posts	190.00 If	3.00	570	
Remove storefront and windows	1,450.00 sf	2.00	2,900	
Demo courtyard fireplace	1.00 bgt	1,000.00	1,000	
Demo CMU walls	7,200.00 sf	4.00	28,800	
Demo conc slab	8,500.00 sf	3.50	29,750	
Demo conc footings	720.00 If	30.00	21,600	
Haul and dispose	770.00 tons	110.00	84,700	
Subtotal				
2020 Hazardous Components Abatement				

219,991

F2

See Alternates Subtotal

TOTAL: II. BUILDING DEMOLITION

219,991 \$10.46 /gsf bldg

327,525

V. BUILDING STRUCTURE - FOUNDATION & SOG

A1010	Standard Foundations	
711010	Juliuulu I Vulluutiviis	

CC Bldq

Foundations complete - grade beam 2'0x2'0	1,095.00	lf	70.00	76,650
Foundations complete - roof col grade beams 2'0x2'0	175.00	lf	70.00	12,250
Column footing complete - MP 6x6x3 (assume depth)	10.00	ea	2,000.00	20,000
Column footing complete - MP 5x5x3 (assume depth)	4.00	ea	2,000.00	8,000

Net Total Incl Mark-up

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_			_	_	-					_				
n	РΙ	П	n	ıN	ΙR	_	٨	IF۱	N	В	ш	П	λIC	IG:

Header beams - GLM 5 1/8" x 15"

Load bearing & non-load bearing interior wall framing

Ridge beams

Exterior wall framing

Estima	ite Detail					trade	assembly	
code	item description	quantit	y	unit cost	ext	subtotals	totals	quals & assumptions
	Column footing complete - header beam support (assume	12.00	ea	1,500.00	18,000			
	3x3x2)	E 00	0.0	1 500 00	7 500			
	Column footing complete - eaves beam support (assume 3x3x2)	5.00	ea	1,500.00	7,500			
	Column footing complete - eaves beam support (assume	4.00	63	1,500.00	6,000			
	3x3x2)	4.00	Cu	1,300.00	0,000			
	Pool Bldg							
	Foundations complete - grade beam 2'0x2'0	600.00	lf	70.00	42.000			
	Foundations complete - roof col grade beams 2'0x2'0	135.00		70.00	9,450			
	Column footing complete - header beam support (assume	2.00	ea	1,500.00	3,000			
	3x3x2)							
	Subtotal					202,850		
A1	030 Slab on Grade							
	CC Bldg							
	SOG complete 5" over 6" w100#/cy - & vapor barrier	16,790.00	sf	9.50	159,505			
	1'6 high conc stem wall at intersection with stage	135.00		115.00	15,525			
	Perimeter curb at new framed walls	16,509.00	lf	50.00	825,450			
	Pool Bldg							
	SOG complete 5" over 6" w100#/cy - & vap barrier	4,250.00	sf	9.50	40,375			
	Subtotal	.00				1,040,855	1 242 705	φ50.11 /m. Childre
	TOTAL: V. BUILDING STRUCTURE - FOUNDATION & S						1,243,705	\$59.11 /gsf bldg
	Net Total Incl Mark-u	þ						1,851,645
IV. BUI	LDING SUPERSTRUCTURE - ABOVE GRADE							
	020 Roof Construction							
	Crane	1.00	bgt	20,000.00	20,000			
	CC bldg - scaffolding (pro-rate with façade)	11,125.00	csf	5.00	55,625			
	Pool bldg - scaffolding (pro-rate with façade)	4,385.00	csf	5.00	21,925			
	MP/Gym Framing							
	CMU walls shearwalls 12" - ext wall 16' high	1,715.00	sfwl	35.00	60,025			
	CMU walls shearwalls 12" - int walls at proscenium to roof	850.00	sfwl	35.00	29,750			
	CMU walls 12" 10'0 high - north elevation at pool deck to M	P 1,430.00	sfwl	35.00	50,050			
	WF columns - avg 32' high - 100#/lf	5.00	ea	14,000.00	70,000			
	WF columns - avg 23' high - 100#/lf	5.00	ea	12,000.00	60,000			
	Columns - header support proscenium (avg 28'0 high)	2.00		7,500.00	15,000			
	Columns - header beam support (avg 18'0 high)	2.00		5,000.00	10,000			
	Main beams - GLM 8.75 x 48" (60' If ea)	5.00		15,000.00	75,000			
	Header beams - GLM 5 1/8" x 27" (28' If ea)	2.00		3,500.00	7,000			
	Header beams - GLM 5 1/8" x 15" (20' If ea)	5.00		2,000.00	10,000			
	Steel frame around clerestory window (50#/lf)	310.00		500.00	155,000			
	Exterior wall framing - high walls	6,500.00		20.00	130,000			
	Shearwall premium	4,400.00		10.00	44,000			
	Interior partition framing in MP & stage	3,500.00 8,000.00		15.00	52,500			
	High roof framing - TJI, blocking, & ply sheathing complete	•		25.00 25.00	200,000			
	Stage roof framing - TJI, blocking, & ply sheathing complete	500.00			51,250			
	Rim joist <u>CC Flat Roof Structure</u>	500.00	lf	15.00	7,500			
	Columns - header beam support (12'0 high)	2.00	03	3,500.00	7,000			
	Columns - roof eave beam support (12'0 high)	5.00		3,500.00	17,500			
	Header beams - GLM 5 1/8" x 18"	340.00		100.00	34,000			
	Header beams CLM E 1/0" v 15"	14E 00		05.00	34,000			

165.00 If

25.00 If

2,890.00 sfwl

5,400.00 sfwl

85.00

85.00

15.00

15.00

14,025

2,125

43,350

81,000

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de item description					trade	assembly	
ie item description	quantity		unit cost	ext	subtotals	totals	quals & assumptions
Shearwall premium	3,030.00 sf	fwl	10.00	30,300			
Misc headers	•	ogt	3,500.00	3,500			
Roof framing - TJI, blocking, & ply sheathing complete	12,880.00	sf	25.00	322,000			
Rim joist	575.00 I	lf	15.00	8,625			
Pool Bldg Roof Structure							
CMU walls 8" perimeter walls - vary in height	3,075.00 sf	fwl	30.00	92,250			
CMU walls 8" interior walls - vary in height	4,275.00 sf	fwl	30.00	128,250			
Columns - roof eave beam support (12'0 high)	4.00 e	ea	3,500.00	14,000			
Header beams - GLM 5 1/8" x 18"	140.00 l	lf	100.00	14,000			
Ridge beams	20.00 I	lf	85.00	1,700			
Load bearing & non-load bearing interior wall framing	120.00 sf	fwl	15.00	1,800			
Roof framing - slope - TJI, blocking, & ply sheathing complet	€ 2,615.00 \$	sf	25.00	65,375			
Roof framing - flat - TJI, blocking, & ply sheathing complete	2,070.00	sf	25.00	51,750			
Rim joist	1,440.00 I	lf	15.00	21,600			
Mechanical Platform							
Steel platform/structure for AHU 1 - low roof	1.00 e	ea	25,000.00	25,000			
Steel platform for remote kitchen equip - low roof	1.00 e	ea	5,000.00	5,000			
Subtotal					2,108,775		

TOTAL: IV. BUILDING SUPERSTRUCTURE - ABOVE GRADE

Net Total Incl Mark-up

2,108,775 \$100.23 /gsf bldg

3,139,573

V. BUILDING EXTERIOR ENVELOPE - WALLS

B20	Exterior Enclosure	Ext Walls	15,510	sfwl		
	CC Bldg					
	CC bldg - scaffolding (pro-rate with structu	ıre)	11,125.00	csf	5.00	55,625
	Furring strips anchored to CMU		1,690.00	sfwl	4.00	6,760
	Thermal board insulation on CMU		1,690.00	sfwl	5.50	9,295
	Thermal batt insulation at wood framed wa	alls	7,880.00	sfwl	2.75	21,670
	Thermal board insulation at wood framed	walls	7,880.00	sfwl	4.00	31,520
	Densglass sheathing		9,570.00	sfwl	4.00	38,280
	Vapor barrier, peel & stick, & flashing		9,570.00	sfwl	4.25	40,673
	Lath & stucco complete		9,570.00	sfwl	22.00	210,540
	Trim/articulation at windows and doors		1,300.00	lf	25.00	32,500
	Storefront glazing		2,260.00	sf	100.00	226,000
	Clerestory windows at MP/Gym - mechani	zed	1,815.00	sf	150.00	272,250
	Windows - operable		700.00	sf	70.00	49,000
	Misc caulking		11,125.00	sfwl	0.75	8,344
	Storefront - entry doors - pairs (6'0x8'0)		4.00	pair	7,500.00	30,000
	Doors - HM pair 6'0x7'0		1.00	pair	4,000.00	4,000
	Doors - HM single 3'0x7'0		5.00	ea	2,400.00	12,000
	Doors - barn doors at trash (8'0x8'0)		1.00	pair	3,000.00	3,000
	Paint HM doors		6.00	leaf	400.00	2,400
	Paint barn doors		2.00		500.00	1,000
	Misc painting budget		1.00	bgt	7,500.00	7,500
	Mechanical screen at roof - aluminum 10'0) high	160.00	lf	400.00	64,000
	Pool Bldg					
	Pool bldg - scaffolding (pro-rate with struc	ture)	4,385.00		5.00	21,925
	Furring strips anchored to CMU		3,035.00	sfwl	4.00	12,140
	Thermal board insulation on CMU		3,035.00		5.50	16,693
	Densglass sheathing		3,035.00		4.00	12,140
	Vapor barrier, peel & stick, & flashing		3,035.00		4.25	12,899
	Lath & stucco complete		3,035.00		22.00	66,770
	Trim/articulation at windows and doors		300.00	lf	25.00	7,500
	Storefront glazing		480.00	sf	100.00	48,000

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OPTION B - NEW BUILDING

Estimat	e Detail						trade	assembly		
code	item descriptio	n	quantit	у	unit cost	ext	subtotals	totals	quals &	assumptions
-										
	Misc caulking		3,035.00		0.75	2,276				
	Doors - HM pair 6'0x7'0			pair	4,000.00	4,000				
	Doors - HM single 3'0x7'0		10.00	ea	2,400.00	24,000				
	Louver wall at pool equip room		710.00	sf	50.00	35,500				
	Paint HM doors		12.00	leaf	400.00	4,800				
	Misc painting budget		1.00	bgt	1,500.00	1,500				
	Subtotal					_	1,396,499		\$90.04	/sf total ext wall
B20	Exterior Enclosure	Eaves Soffit	8,435	sf						
	CC Bldg									
	Framing & wood slat finish - high slope r	oof	915.00	sf	15.00	13,725				
	Framing & wood slat finish - intermediate	e slope roof	520.00	sf	15.00	7,800				
	Framing & wood slat finish - Flat roof		4,770.00	sf	15.00	71,550				
	Budget for eave vents		1.00	bgt	2,500.00	2,500				
	Finish eaves wood		6,205.00	ea	2.00	12,410				
	Pool Bldg									
	Framing & wood slat finish - slope roof		830.00	sf	15.00	12,450				
	Framing & wood slat finish - Flat roof		680.00	sf	15.00	10,200				
	Budget for eave vents		1.00	bgt	500.00	500				
	Finish eaves wood		1,510.00	-	2.00	3,020				
	Subtotal						134,155		\$15.90	/sf total soffit
	TOTAL: V. BUILDING EXTERIOR EN	VELOPE - WALLS						1,530,654	\$72.75	/gsf bldg
	N	et Total Incl Mark-up							2,278,858	-
		•								

VI. BUILDING EXTERIOR ENVELOPE - ROOF

В3	O Roofing	29,960	sf ro	of	
	CC Bldg				
	Rigid insulation - high standing seam roof over MP/Gym	8,000.00	sf	4.25	34,000
	Rigid insulation - Intermediate standing seam roof over stage	2,050.00	sf	4.25	8,713
	Rigid insulation - flat roof 1	12,880.00	sf	4.25	54,740
	Batt insulation in rafters - high standing seam roof over Gym	7,985.00	sf	3.75	29,944
	Batt insulation in rafters - interm standing seam roof over staç	1,530.00	sf	3.75	5,738
	Batt insulation in rafters - flat roof	8,170.00	sf	3.75	30,638
	Densglass overlay - high standing seam roof over MP/Gym	8,000.00	sf	3.00	24,000
	Densglass overlay - interm standing seam roof over stage	2,050.00	sf	3.00	6,150
	Densglass overlay - flat roof 1	12,880.00	sf	3.00	38,640
	Standing seam roof - high roof over MP/Gym	8,000.00	sf	20.00	160,000
	Standing seam roof - interm roof over stage	2,050.00	sf	20.00	41,000
	TPO - flat mechanical roof	12,880.00	sf	8.00	103,040
	Gutter - assume at flat roof	575.00	lf	50.00	28,750
	Roof edge fascia - slope roof - pre-finished	410.00	lf	35.00	14,350
	Downspouts - pre-finished	345.00	lf	25.00	8,625
	Misc flashing	1.00	bgt	10,000.00	10,000
	Pool Bldg				
	Rigid insulation - standing seam	2,615.00	sf	4.25	11,114
	Rigid insulation - flat roof	3,070.00	sf	4.25	13,048
	Batt insulation in rafters - standing seam	1,785.00	sf	3.75	6,694
	Batt insulation in rafters - flat roof	1,390.00	sf	3.75	5,213
	Densglass overlay - standing seam	2,615.00	sf	3.00	7,845
	Densglass overlay - flat roof	3,070.00	sf	3.00	9,210
	Standing seam roof	2,615.00	sf	20.00	52,300
	TPO - flat roof	3,070.00	sf	8.00	24,560
	Gutter - assume at flat roof	110.00	lf	50.00	5,500
	Roof edge fascia - slope roof - pre-finished	145.00	lf	35.00	5,075
	Downspouts - pre-finished	65.00	lf	25.00	1,625

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UPTION	I B - NEW BUILDING							
Estimate						trade	assembly	
code	item description	quantity	'	unit cost	ext	subtotals	totals	quals & assumptions
	Adia - Galakia -	1.00	LL	1 500 00	4.500			
	Misc flashing Subtotal	1.00	bgt	1,500.00	1,500	742,009		¢24.77 /of of
	TOTAL: VI. BUILDING EXTERIOR ENVELOPE - ROOF					142,007	742,009	\$24.77 /sf roof \$35.27 /gsf bldg
	Net Total Incl Mark-up						142,007	1,104,713
								, ,
VII. INTE	RIOR BUILDOUT - CONSTRUCTIONS & FINISHES							
C10								
	CC Bldg							
	Build stage platform and ramp	1,400.00		70.00	98,000			
	Build proscenium arch (furr around main structure)	1.00 1	bgt	5,000.00	5,000			
	Interior partition framing - see Building Superstructure	4.00		0.500.00	-			
	Frame acoustic partition header & end enclosures	1.00 1	•	2,500.00	2,500			
	Furring strips anchored to interior face of CMU	4,835.00 s		4.00	19,340			
	Acoustic wall insulation	8,900.00 s		1.25	11,125			
	, , ,	13,690.00 s		5.00	68,450			
	, , ,	13,500.00 s 755.00		6.50 15.00	87,750			
	Drop drywall ceilings - RRs Int window & door casings		Si If	15.00 25.00	11,325			
	Int doors solid core wood - pair	6.00		3,500.00	39,500 21,000			
	Int doors solid core wood - single	11.00	-	2,000.00	22,000			
	Int doors solid core wood - double closet	8.00		3,000.00	24,000			
	Int doors solid core wood - in office AHU closets	4.00	•	1,500.00	6,000			
	Access hatch budget	1.00		2,500.00	2,500			
	Pool Bldq		~9.	2,000.00	2,500			
-	Interior partition framing - see Building Superstructure				_			
	Furring strips anchored to interior face of CMU	1,020.00 s	sfwl	4.00	4,080			
	Finished drywall on walls (NIC Stor & Equp Rms)	4,730.00 s	sfwl	5.00	23,650			
	Drop drywall ceilings - throughout	3,580.00	sf	15.00	53,700			
1	Int window & door casings	335.00	lf	25.00	8,375			
ľ	Int doors solid core wood - single	1.00	ea	2,000.00	2,000			
1	Int doors solid core wood - in office AHU closets	1.00	ea	1,500.00	1,500			
I	Access hatch budget	1.00	bgt	2,500.00	2,500			
	Subtotal					514,295		\$24.44 /gsf bldg
C30								
	CC Bldg Flooring							
	.	16,784.00		1.00	16,784			
	Athletic wood flooring - MP/Gym (includes striping - NIC logo)			18.00	107,280			
	Wood flooring - Gym & Emerg Storage	745.00		20.00	14,900			
	Premium for finish wood at stage platform,ramp & stairs	1,000.00		10.00	10,000			
	Linoleum - Lobby/Corridors	1,150.00		7.50	8,625			
	Linoleum - Digital Media/Arts & Crafts/Early Ed	2,600.00		7.50	19,500			
	Carpet - Office/Office Coord Linoleum - Copier/Store	76.00 80.00	-	60.00 7.50	4,560			
	Linoleum - Copier/Store Linoleum - Flex meeting	940.00		7.50	600 7.050			
	Epoxy flooring w/cove base - RRs	755.00		16.00	7,050 12,080			
	Epoxy flooring w/cove base - Kitchen	640.00		16.00	10,240			
	Epoxy flooring w/cove base - Dry Goods & Storage	140.00		16.00	2,240			
	Epoxy flooring w/cove base - Janitor's closets	35.00		16.00	560			
	Epoxy flooring w/cove base - Main Utility	140.00		16.00	2,240			
	Trash room - no treatment to slab		-					
	Pool Bldg Flooring							
	Carpet - Pool Office/ Coord	51.00	Sy	60.00	3,060			
			-					
	Epoxy flooring w/cove base - locker Rm/RRs	1,475.00	SĪ	16.00	23,600			

mate Detail le	item description	quantity	,	unit cost	ext	trade subtotals	assembly totals	quals & assumption
Epoxy flooring w	//cove base - Pool store & equip	1,650.00	sf	16.00	26,400			
CC Bldg - Walls	<u>& Base</u>							
Wood base at ro	ooms with linoleum & carpet	910.00	lf	7.50	6,825			
Wood base at a	thletic floors - in flooring price				-			
Int window & do	or casings	1,580.00	lf	25.00	39,500			
Ceramic tile wai	nscot - RRs 7'0 high	1,870.00	sf	20.00	37,400			
FRP panels - Ki	chen	800.00	sf	6.00	4,800			
FRP panels - Dr	y Goods & Storage	535.00	sf	6.00	3,210			
FRP panels - Ja		250.00	sf	6.00	1,500			
Paint finished dr	ywall on walls at low spaces	13,690.00	sfwl	2.00	27,380			
Paint finished dr	ywall on walls at high Gym walls	13,500.00	sfwl	3.00	40,500			
Paint base & rur	nning trim	2,780.00	lf	5.00	13,900			
Paint doors		43.00	leaf	400.00	17,200			
Pool Bldg - Wall	s & Base							
Wood base at ro	ooms carpet	130.00	lf	7.50	975			
Int window & do	or casings	300.00	lf	25.00	7,500			
Ceramic tile wai	nscot - Locker Rms full height	4,300.00	sf	20.00	86,000			
Ceramic tile wai	nscot - RRs 7'0 high	600.00	sf	20.00	12,000			
Paint finished dr	ywall on walls at offices	940.00	sfwl	2.00	1,880			
Paint base & rur	nning trim	430.00	lf	5.00	2,150			
Paint doors		1.00	leaf	400.00	400			
CC Bldg - Ceilin	g							
Wood slat ceiling	g on suspended grid - Gym	5,960.00	sf	45.00	268,200			
Suspended acor	ustic ceiling - Lobby/Corridors	1,150.00	sf	8.50	9,775			
Suspended acor	ustic ceiling - Digital Media/Arts & Crafts/Early	2,600.00	sf	8.50	22,100			
Suspended acor	ustic ceiling - Office/Office Coord/Copier	760.00	sf	8.50	6,460			
Suspended acor	ustic ceiling - Flex Mtg Rm	940.00	sf	8.50	7,990			
Suspended acor	ustic ceiling - Gym & Emerg Storage	750.00	sf	8.50	6,375			
Suspended acor	ustic ceiling - Stage Ramp/Corridor	200.00	sf	8.50	1,700			
Suspended acor	ustic ceiling - Stage Storage	190.00	sf	8.50	1,615			
Suspended acor	ustic ceiling washable - Kitchen/DG/Storage	780.00	sf	7.00	5,460			
Paint finished dr	ywall ceilings in RRS	755.00	sf	2.00	1,510			
Pool Bldg - Ceili					·			
Paint finished dr	ywall ceilings	3,580.00	sf	2.00	7,160			
Subto	otal					911,744		\$43.33 /gsf bldg
C3050 Interior	Fabrications							
CC Bldg								
Office desk cour	nters	80.00	lf	250.00	20,000			
Office underdes	k station cabinets (assume)	11.00	ea	500.00	5,500			
Classroom cabir	net - lower/counter/upper - Arts & Crafts	16.00	lf	1,000.00	16,000			
Classroom cabir	net - lower/counter/upper - Early Ed	8.00	lf	1,000.00	8,000			
Lavatory counte		20.00	lf	300.00	6,000			
Misc storage sh		1.00		1,000.00	1,000			
_	lus high impact fabric panels - Gym (assume	2,400.00	sf	30.00	72,000			
J	pact tackable fabric panels - Digital afts/Early Ed (assume 6'0 high)	1,560.00	sf	26.00	40,560			
Magnetic white I (assume 6'0 high	poards - Digital Media/Arts & Crafts/Early Ed	3.00	locs	300.00	900			
	splay case - Lobby	1.00	bgt	500.00	500			
	le partition w/pocket doors - Multipurpose Rm	480.00	•	60.00	28,800			
•	gs - Gymnasium clerestory - shade motorized			65.00	118,300			
	= = =			30.00	14,400			
Window covering	gs - Office - shade & blackout screens	480.00	SI	30.00	14,400			

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ate Detail						trade	assembly		
)	item description	quantit	y	unit cost	ext	subtotals	totals	quals &	assump
Window covo	rings Arts 9 Crafts Early Ed Eloy Mtg	770.00	cf	20.00	22 100				
shade & black	rings - Arts & Crafts, Early Ed, Flex Mtg -	770.00	SI	30.00	23,100				
		n: 280.00	cf	30.00	0 400				
	rings - Back of stage - shade & blackout screer	2.00		2,200.00	8,400				
	ns - phenolic - ADA stall				4,400				
	ns - phenolic - standard stall	4.00		1,500.00	6,000				
Urinal screen:		1.00		750.00	750				
	ories - per stall	6.00		400.00	2,400				
Grab bars at		2.00		200.00	400				
	ressories - per room - multi - stall RR	2.00		1,800.00	3,600				
	cessories - per room - single occupancy RR	3.00		2,000.00	6,000				
	rors - large multi-stall RRs	80.00		25.00	2,000				
	rors - at wall hung sinks	3.00		150.00	450				
_	her cabinets (extinguishers by owner)	6.00		350.00	2,100				
_	NIC (assume to be FF&E)	4.00	excl	4 500 00	4 500				
	ID signage (NIC ornamental signage)	1.00	bgt	1,500.00	1,500				
Pool Bldg									
Lavatory cour		40.00		300.00	12,000				
•	shelving budget	1.00	0	2,500.00	2,500				
	rings - Office - shade & blackout screens	480.00		30.00	14,400				
-	ns - phenolic - ADA stall	2.00	ea	2,200.00	4,400				
-	ns - phenolic - standard stall	4.00		1,500.00	6,000				
Urinal screen:	S	1.00	ea	750.00	750				
Toilet accesso	ories - per stall	6.00	ea	400.00	2,400				
Grab bars at	HC stalls	2.00	ea	200.00	400				
Restroom acc	essories - per room - multi - stall RR	2.00	ea	1,800.00	3,600				
Restroom acc	cessories - per room - single occupancy RR	2.00	ea	2,000.00	4,000				
Shower acces	ssories	10.00	ea	200.00	2,000				
Restroom mir	rors - large multi-stall RRs	160.00	sf	25.00	4,000				
Restroom mir	rors - at wall hung sinks	2.00	ea	150.00	300				
Lockers		48.00	ea	400.00	19,200				
Locker bench	es	8.00	ea	200.00	1,600				
Fire extinguis	her cabinets (extinguishers by owner)	5.00	ea	350.00	1,750				
Furnishings -	NIC (assume to be FF&E)		excl		-				
Code & room	ID signage (NIC ornamental signage)	1.00	bgt	750.00	750				
Sul	btotal					480,160		\$22.82	/gsf bldg
1070 Enter	tainment and Recreational Equipment	Stage							
Overhead rigo	=	1.00	bgt	7,500.00	7,500				
_	, audio, equip NIC		excl	•					
	btotal					7,500		\$0.36	/gsf bldg
	tainment and Recreational Equipment	Gym Equi	p						
	- see wood floor				-				
Bleachers - n					-				
	ckboards - overhead retractable - motoraized	2.00		8,000.00	16,000				
	ckboards - wall braced side fold - motoraized	4.00		6,500.00	26,000				
•	oard (1), shotclocks (2), controller	1.00		11,000.00	11,000				
Volleyball set		1.00		5,000.00	5,000				
Dividing curta		70.00		450.00	31,500				
Wall padding		1.00	bgt	30,000.00	30,000	110 500		¢E /0	lacf bld-
	btotal					119,500	0.000.10-		/gsf bldg
IUIAL: VII.	INTERIOR BUILDOUT - CONSTRUCTIONS 8	& FINISHES					2,033,199	\$96.63	/gsf bldg

VIII. INTERIOR BUILDOUT - MEPF

D20 Plumbing

All fixtures inclusive of rough-in

mate D	Detail					trade	assembly	
le 1	item description	quantit	V	unit cost	ext	subtotals	totals	quals & assumpti
	,	•	,					
<u>C(</u>	<u>C Bldg</u>							
To	oilets - wall hung - heavy duty carrier	9.00	ea	5,500.00	49,500			
Ur	inals	2.00	ea	4,000.00	8,000			
La	vatory sinks - wall hung	3.00	ea	4,000.00	12,000			
La	avatory counter sinks	6.00	ea	3,500.00	21,000			
Co	ounter sinks - Classrooms	2.00	ea	3,500.00	7,000			
Flo	oor drains - primed - Restrooms	2.00	ea	2,500.00	5,000			
Flo	oor drain - primed - Trash Room	1.00	ea	2,500.00	2,500			
Ja	nitor's sink	1.00	ea	4,000.00	4,000			
Dr	inking fountain/bottle filling station (interior wall mount)	1.00	ea	8,000.00	8,000			
Dr	inking fountain/bottle filling station exterior	1.00	ea	12,000.00	12,000			
Ho	ose bibb with lock	4.00	ea	1,500.00	6,000			
Wa	ater heater w/circ pump and piping - restrooms - none		excl		-			
Ins	sta-hot tankless water heaters - Janitor closets	1.00	ea	1,500.00	1,500			
Wa	ater heater - hybrid heat pump w/exp tank, circ pump and	1.00	bgt	20,000.00	20,000			
pip	ping - kitchen		Ü					
Kit	tchen plumbing rough-in budget & connections	1.00	bgt	50,000.00	50,000			
	oor sink - primed - Dry Goods	1.00	-	3,000.00	3,000			
	rease interceptor	1.00	ea	3,500.00	3,500			
	ater pipe - runs to program sinks	150.00	lf	40.00	6,000			
	anitary pipe - runs to program sinks	150.00	lf	70.00	10,500			
	ondensate drains	1.00	bat	7,500.00	7,500			
	udget: backflow, hammer arrestor, reducer valve	1.00	-	10,000.00	10,000			
	as piping - none		excl	,	-			
	onnect to new water line at 5' from building	1.00		1,500.00	1,500			
	onnect to SS line at 5' from building	1.00	_	1,500.00	1,500			
	en reqs and permitting	1.00		15,000.00	15,000			
	ommissioning	1.00		5,000.00	5,000			
	ool Bldq		- 3.	-,				
	oilets - wall hung - heavy duty carrier	8.00	ea	5,500.00	44,000			
	rinals	2.00		4,000.00	8,000			
	avatory sinks - wall hung	2.00		4,000.00	8,000			
	avatory counter sinks	6.00		3,500.00	21,000			
	nower unit	8.00		5,000.00	40,000			
	oor drains - primed - Restrooms	2.00		2,500.00	5,000			
	oor drain - primed - Chem Store & Pool Mech	3.00		2,500.00	7,500			
	initor's sink	1.00		4,000.00	4,000			
	inking fountain/bottle filling station exterior	1.00		12,000.00	12,000			
	ose bibb with lock	5.00		1,500.00	7,500			
	ater heater w/circ pump and piping - shower room	1.00		2,000.00	2,000			
	and trap / inceptor	1.00		3,500.00	3,500			
	ondensate drains	1.00		1,500.00	1,500			
	onnect to main building water	1.00		1,500.00	1,500			
	<u> </u>		_					
	onnect to SS line at main building en regs and permitting - see CC Bldq	1.00	byt	1,500.00	1,500			
					-			
C	ommissioning - See CC Bldg Subtotal				-	437,000		¢20.77 /aaf bl-1-
D30	HVAC					437,000		\$20.77 /gsf bldg
	C Bldg							
		1 00	hat	64 000 00	64.000			
	HU -1 - Gym: Roof mount 16 ton packaged unit w/heat Imp - Daikin Rebel DPS016AHH, MERV 13, powered exh	1.00	uyl	64,000.00	64,000			
		1 00	00	12 000 00	12 000			
HH	P-3 Digital Media: 3 ton indoor packaged unit - Friedrich RP36, MERV 13	1.00	ea	12,000.00	12,000			

mate	Detail					trade	assembly	
de	item description	quantit	y	unit cost	ext	subtotals	totals	quals & assumpt
	HP-5 Arts & Crafts: 3 ton indoor packaged unit - Friedrich	1.00	63	12,000.00	12,000			
	VRP36, MERV 13	1.00	ca	12,000.00	12,000			
	HP-4 Early Education: 3 ton indoor packaged unit - Friedric VRP36, MERV 13	h 1.00	ea	12,000.00	12,000			
	HP-2 Office: 3 ton indoor packaged unit - Friedrich VRP36, MERV 13	1.00	ea	12,000.00	12,000			
	HP-6 Flex Mtg: 3 ton indoor packaged unit - Friedrich VRP36, MERV 13	1.00	ea	12,000.00	12,000			
	HP-7 Stage: 2 ton indoor packaged unit - Friedrich VRP24, MERV 13	1.00	ea	8,000.00	8,000			
	EF 4,5,6,7 - 600 CFM inline Cook mode SQN-D	4.00	ea	2,000.00	8,000			
	Roof gravity relief - Greenheck FGR 24x28 w/backdraft	1.00		2,500.00	2,500			
	Kitchen grease duct & exhaust	1.00		20,000.00	20,000			
	9	16,790.00	U	10.00				
	Ducting, registers, & louvers				167,900			
	Controls - local t-stats only	1.00		10,000.00	10,000			
	House keeping pads - condensers	4.00		1,500.00	6,000			
	Gen reqs and permitting	1.00	bgt	15,000.00	15,000			
	Commissioning <u>CC Bldg</u>	1.00	bgt	10,000.00	10,000			
	HP-1 Office: 2 ton indoor packaged unit - Friedrich VRP24, MERV 13	1.00	ea	8,000.00	8,000			
- 1	EF 1 - 2000 CFM inline Cook mode SQN-D	1.00	ea	3,000.00	3,000			
- 1	EF 2,3 - 600 CFM inline Cook mode SQN-D	2.00	ea	2,000.00	4,000			
- 1	Roof gravity relief - Greenheck FGR 24x28 w/backdraft	1.00	ea	2,500.00	2,500			
-	Kitchen grease duct & exhaust	1.00	bat	20,000.00	20,000			
	Ducting, registers, & louvers	4,250.00	U	8.00	34,000			
	Controls - local t-stats only	1.00		2,000.00	2,000			
	House keeping pads - condensers	1.00		1,500.00	1,500			
	Gen regs and permitting - see CC Bldg	1.00	Ca	1,300.00	1,500			
					-			
,	Commissioning - See CC Bldg Subtotal				<u>-</u>	444 400		¢21.22 /acf blda
D40						446,400		\$21.22 /gsf bldg
	CC Bldg							
-	ASR, distribution piping, & heads complete	16,790	nsf	8.00	134,320			
	Premium for running exposed in Gym/MPR	5,960	-	3.00	17,880			
	Distribution piping, & heads complete - under stage	710		12.00	8,520			
	Add distribution piping, & heads complete - that roof eaves	4,770		8.00	38,160			
	•		-					
	Connect to new water line at 5' from building	1.00	•	1,500.00	1,500			
	Gen regs and permitting	1.00	-	7,500.00	7,500			
	Commissioning	1.00	bgt	2,500.00	2,500			
	DDCV - see Utilities				-			
ı	FDC & PIV - see Utilities							
1	Pool Bldg							
1	ASR, distribution piping, & heads complete	4,250	gsf	7.00	29,750			
-	Add distribution piping, & heads complete - flat roof eaves	680	gsf	8.00	5,440			
	Connect to new water line at CC Bldg	1.00		1,500.00	1,500			
	Gen regs and permitting - see CC Bldg		-9-	1,223.23	.,000			
	Commissioning - See CC Bldg				-			
	DDCV - see Utilities				-			
	FDC & PIV - see Utilities					0.47.070		44.74
D	Subtotal					247,070		\$11.74 /gsf bldg
D50								
	connect to stand-by power							
	<u>CC Bldg</u> Main panel - 1,000A 480V, 3 Ph, 4 wire - indoor							
		1.00		16,500.00	16,500			

project management services construction management & estimating

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	te Detail						trade	assembly		
de	item descriptio	on	quantit	у	unit cost	ext	subtotals	totals	quals &	assumpti
	·									
	Mechanical branch panel - 400A, 277/48	30V	1.00	bgt	7,400.00	7,400				
**	Lighting branch panels -100A, 277/480V	1	2.00	ea	3,500.00	7,000				
	Kitchen branch feeder 225A 277/480V to	o kitch transformer	150.00	lf	100.00	15,000				
	Kitchen step-down transformer - 150kV/		1.00	ea	14,500.00	14,500				
	Kitchen branch panel - 600A 120/208V	double section	1.00	ea	8,250.00	8,250				
**	Misc building power feeder 175A 277/48		250.00	lf	90.00	22,500				
**	Misc building step-down transformer - 1	12.5kVA	1.00	ea	11,700.00	11,700				
**	Misc building branch panel - 400A 120/2		1.00		8,200.00	8,200				
**	Misc building branch panels - 100A 120		2.00		2,800.00	5,600				
	Manual transfer switch - 400A, 480V 3-F		1.00		8,500.00	8,500				
	Standby power panel 400A 277/480V (for		1.00		7,400.00	7,400				
	Power to mechanical equipment	or portable generator)	1.00		30,000.00	30,000				
	Power device distribution		16,790		25.00	419,750				
	Power distribution premium & hook-ups	- Kitchen	1.00		50,000.00					
	Connect to electrical service within 5' from		1.00	-	1,000.00	50,000 1,000				
		in bulluling								
	Gen reqs and permitting		1.00	•	15,000.00	15,000				
	Commissioning		1.00	bgt	5,000.00	5,000				
	Pool Bldg									
	Misc building branch panels - 100A 120	208V	2.00		2,800.00	5,600				
	Pool step-down transformer - 30kVA		1.00		6,200.00	6,200				
	Pool branch panel - 100A 120/208V pool		1.00	ea	2,800.00	2,800				
	Power feeder from CC Bldg for pool pov	ver	150.00	lf	90.00	13,500				
	Power feed from CC Bldg for misc		150.00	lf	50.00	7,500				
	Power to mechanical equipment		1.00		7,500.00	7,500				
	Power device distribution		4,250		25.00	106,250				
	Power distribution premium & hook-ups	- pool equip	1.00	bgt	25,000.00	25,000				
	Gen reqs and permitting - see CC Bldg					-				
	Commissioning - See CC Bldg					-				
	Subtotal Elect Distribution						827,650		\$39.34	/gsf bldg
D50	D Electrical	Lighting								
	CC Bldq									
	General lighting		16,790	gsf	20.00	335,800				
	Donation Balaban MD/Com		F 0/0	cf	15.00	00.400				
	Premium lighting - MP/Gym		5,960	JI.	15.00	89,400				
	Exit lights				7,500.00	89,400 7,500				
	Exit lights		1	bgt		7,500				
	Exit lights Exterior lighting - on building		1 1.00	bgt bgt	7,500.00 20,000.00	7,500 20,000				
	Exit lights Exterior lighting - on building Central battery inverter - 5kVA		1 1.00 1.00	bgt bgt bgt	7,500.00	7,500 20,000 15,000				
	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only		1 1.00	bgt bgt bgt	7,500.00 20,000.00 15,000.00	7,500 20,000				
	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg		1 1.00 1.00 1.00	bgt bgt bgt bgt	7,500.00 20,000.00 15,000.00 25,000.00	7,500 20,000 15,000 25,000				
	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting		1 1.00 1.00 1.00 4,250	bgt bgt bgt bgt	7,500.00 20,000.00 15,000.00 25,000.00	7,500 20,000 15,000 25,000 42,500				
	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building		1 1.00 1.00 1.00	bgt bgt bgt bgt	7,500.00 20,000.00 15,000.00 25,000.00	7,500 20,000 15,000 25,000	537 700		\$25 54	/asf hlda
DSG	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting	Low Voltage System	1 1.00 1.00 1.00 4,250 1.00	bgt bgt bgt bgt	7,500.00 20,000.00 15,000.00 25,000.00	7,500 20,000 15,000 25,000 42,500	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting D Electrical	Low Voltage Syster	1 1.00 1.00 1.00 4,250 1.00	bgt bgt bgt bgt	7,500.00 20,000.00 15,000.00 25,000.00	7,500 20,000 15,000 25,000 42,500	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting CC Bldg CC Bldg		1 1.00 1.00 1.00 4,250 1.00	bgt bgt bgt bgt gsf bgt	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00	7,500 20,000 15,000 25,000 42,500 2,500	537,700		\$25.56	/gsf bldg
D56	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting CC Bldg Fire alarm & CO2 monitoring system controls		1 1.00 1.00 1.00 4,250 1.00 ms	bgt bgt bgt gsf bgt	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00	7,500 20,000 15,000 25,000 42,500 2,500	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment		1 1.00 1.00 1.00 1.00 4,250 1.00 ns	bgt bgt bgt gsf bgt	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting O Electrical CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in	mplete	1 1.00 1.00 1.00 4,250 1.00 ms	bgt bgt bgt gsf bgt	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00	7,500 20,000 15,000 25,000 42,500 2,500	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in A/V, Public Address, Clock System - NIC	mplete	1 1.00 1.00 1.00 1.00 4,250 1.00 ns	bgt bgt bgt gsf bgt	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in A/V, Public Address, Clock System - NIC Pool Bldg	mplete	1 1.00 1.00 1.00 4,250 1.00 ms 16,790 16,790	bgt bgt bgt bgt bgt gsf bgt gsf gsf gsf gsf excl	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00 2.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370 33,580	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting CC Bldg Fire alarm & CO2 monitoring system col Data/tel distribution - NIC equipment Security system - rough-in A/V, Public Address, Clock System - NIC Pool Bldg Fire alarm & CO2 monitoring system col	mplete	1 1.00 1.00 1.00 1.00 4,250 1.00 ns 16,790 16,790 4,250	bgt bgt bgt gsf bgt gsf gsf gsf excl	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00 2.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370 33,580	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting O Electrical CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in A/V, Public Address, Clock System - NIC Pool Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment	mplete	1 1.00 1.00 1.00 1.00 4,250 1.00 ms 16,790 16,790 4,250 4,250 4,250	bgt bgt bgt gsf bgt gsf gsf gsf gsf gsf	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00 2.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370 33,580 - 21,250 8,500	537,700		\$25.56	/gsf bldg
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting O Electrical CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in A/V, Public Address, Clock System - NIC Pool Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in	mplete	1 1.00 1.00 1.00 1.00 4,250 1.00 ns 16,790 16,790 4,250	bgt bgt bgt gsf bgt gsf gsf gsf gsf gsf	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00 2.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370 33,580				
D50	Exit lights Exterior lighting - on building Central battery inverter - 5kVA Lighting & dimming controls - local only Pool Bldg General lighting Exterior lighting - on building Subtotal Elect Lighting O Electrical CC Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment Security system - rough-in A/V, Public Address, Clock System - NIC Pool Bldg Fire alarm & CO2 monitoring system conducted distribution - NIC equipment	mplete mplete	1 1.00 1.00 1.00 1.00 4,250 1.00 ms 16,790 16,790 4,250 4,250 4,250	bgt bgt bgt gsf bgt gsf gsf gsf gsf gsf	7,500.00 20,000.00 15,000.00 25,000.00 10.00 2,500.00 5.00 3.00 2.00	7,500 20,000 15,000 25,000 42,500 2,500 83,950 50,370 33,580 - 21,250 8,500	537,700	2,697,720	\$9.60	/gsf bldg /gsf bldg /gsf bldg

IX. KITCHEN EQUIPMENT

imate Detail				trade	assembly	
de item description	quantity	unit cost	ext	subtotals	totals	quals & assumptio
E1020 Institutional Equipment						
Reach-in fridge	1 ea	3,042.00	3,042			
Reach-in freezer	1 ea	2,858.00	2,858			
3. SS work table	1 ea	2,315.00	2,315			
4. Ice maker	1 ea	2,643.00				
			2,643			
5. SS wall shelve	2 ea	323.00	646			
6. Water filter for ice machine	1 ea	279.00 1,756.00	279			
7. Warming drawer - free standing	1 ea	•	1,756			
10. Pass-thru shelf	1 ea	285.00	285			
11. SS wall shelf	2 ea	402.00	804			
12. Hot water dispenser	1 ea	817.00	817			
13. Coffee Brewer	1 ea	2,415.00	2,415			
14. Iced Tea Brewer	1 ea	684.00	684			
15. Undercounter fridge	1 ea	2,055.00	2,055			
16. Water tower - remote chiller - dispenser	1 ea	5,437.00	5,437			
17. Pass-thru shelf	1 ea	285.00	285			
20. Warming drawer - free standing	1 ea	1,756.00	1,756			
21. Wire shelving	1 ea	263.00	263			
22. Three compartment sink	1 ea	3,101.00	3,101			
22.1 Pre-rinse faucet	1 ea	671.00	671			
22.2 Drain lever / twist waste	3 ea	237.00	711			
23. SS wire shelves	2 ea	120.00	240			
24. SS wire shelves	2 ea	181.00	362			
25. Dishwasher	1 ea	7,554.00	7,554			
26. Exhaust hood - dishwasher	1 ea	1,010.00	1,010			
26.3 SS hood enclosure	1 ea	435.00	435			
27. Food accumulator - soiled dishtable (32 - incl w/27)	1 ea	1,590.00	1,590			
30. Wire shelf	2 ea	120.00	240			
31. Trash receptacle - poly	4 ea	80.00	320			
32.1 Pre rinse faucet	1 ea	548.00	548			
33. Wire shelving	1 ea	617.00	617			
34 & 38. Hand sink	2 ea	195.00	390			
34.1 & 38.1 Faucet - splash mount	2 ea	252.00	504			
•		44.00	88			
34.2 & 28.2Soap dispenser	2 ea 2 ea	58.00				
34.3 &38.3Paper towel dispenser			116			
35. SS Prep table 14'x2'9 w/2 18"x18" tubs	1 ea	2,790.00	2,790			
35.1 & 35.3 Faucet - deck mounted	2 ea	245.00	490			
35.2 & 35.4 Drain, lever/twist waste	2 ea	237.00	474			
36. Undercounter fridge	1 ea	4,105.00	4,105			
37. Table mount overshelf	1 ea	593.00	593			
39. Wire shelving	1 ea	575.00	575			
40. Heated holding cabinet	2 ea	3,729.00	7,458			
41. Cold & hold oven	1 ea	7,240.00	7,240			
42. & 46. Filler table	2 ea	504.00	1,008			
43. Griddle, electric countertop	1 ea	2,714.00	2,714			
44. Equip stand w/undershelves	1 ea	708.00	708			
45.HD Range 36" 6 hotplate burners	2 ea	6,371.00	12,742			
47. Exhaust grease hood	1 ea	4,315.00	4,315			
47.4 Electric control panel	1 ea	2,143.00	2,143			
47,5 Fire suppression system	1 ea	3,424.00	3,424			
47.6 SS dividers	1 ea	523.00	523			
47.7 SS hood enclosure	1 ea	893.00	893			
50, 50.1. Mop sink & faucet	1 ea	1,186.00	1,186			
50.2 Utility shelf - Janitor's closet	1 ea	412.00	412			

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	il itom description	a	.,	unit aa-t	a.d	trade	assembly	mal- C	0001:
ode	item description	quantit	у	unit cost	ext	subtotals	totals	quais &	assumptio
51. St	orage room wire shelving	1	ea	2,120.00	2,120				
	alk-in cooler	1		11,869.00	11,869				
	\$ 52.2. Remote condenser &evaporator for walk-in cool			4,567.00	4,567				
	alk -in cooler shelving		ea	1,989.00	1,989				
W01 F	•		ea	6,000.00	6,000				
	Staging and delivery	1		1,200.00	1,200				
	nstallation - Exaust/grease hood installation	1		7,203.00	7,203				
	nstallation - Walk-in		ea	14,625.00	14,625				
	nstallation - Remote evaporator & condenser	1		15,188.00	15,188				
	nstallation - Balance of equipment and shelving	1		84,240.00	84,240				
	nstallation- Water tower		ea	859.00	859				
	Start-up	1		1,800.00	1,800				
	Fraining	1		1,500.00	1,500				
Tax	Talling		ea	12,024.00	12,024				
Tux	Subtotal		ca	12,024.00	12,024	265,814			
TOTA	AL: IX. KITCHEN EQUIPMENT					200,014	265,814	\$12.63	/asf hlda
1017	Net Total Incl Mark-up						203,014	395,748	rysi blug
	•							•	
	ENTS DEMOLITION								
G1010	Site Clearing	47.00		4 500 00					
	ve trees (10" to 20") - incl stump removal & offhaul	17.00		1,500.00	25,500				
	ve trees (less than 20") - incl stump removal & offhaul	5.00		750.00	3,750				
	& grubb landscaping	45,000.00		0.15	6,750				
Haul a	and dispose organics (NIC trees)	285.00	су	100.00	28,500				
	Subtotal					64,500			
G1020	Site Elements Demolition and Relocations	Finish Ele							
	ve and salvage park welcome sign	1.00		200.00	200				
	ve and salvage code & traffic signs	4.00		100.00	400				
	ve and salvage bollards at ball court	4.00		75.00	300				
	ve low chain link fence at ball court	135.00		4.00	540				
Remo	ve wood benches	100.00	lf	7.50	750				
Remo	ve concrete pedestals at wood benches	11.00		250.00	2,750				
Misc s	site elements demo	1.00	bgt	750.00	750				
Saw c	ut concrete	40.00	lf	15.00	600				
Saw c	ut asphalt	150.00	lf	10.00	1,500				
Saw c	ut road asphalt	110.00	lf	10.00	1,100				
Demo	site concrete	9,595.00	sf	2.50	23,988			151	lcy
Donio	courtyard concrete	3,790.00	sf	2.50	9,475			30	lcy
	courtyard concrete			2.50				15	-
Demo	sidewalk concrete	1,880.00	st	2.50	4,700				
Demo Demo	-	1,880.00 100.00		2.50 10.00	4,700 1,000			1	lcy
Demo Demo Demo	sidewalk concrete		lf					1	lcy
Demo Demo Demo Demo	sidewalk concrete curb & gutter	100.00	lf sf	10.00	1,000			1	lcy
Demo Demo Demo Demo Demo	sidewalk concrete curb & gutter site asphalt road asphalt and dispose	100.00 7,100.00	If sf sf	10.00 1.75	1,000 12,425			1	lcy
Demo Demo Demo Demo Demo Haul a	sidewalk concrete curb & gutter site asphalt road asphalt	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028		1	lcy
Demo Demo Demo Demo Demo Haul a	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028		1	lcy
Demo Demo Demo Demo Demo Haul a	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028		1	lcy
Demo Demo Demo Demo Haul a	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028			
Demo Demo Demo Demo Haul a	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal AL: X. SITE ELEMENTS DEMOLITION	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028	150,528	\$7.15	lcy /gsf bldg
Demo Demo Demo Demo Haul a	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028 	150,528		
Demo Demo Demo Demo Haul a F2020 None	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal AL: X. SITE ELEMENTS DEMOLITION Net Total Incl Mark-up	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028	150,528	\$7.15	
Demo Demo Demo Demo Haul a F2020 None	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal AL: X. SITE ELEMENTS DEMOLITION Net Total Incl Mark-up	100.00 7,100.00 540.00	If sf sf	10.00 1.75 2.50	1,000 12,425 1,350	86,028 	150,528	\$7.15	
Demo Demo Demo Demo Haul a F2020 None TOTA	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal AL: X. SITE ELEMENTS DEMOLITION Net Total Incl Mark-up	100.00 7,100.00 540.00	If sf sf tons	10.00 1.75 2.50	1,000 12,425 1,350	86,028	150,528	\$7.15	
Demo Demo Demo Demo Haul a F2020 None TOTA EARTHWO G1020 Cut &	sidewalk concrete curb & gutter site asphalt road asphalt and dispose Subtotal Hazardous Components Abatement anticipated Subtotal AL: X. SITE ELEMENTS DEMOLITION Net Total Incl Mark-up ORK & GRADING Site Elements Demolition and Relocations	100.00 7,100.00 540.00 220.00	If sf sf tons	10.00 1.75 2.50 110.00	1,000 12,425 1,350 24,200	86,028	150,528	\$7.15	

					В			

Estimate Detail						trade	assembly	
code	item description	quantity	/	unit cost	ext	subtotals	totals	quals & assumptions
Budget to remove	SD nining	1.00	hat	2,500.00	2,500			
Remove irrigation		1.00	-	500.00	500			
•	irrigation boxes and piping	45,000.00		0.05	2,250			
Haul and dispose	3 11 3	1.00		1,000.00	1,000			
Subtot	al		•			11,750		
G1030 Site Earth	work							
Rough & fine grad	le	84,000.00		0.50	42,000			
Budget for import	-	1.00	bgt	7,500.00	7,500			
Scarify & compact	31	21,000.00	sf	0.75	15,750			
	ion - foundations - see Structure				-			
	itework concrete paving	16,700.00		0.50	8,350			
= : :	ourtyard concrete paving	2,680.00		0.50	1,340			
-	neight (assume use spoils from site)	130.00	-	20.00	2,600			
Subgrade prep - p		13,675.00		0.50 0.50	6,838			
Subgrade prep - C	ity sidewalk concrete paving	4,620.00	21	0.30	2,310	86,688		
	s Components Abatement					00,000		
None anticipated	3 Components Abatement				_			
Subtot	al							
TOTAL: XI. EAF	RTHWORK & GRADING						98,438	\$4.68 /gsf bldg
	Net Total Incl Ma	ark-up						146,555
(II. SITE DRAINAGE								
G3030 Storm Se								
	jet - new DIs and SD lines	1.00	-	20,000.00	20,000			
Bioswales comple		1,000.00	St	25.00	25,000	4E 000		
Subtot TOTAL: XII. SIT						45,000	45,000	\$2.14 /gsf bldg
TOTAL. All. 311	Net Total Incl Ma	ark-up					43,000	66,997
	1101 10141 11101 1110							00,777
KIII. FINISH SITEWORK		56,700	sf					
G2030 Pedestria	n Paving Site Paving							
Courtyard concret		2,680.00		15.00	40,200			
Site concrete pavi		16,700.00		15.00	250,500			
Site stage & ramp		2,370.00	sf	15.00	35,550			
Subtot		Dullt				326,250		\$5.75 /sf total site
G2030 Pedestria	n Paving Sidewalk &		o.f	12.00	FF 440			
Sidewalk paving	uttor	4,620.00 110.00		12.00 65.00	55,440			
Bulb-out curb & g		2.00		2,500.00	7,150			
Asphalt patch at r	omplete w/truncated domes	1.00		750.00	5,000 750			
Subtot		1.00	byt	730.00	730	68,340		\$1.21 /sf total site
G2040 Site Deve		tures				00,540		ψ1.21 731 total 31to
Concete ret walls	=	185.00	lf	300.00	55,500			
	Is w/mosaic tile - linear 2'9wide by 18		lf	650.00	94,900			
	Is w/mosaic tile - curved linear 2'9wid			800.00	60,000			
18" h		,						
Concrete seat wa stage - add curb -	ls w/mosaic tile - curved linear at face 2'9wide by 18" h	e of 175.00	lf	850.00	148,750			
-	ls w/mosaic tile - radius planter 2'9wio	de by 77.00	lf	800.00	61,600			
18" h - by Park St		,			,			
Subtot						420,750		\$7.42 /sf total site
G2040 Site Deve	lopment							

					В			

Estimate De	tail						trade	assembly		
code		scription	quantity	,	unit cost	ext	subtotals	totals	quals &	assumption
										•
	rtyard fence - 7'0 High - powd	er coated alum panels	70.00		150.00	10,500				
Cou	rtyard fence - double gates		2.00	pr	2,000.00	4,000				
Ball	court low chain link fence		100.00	lf	35.00	3,500				
Bud	get - modify/repair playground	I fence	1.00	bgt	2,500.00	2,500				
Re-i	nstall salvaged bollards at bal	lcourt	4.00	ea	200.00	800				
Con	crete chess tables - bury post	- buy-out/install	2.00	ea	3,500.00	7,000				
Con	crete ping pong table - cantel	ever - buy-out/install	2.00	ea	7,500.00	15,000				
Line	ar park bench - 8'0 long		3.00	ea	2,000.00	6,000				
Tras	sh/recycle stations		2.00	ea	3,000.00	6,000				
Bike	racks		7.00	ea	350.00	2,450				
Stoc	ck tank planters		8.00	ea	350.00	2,800				
Reir	nstall salvaged street/code sig	ns	3.00	ea	150.00	450				
New	ı park welcome sign		1.00	bgt	5,000.00	5,000				
	Subtotal						232,250		\$4.10	/sf total site
G2050	Landscaping	Planting								
Soil	in raised concrete planters		30.00		120.00	3,600				
Soil	in stock tank planters		4.00	су	120.00	480				
Ame	end soil		20,000.00	sf	1.00	20,000				
Tree	es - 36" box		57.00	ea	1,500.00	85,500				
Shru	ub planting - 15 gal (5,300 sf a	at 3'0 oc)	600	ea	150.00	90,000				
Mea	dow planting		1,325	sf	10.00	13,250				
Mea	dow planting in raised planter	S	210	sf	10.00	2,100				
Bios	swale planting		800	sf	8.00	6,400				
Gro	und cover		2,000	sf	6.00	12,000				
Sod	lawn		9,870	sf	2.00	19,740				
Mulo	ch shrub & meadow planting		10,130.00	sf	1.50	15,195				
	Subtotal						268,265		\$4.73	/sf total site
G2050	Landscaping	Irrigation								
Tie-	into water & backflow device		1.00	ea	3,000.00	3,000				
Irrig	ation distribution, heads, & co	ntrols complete	20,000.00	sf	2.50	50,000				
	Subtotal						53,000		\$0.93	/sf total site
G4020	Site Lighting									
Pow	er feeds and pull boxes to ligh	nt standards	1.00	bgt	35,000.00	35,000				
New	ı lights standards		5.00	ea	3,000.00	15,000				
	Subtotal						50,000			
TO [*]	TAL: XIII. FINISH SITEWOR	K						1,418,855		/gsf bldg
										/sf total site
		Net Total Incl Mark-	dr						2,112,411	
									\$37.26	/sf total site
	UTILITIES	D 4' - 1W - 4 -	_							
G3010	Water Supply	Domestic Wate		16	75.00					
	water lateral to main (assum	·	80.00		75.00	6,000				
	& patch street for lateral (30 li	T)	1.00	-	2,500.00	2,500				
	into main		1.00	٠.	5,000.00	5,000				
wat	er meter install - excluded - fe	es in owner budget		excl			40 500			
C2010	Subtotal	Fire Weter					13,500			
G3010	Water Supply	Fire Water	00.00	Iŧ	75.00	/ 000				
	water lateral to main (assum		80.00	II	75.00	6,000				
	& patch street for lateral - join	i irench with domestic	4.00	اس ما	F 000 00					
	into main		1.00	-	5,000.00	5,000				
	CV (assume 4")		1.00	•	10,000.00	10,000				
	C & PIV		1.00		7,500.00	7,500				
Wat	er meter install - excluded - fe	es in owner budget		excl			00 -00			
	Subtotal						28,500			

OPTION R - NEW RIIII DING					
	ADTI	D	BILLIA	DILL	DINIC
	11011	к.	M = M	KIIII	1 111/16

OPTION B - NEW BUILDING								
Estimate Detail					trade	assembly		
code item description	quantit	у	unit cost	ext	subtotals	totals	quals &	assumptions
TOTAL: XIV. WATER UTILITIES						42,000	\$2.00	/gsf bldg
Net Total Incl Mark-up						42,000	62,530	rysi bluy
not rotal mormant up							02/000	
XV. SANITARY UTILITIES								
G3020 Sanitary Sewer								
Existing 4" SS line at rear elevation - misc budget for pipe	1.00	bgt	5,000.00	5,000				
adjustment								
Subtotal					5,000			
TOTAL: XV. SANITARY UTILITIES						5,000		/gsf bldg
Net Total Incl Mark-up							7,444	
XVI. GAS SERVICE UTILITIES								
G3060 Fuel Distribution								
Misc prep for gas meter room	1.00	bat	7,500.00	7,500				
Gas service to pool	1.00		5,000.00	5,000				
Subtotal		- 5	-,		12,500			
TOTAL: XVI. GAS SERVICE UTILITIES						12,500	\$0.59	/gsf bldg
Net Total Incl Mark-up						•	18,610	3 3
XVII. ELECTRICAL UTILITIES								
G40 Electrical Site Utilities	500.00		75.00	07.500				
Five 3" PVC underground conduit for PG&E feeder to new	500.00	It	75.00	37,500				
service panel. Assume distance	1.00		20,000,00	20.000				
New service board 1,600A 277/480V, 3Ph 4 wire in outdoor enclosure. 2 meters	1.00	ea	30,000.00	30,000				
Pad & grounding for PG&E transformer (NIC transformer)	1.00	63	3,000.00	3,000				
Remove existing transformer after cut-over	1.00		5,000.00	5,000				
Backfeed existing 600A off new meter - remove old meter	25.00		300.00	7,500				
Service feeder to building - 1,000A 277/480v	300.00		400.00	120,000				
Subtotal	300.00	"	400.00	120,000	203,000			
TOTAL: XVII. ELECTRICAL UTILITIES						203,000	\$9.65	/gsf bldg
Net Total Incl Mark-up						•	302,229	3 3
XVIII. PHOTVOLTAIC SYSTEM								
D50 Electrical Photvoltaic Syster								
PV mounted to roof - 216kW (670 325 watt modules) system	216.00	kW	3,250	702,000				
complete					702.000		¢22 27	lact blda
Subtotal TOTAL: XVIII. PHOTVOLTAIC SYSTEM					702,000	702,000		/gsf bldg /gsf bldg
Net Total Incl Mark-up						102,000	1,045,147	rysi blug
							.,,	
XIX. POOL, DECK, EQUIPMENT, & POOL FENCE								
F1060 Athletic and Recreational Special Construction								
Mobilization and site prep (in addition to GC/earthwork)	1.00		50,000.00	50,000				
Pool construction & pool equipment	6,450.00	sf	235.00	1,515,750				
Surge tank	1.00		40,000.00	40,000				
Pool deck	7,600.00	sf	45.00	342,000				
Pool fence	250.00		300.00	75,000				
Pool gates	3.00		2,000.00	6,000				
Pool deck lighting	1.00		50,000.00	50,000				
Deck equipment	1.00	bgt	60,000.00	60,000				
Competitive equipment	1.00	bgt	140,000.00	140,000				
Subtotal					2,278,750	0.6=0 ===		, ,
TOTAL: XIX. POOL, DECK, EQUIPMENT, & POOL FENCE						2,278,750		/gsf bldg
Net Total Incl Mark-up							3,392,634	

project management services construction management & estimating

OPTION B - NEW BUILDING

Estimate Detail					trade	assembly	
code	item description	quantity	unit cost	ext	subtotals	totals	quals & assumptions

Raw Cost of Work			15,875,936]
General Expenses (Incl 2.5% for Public Reqs)	15.00%	2,381,390		
Contractor's Fee (OH & Profit)	7.50%	1,369,299		
Contractor Insurance	1.00%	223,744		
Building Permit	0.00%	-		Budget by owne
Contingency	15.00%	2,977,555		
Cost Escalation (2 years at 5%/yr)	10.25%	712,579		to middle of 202
Bonds	1.25%	95,807		
tal Budget Estimate - Hard Construction		7,760,375	23,636,311]

R.Borinstein Company

project management services construction management & estimating

Est by: RMB

<u>CONCEPT PHASE ESTIMATE</u>

ESTIMATE DETAIL REPORT

Project Frances Albrier Community Center

Comparative Scheme Option Estimates - Conceptual Design

Est Date: 3/24/20
Submission

Design Docs: Frances Albrier Community Center Concept Design Pricing Set

Document Date: Various Transmitted 3/3/20

ALTERNATES

1. ALL ELECTRIC POOL HEAT PUMP

Estimate Detail					trade	assembly	
code	item description	quantity	unit cost	ext	subtotals	totals	quals & assumptions

DELETE STANDARD POOL UTILITIES

G3060 Fuel Distribution

Delete misc prep for gas meter room -1.00 bgt 7,500.00 (7,500)

Delete gas service to pool -1.00 bgt 5,000.00 (5,000)

Subtotal (12,500)

D50 Electrical Photvoltaic System

Delete PV mounted to roof - 216kW (670 325 watt modules) -216.00 kW 3,250 (702,000)

system complete

Subtotal (702,000)

G40 Electrical Site Utilities

Delete new service board 1,600A 277/480V, 3Ph 4 wire in -1.00 ea 30,000.00 (30,000) outdoor enclosure. 2 meters

Delete service feeder to building - 1,000A 277/480v -300.00 If 400.00 (120,000) **Subtotal**

TOTAL: DELETE STANDARD POOL UTILITIES

TILITIES (864,500)

Net Total Incl Mark-up -1,287,079

(150,000)

ADD ELECTRIC POOL COMPONENTS AND UTILITIES

D50 Electrical Photvoltaic System

New service board 2,500A 277/480V, 3Ph 4 wire in outdoor 1.00 bgt 35,000 35,000 enclosure. 2 meters

New service feeder to building - 1,000A 277/480v 300.00 If 750.00 225,000

Subtotal 260,000

Electrical Photvoltaic System

D50 Electrical Photvoltaic System
SunDrum hybrid PV / solar thermal system - thermal 1.00 bgt 500,000 500,000

component (replaces need for electric heat pump)

SunDrum hybrid PV / solar thermal system - PV components 216.00 kW 3,250 702,000

Subtotal <u>1,202,000</u>

TOTAL: ADD ELECTRIC POOL COMPONENTS AND UTILITIES 1,462,000

Net Total Incl Mark-up 2,176,646

aw Cost of Work			597,500
General Expenses (Incl 2.5% for Public Reqs)	15.00%	89,625	
Contractor's Fee (OH & Profit)	7.50%	51,534	
Contractor Insurance	1.00%	8,421	
Building Permit	0.00%	-	Budget by own
Contingency	15.00%	112,062	
Cost Escalation (2 years at 5%/yr)	10.25%	26,818	to middle of 20.
Bonds	1.25%	3,606	

Total Budget Estimate - Hard Construction 292,066 889,566

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Est by: RMB

CONCEPT PHASE ESTIMATE ESTIMATE DETAIL REPORT

Project Frances Albrier Community Center

Comparative Scheme Option Estimates - Conceptual Design

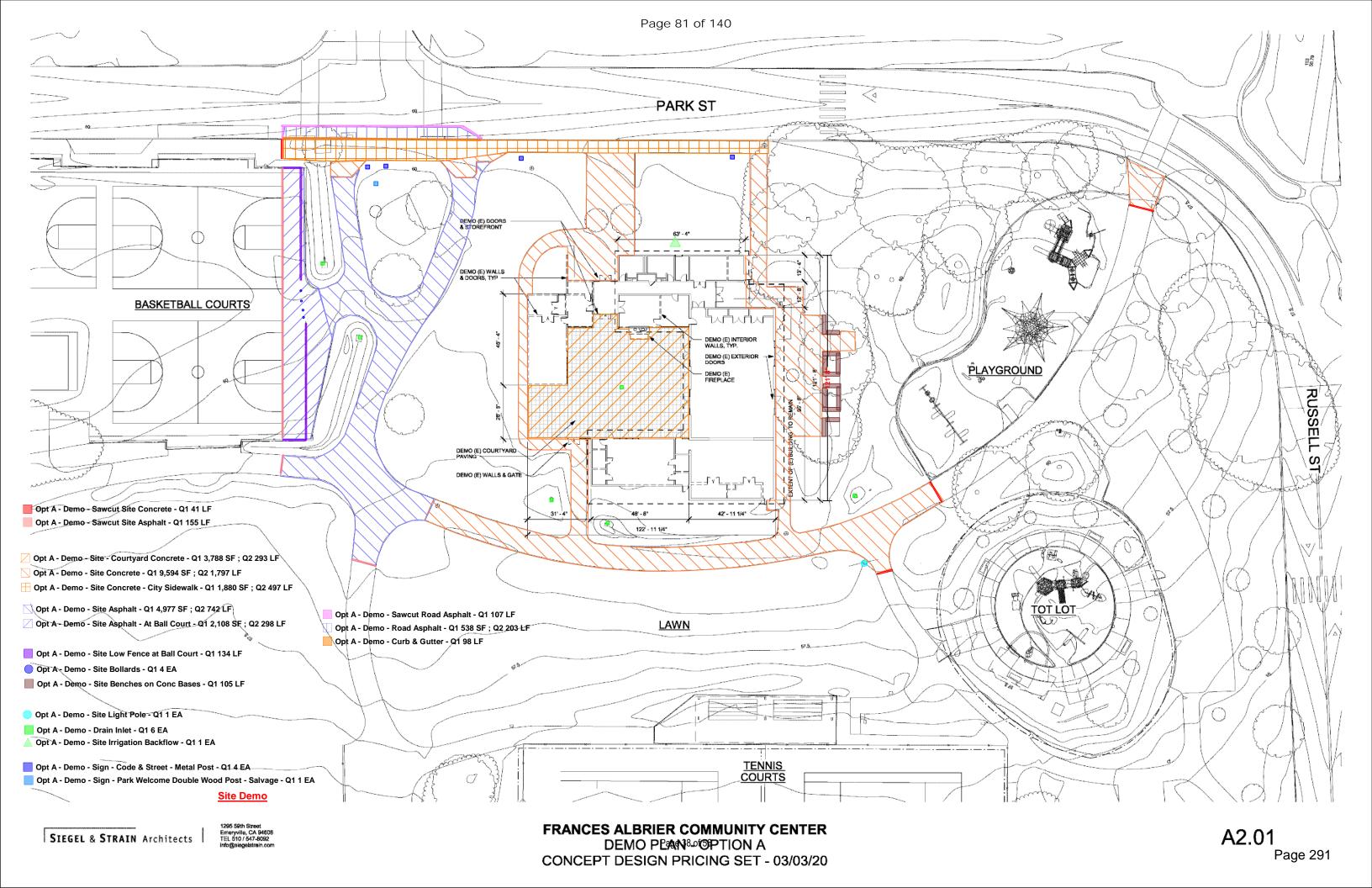
Est Date: 3/24/20 Submission

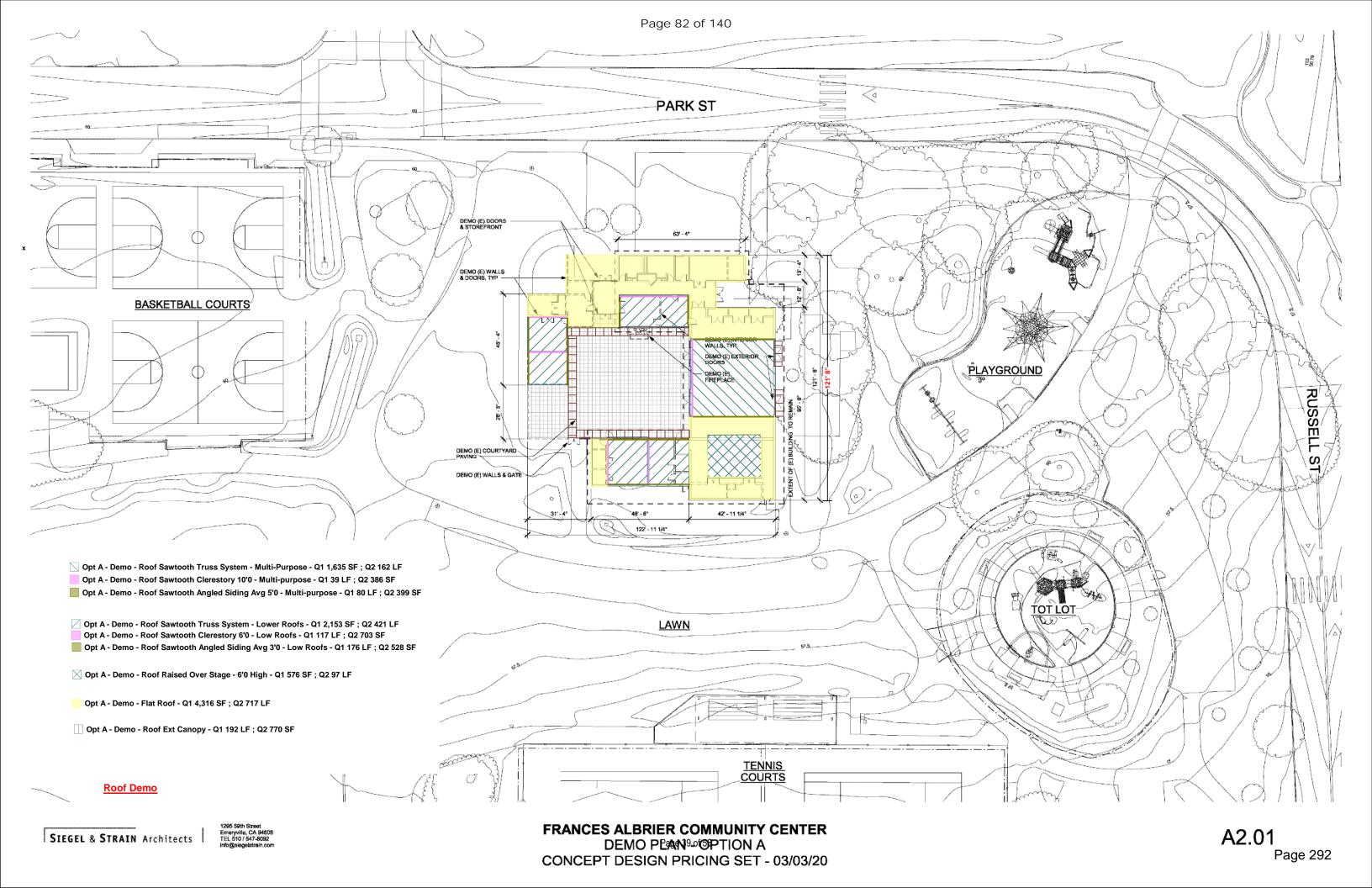
Design Docs: **Frances Albrier Community Center Concept Design Pricing Set**

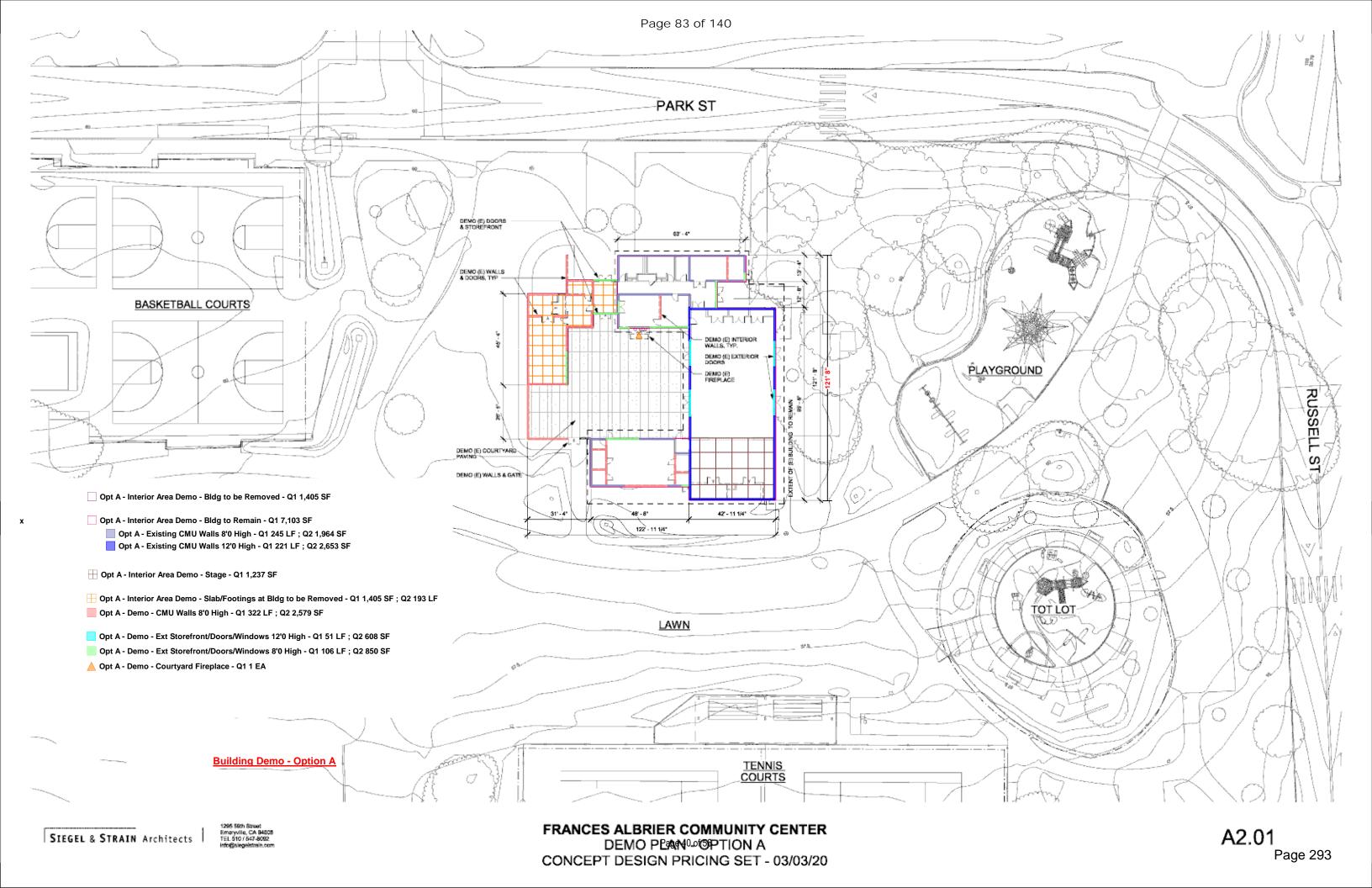
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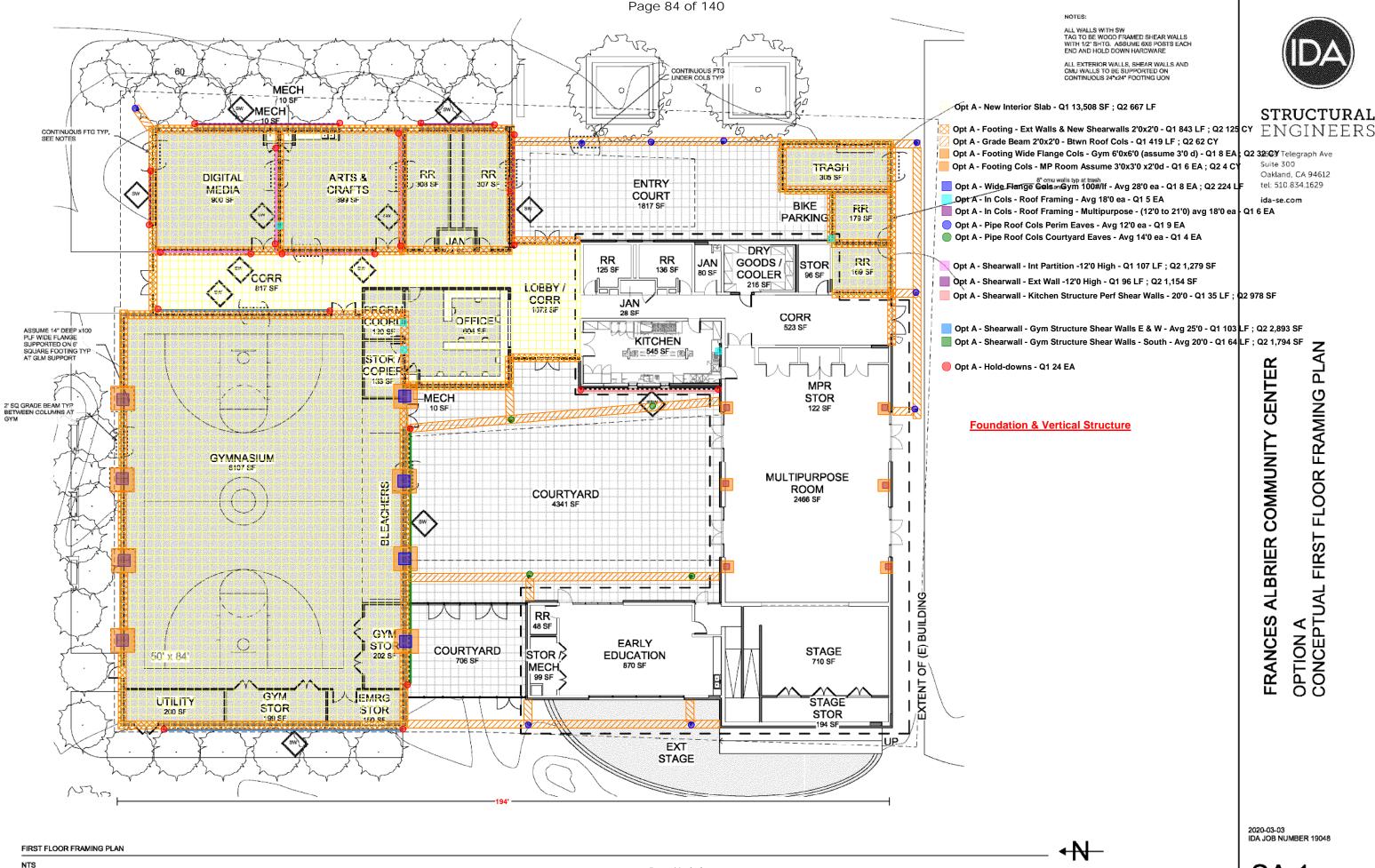
ALTERNATES

stimate Deta	nil					trade	assembly	
rode	item descrip	otion	quantity	unit cost	ext	subtotals	totals	quals & assumption
G1030	Site Earthwork							
	ve trees - assume not required				_			
	grubb and subgrade prep		2,370.00 sf	2.00	4,740			
	Subtotal			-		4,740		
G2030	Pedestrian Paving	Site Paving				-		
Curb a	and gutter - existing				-			
Sidew	alk paving		2,370.00 sf	12.00	28,440			
	Subtotal					28,440		
TOTA	AL:						33,180	
		Net Total Incl Mark-	ıp					49,399
Raw Cost o	f Work						33,180	
General E	Expenses (Incl 2.5% for Public R	Regs)		15.00%	4,977			
Contracto	or's Fee (OH & Profit)			7.50%	2,862			
Contracto	or Insurance			1.00%	468			
Building F	Permit			0.00%	-			Budget by owner
Continger	ncy			15.00%	6,223			
Cost Esca	alation (2 years at 5%/yr)			10.25%	1,489			to middle of 2022
Bonds				1.25%	200			

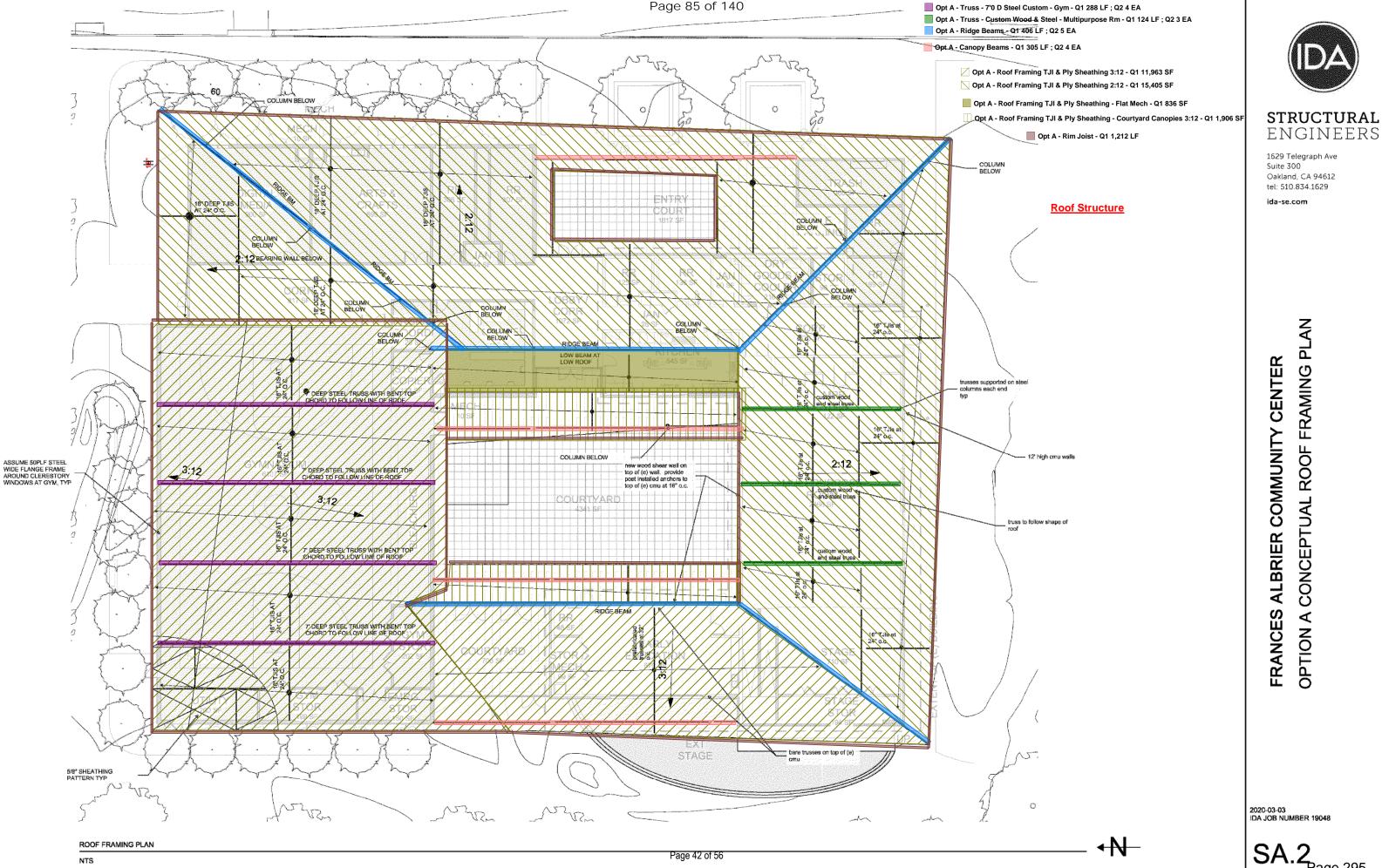




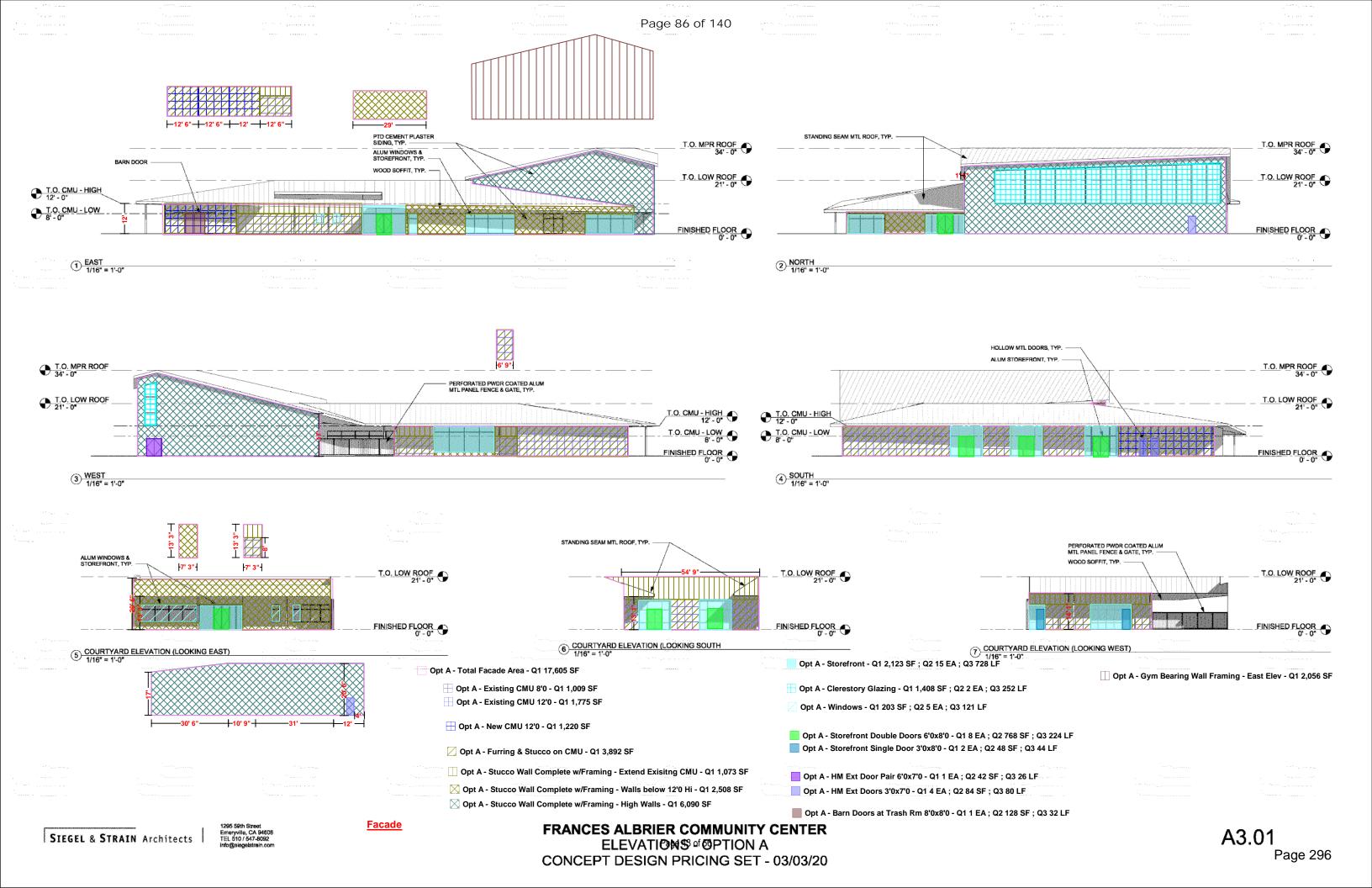


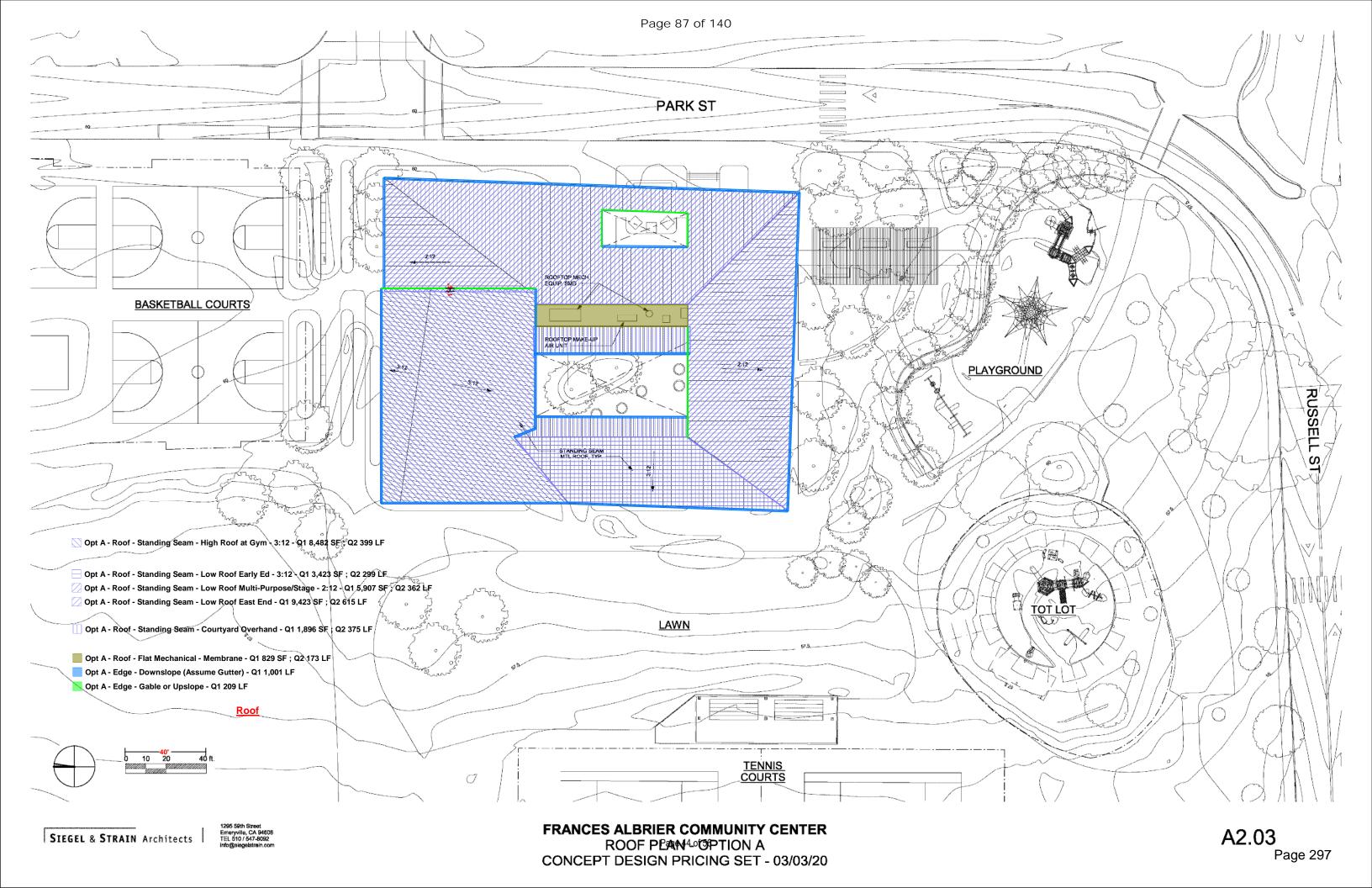


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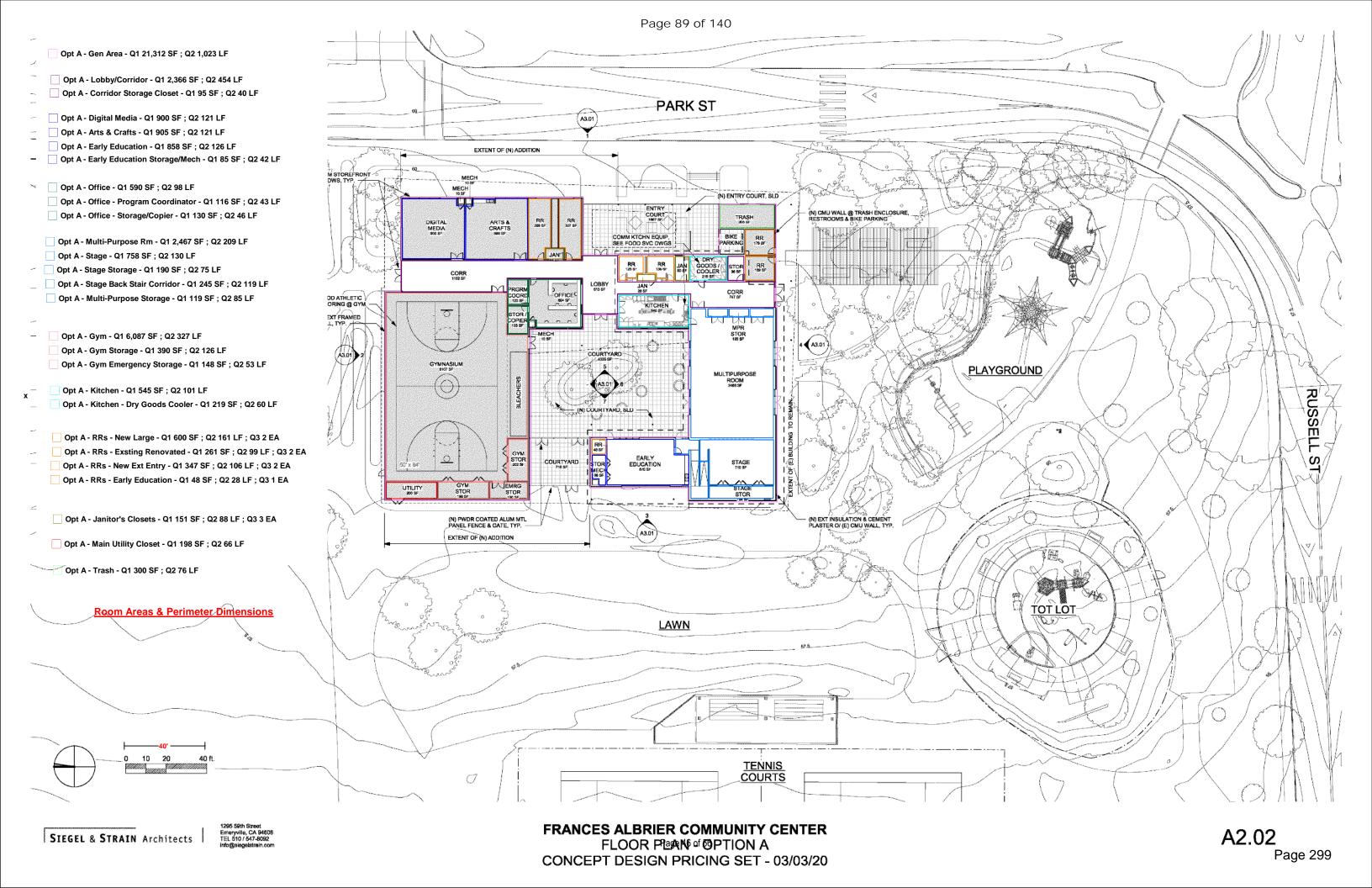
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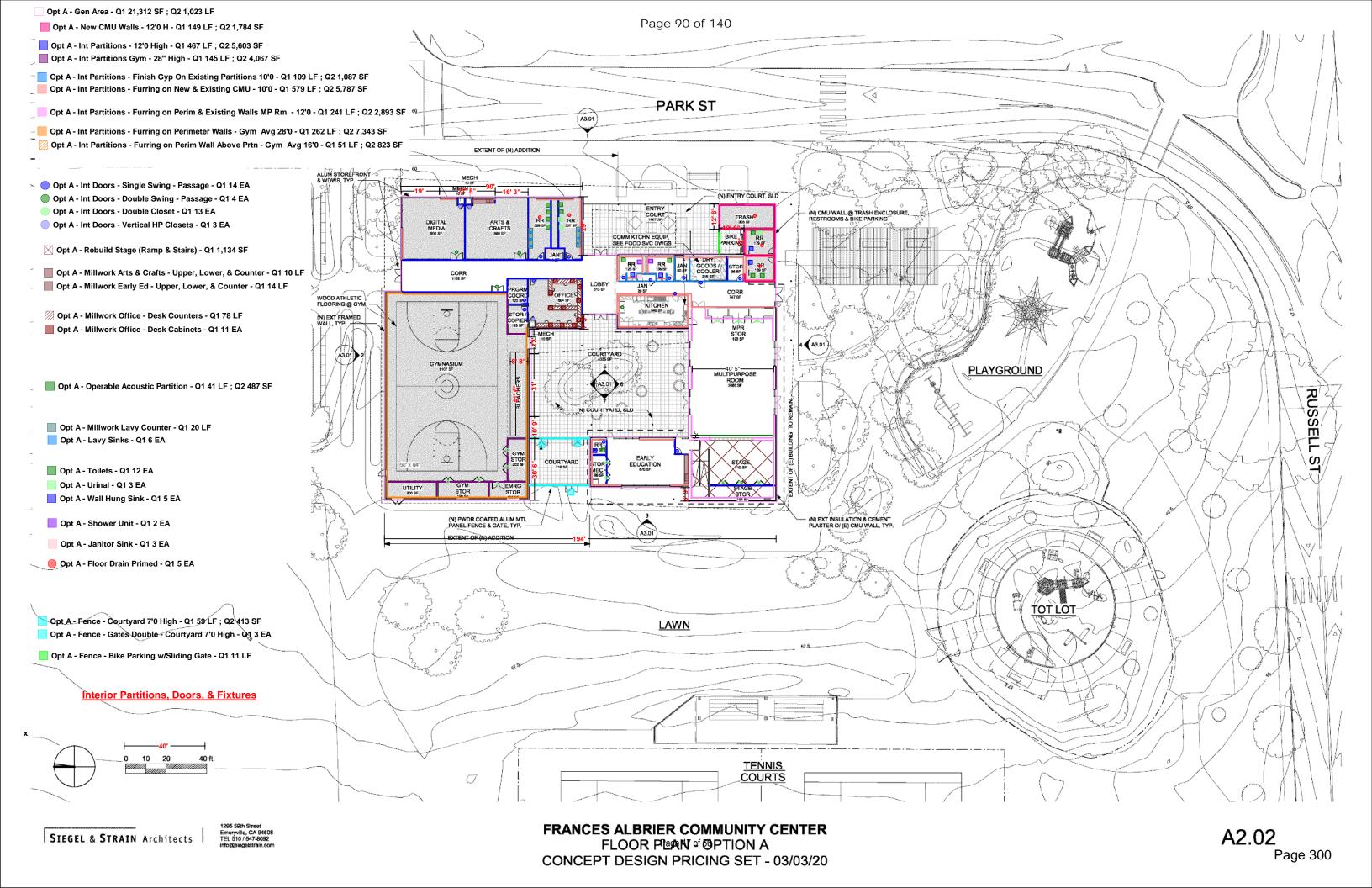
CONCEPTUAL ROOF FRAMING PLAN ALBRIER COMMUNITY CENTER

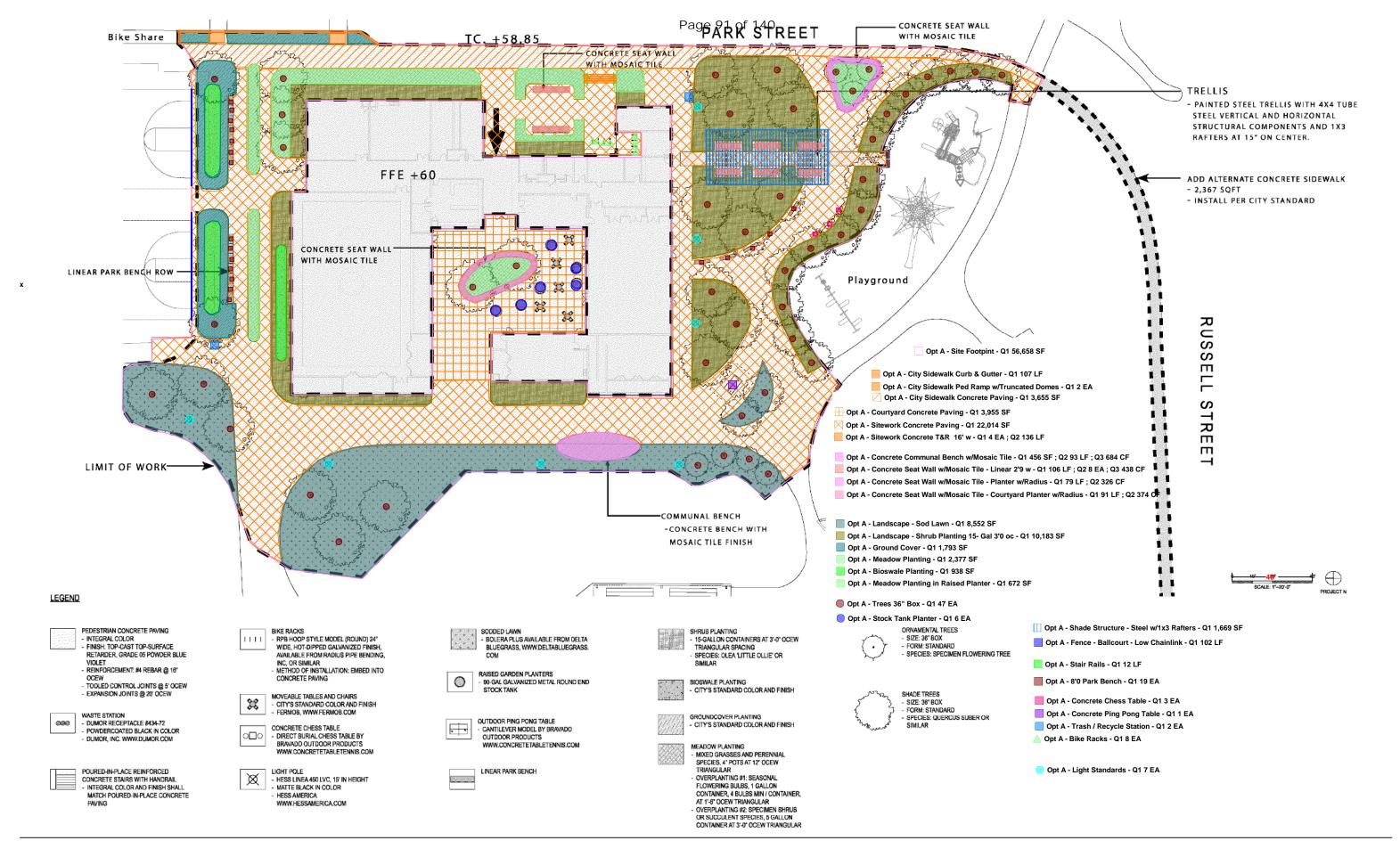
2020-03-03 IDA JOB NUMBER 19048

FRANCES

OPTION A







-DECK

FIRST FLOOR FRAMING PLAN

NTS

ALBRIER COMMI OPTION B CONCEPTUAL FIRST FRANCES

FLOOF

STRUCTURAL

ENGINEERS

1629 Telegraph Ave

Oakland, CA 94612

tel: 510.834.1629

Suite 300

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2020-03-03 IDA JOB NUMBER 19048

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ROOF FRAMING PLAN

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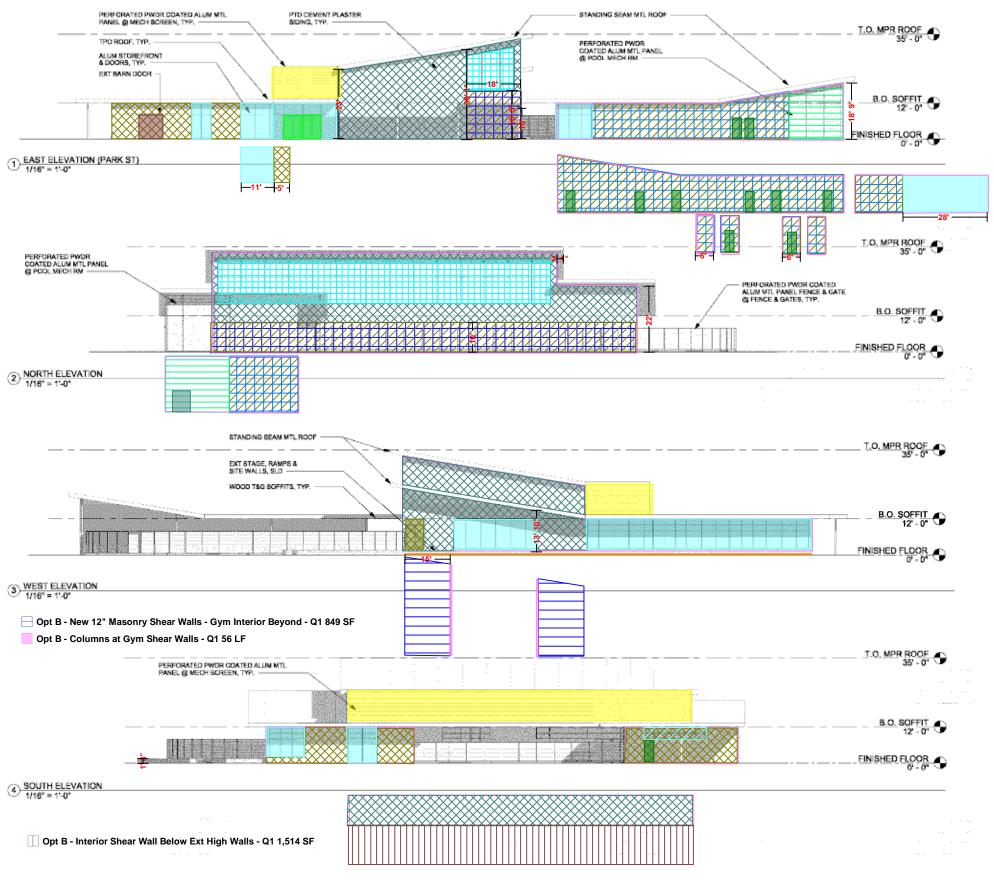
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FRANCES ALBRIER COMMUNITY CENTER
OPTION B
CONCEPTUAL ROOF FRAMING PLAN

2020-03-03 IDA JOB NUMBER 19048

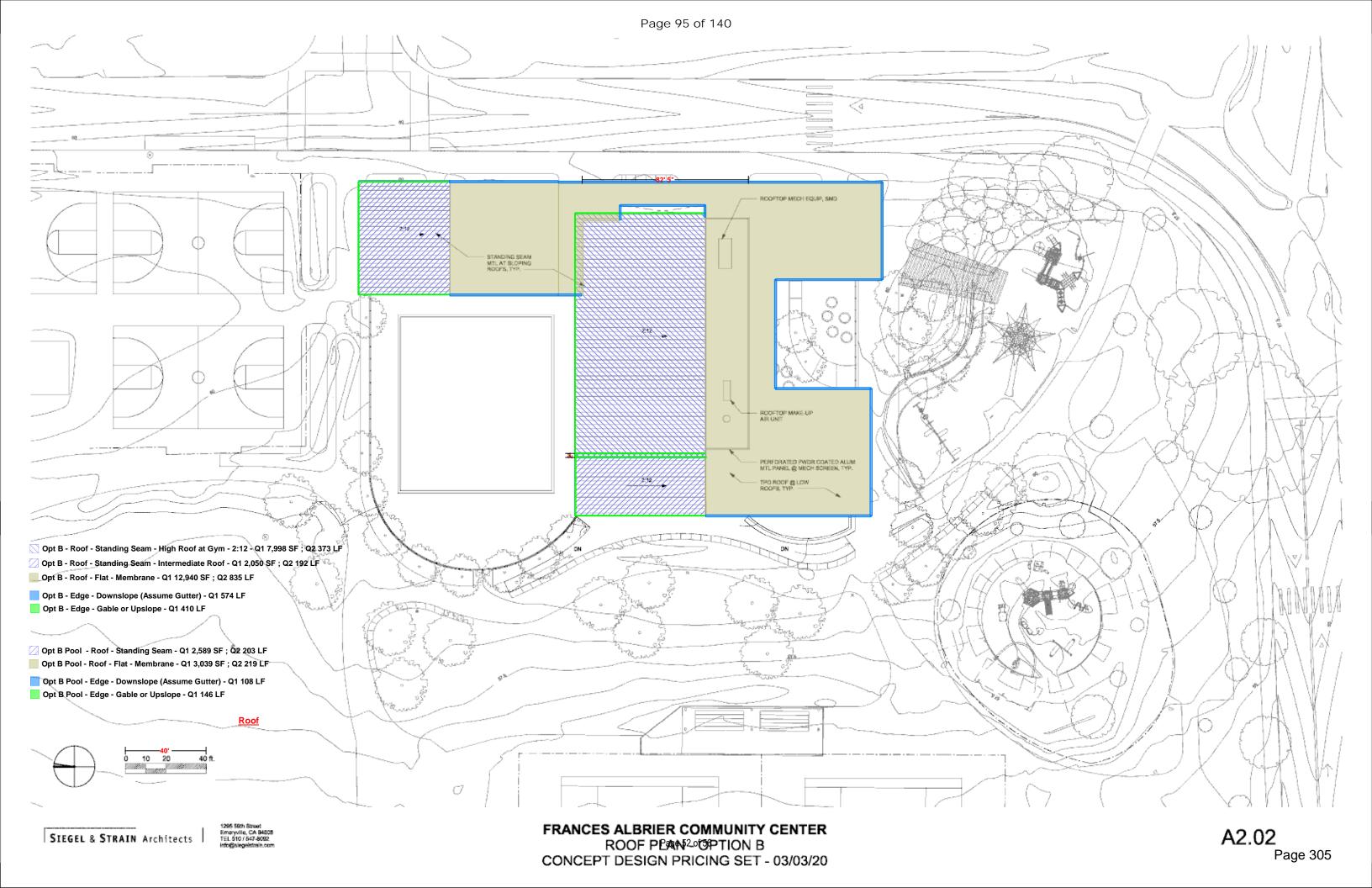
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FRANCES ALBRIER COMMUNITY CENTER ELEVATIONS of SPTION B CONCEPT DESIGN PRICING SET - 03/03/20 <u>Facade</u>

A3.01 Page 304



ROOF FRAMING PLAN

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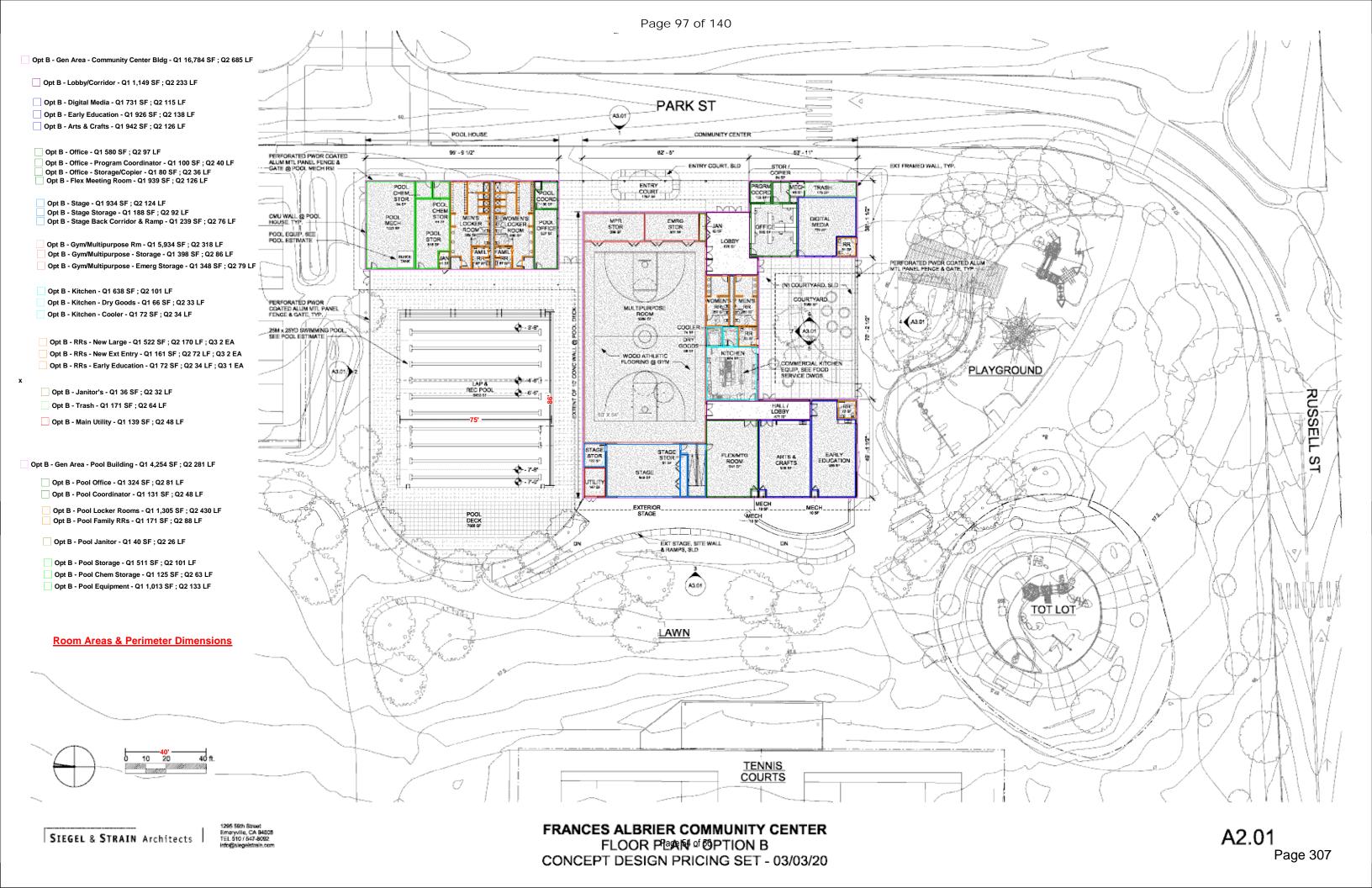
ENGINEERS

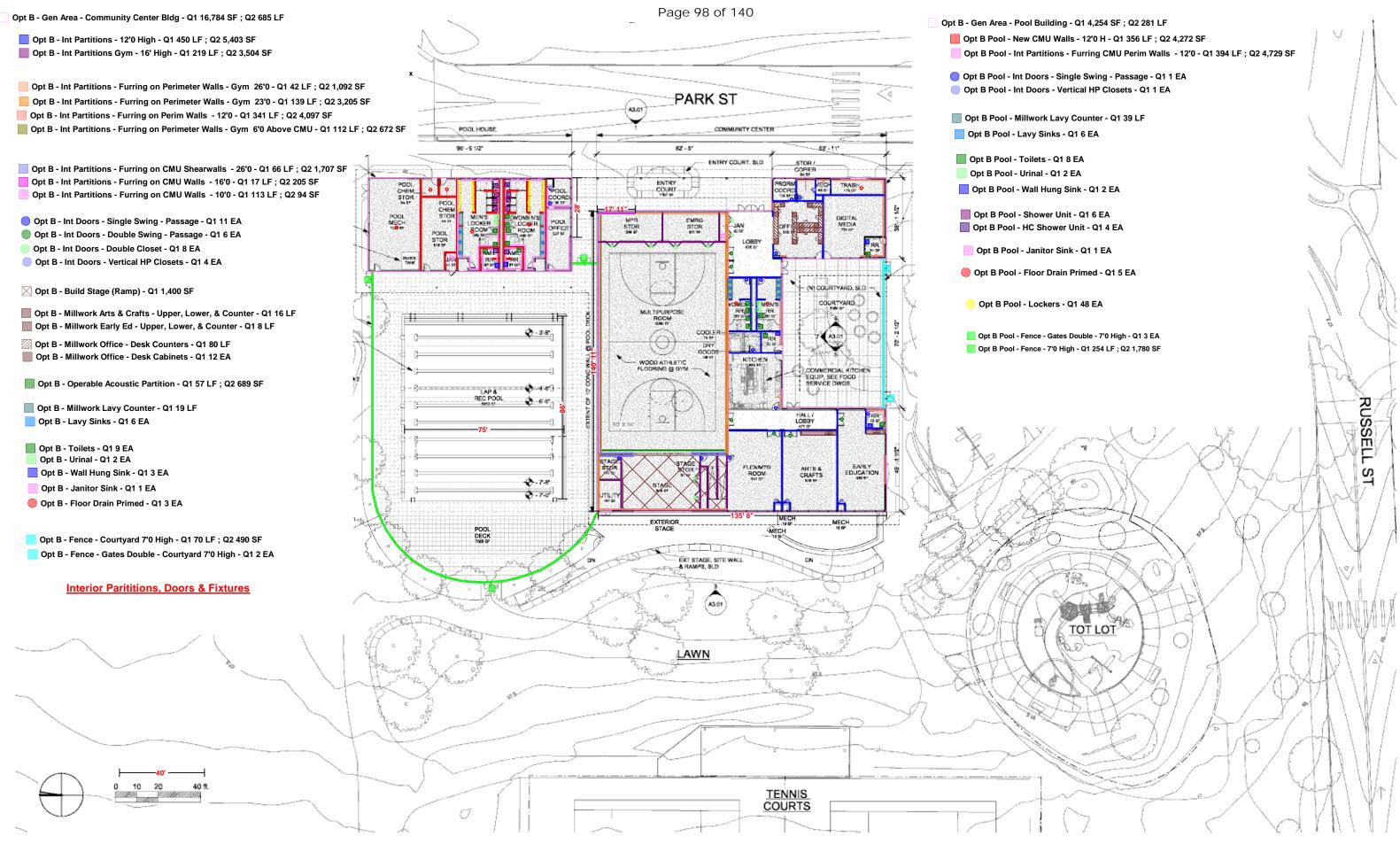
1629 Telegraph Ave Suite 300 Oakland, CA 94612 tel: 510.834.1629

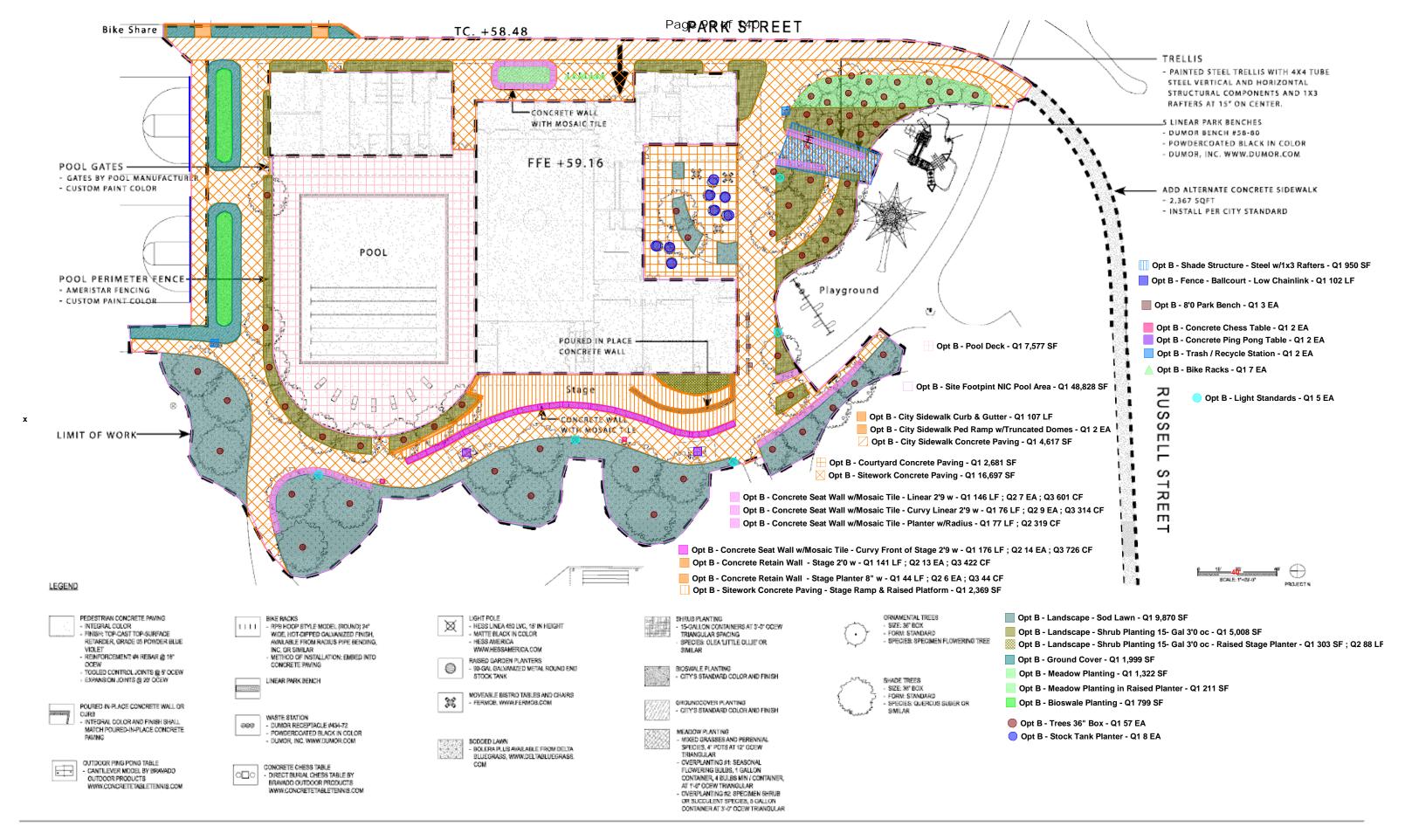
ida-se.com

ALBRIER COMMUNITY CENTER PLAN OPTION B CONCEPTUAL ROOF FRAMING FRANCES

2020-03-03 IDA JOB NUMBER 19048







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CONSENT CALENDAR
December 15, 2020

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Scott Ferris, Director, Parks Recreation and Waterfront

Liam Garland, Director, Public Works

Subject: Recommendations for Implementing Phase 2 of the Measure T1

Infrastructure Bond Program

RECOMMENDATION

Adopt a Resolution to implement the City Manager, Parks and Waterfront Commission, and Public Works Commission Final List of Projects for Phase 2 of the Measure T1 infrastructure bond program (Attachment 1).

SUMMARY

Robust and thoughtful collaboration between staff, the Public Works and Parks and Waterfront Commissions, and Berkeley residents over many months have resulted in the joint recommendation for Measure T1 Phase 2 projects in Attachment 1. These recommendations encompass more than 30 important projects to enhance our right of way, improve the safety and resilience of our facilities, delight people in our parks, and address equity head on. They are the result of hundreds of diligent hours of contemplation over more than 50 public meetings with diverse groups of people, and represent the best thinking of our community and staff. They build on our lessons learned from implementation of T1 Phase 1 projects, the majority of which are completed or nearing completion. If approved, Phase 2 T1 projects will total \$53.25 million. Staff will come back to Council with 2 separate items requesting the authorization to sell bonds over 5 years.

FISCAL IMPACTS OF RECOMMENDATION

It is projected that the proceeds of the \$100M infrastructure bond will yield an additional \$3.7M of interest income, resulting in \$103.7M of funding available for T1 projects. Phase 1 Bond expenditures will total approximately \$42.7M, leaving \$61M for future expenditures (see below tables).

Bond Funding				
	Phase 1	Remaining	Total	
Bonds sold	\$35M	\$65M	\$100M	
Interest	\$1.7M	\$2M^	\$3.7M^	
Total	\$36.7M	\$67M	\$103.7M	

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Bond Expenditures				
	Phase 1	Remaining	Total	
Projects	\$37.75M	\$53.25M	\$91M	
Staff/FESS	\$4.6M	\$7.1M*	\$11.6M	
Art	\$0.35M	\$0.65M	\$1M	
Total	\$42.7M	\$61M	\$103.7M	

*Assumes a 5 year duration of Phase 2

The \$42.7M for Phase 1 includes \$37.75M for direct project costs, \$4.6M for staff and furniture, equipment, supplies and services (FESS), and \$350,000 for Civic Art. The amount of bonds sold and interest for Phase 1 was \$36.7M. The additional \$6M needed to complete Phase 1 projects will be included in the Phase 2 bond sale.¹

If Phase 2 is executed in the 5-year time frame as proposed, \$53.25M will be used for direct project costs, \$7.1M for staff and FESS costs, and \$650,000 for Civic Art.

In Phase 1, it was anticipated that staff and FESS costs would be between 13 and 15 percent of total costs, but actual costs are projected to come in significantly lower, at 10.8 percent. It is anticipated that staff and overhead costs in Phase 2 will in come below 12 percent.

Phase 1 spending is being leveraged by an additional \$20.9M in grants and other funding sources. Multiple proposed Phase 2 projects are expected to similarly leverage other funding sources, as staff has already begun applying for grants associated with these projects.

This recommendation for Phase 2 projects proposes two bond sales within the next 2 years to sell the remaining \$65M in bonds: a \$29.138M bond sale in March or April of 2021 and a \$35.861M bond sale in November of 2022 (see Attachment 4).

CURRENT SITUATIONS AND EFFECTS

Summary

Staff are in the final stages of completing 45 Measure T1, Phase 1 (July 2017 – June 2021) projects. Twenty of these projects are currently under construction. Five full-time equivalent staff associated with T1 are divided between an Associate Management Analyst and twelve Project Managers in the Public Works (PW) and Parks, Recreation and Waterfront (PRW) Departments.² This staff, T1 projects, and bond measure finance and logistics issues are closely managed by a team of PRW and PW management staff,

¹ This \$6M in Phase 1 costs includes \$5.3M of previously identified funding and another \$700,000 for unforeseen construction costs, Covid-19 issues and delayed construction costs at the Adult Mental Health Services Center, North Berkeley Senior Center, and the Marina Streets project.

² A portion of the Project Managers' wages are funded through their involvement in T1 and a portion by the department budgets.

CONSENT CALENDAR December 15, 2020

with public review and oversight by both the Parks and Waterfront and Public Works Commissions ("Primary Commissions").

This team did a tremendous amount of work during Phase 1. They developed a T1 Policies and Procedures Operations Manual, a financial expenditure audit of the first 2 years, 20 reports to City Council and quarterly updates and facilitated over 90 community and focus groups meetings.³

On Friday, October 16, 2020, staff surpassed the 85% expenditure mark of the \$35M Phase 1 bonds sold in November of 2017. Meeting this deadline ensured that the interest (\$1.7M) obtained from Phase 1 bond sales is kept by the City, untouched by Federal or State taxes.

Planning for Phase 2 began in July of 2019, with staff and the two Primary Commissions developing a process for determining Phase 2 projects. In January 2020, the public process for Phase 2 began, with staff providing the Primary Commissions with an initial list of unfunded infrastructure projects.

When the Covid-19 Shelter-In-Place order began, Commission meetings and the Phase 2 public process were suspended. In June of 2020, the City Manager gave the Primary Commissions permission to meet and implement the T1 Phase 2 process. From July through October 2020, staff and the Primary Commissions led more than 50 public meetings (commission and community) through the Phase 2 public process, adjusting for the withdrawal of \$5.3M from T1 expenditures, and reviewing potential priority projects.

In November 2020, after the conclusion of the public process, the Primary Commissions each met three times (jointly on 11/4 and 11/19) to discuss potential Phase 2 projects. Taking in all the community feedback, at the November 4 meeting, staff presented a list of \$53.25M worth of projects organized in three general categories: Public Works Projects, Parks & Waterfront Projects, and Non-Departmental Citywide Projects with \$17-18M proposed in each category. The Primary Commissions each met with Staff to refine criteria, develop a prioritization process, and identify their respective priority projects.

On November 19, 2020 the two commissions came to a joint consensus on the final T1 Phase 2 proposed project list being recommended to Council for use of the remaining \$53.25M.

Phase 2 Public Process

Staff and the Primary Commissions completed a robust Phase 2 public process that included 3 concurrent commission meetings, 13 regular commission meetings, 3 concurrent commission sub-committee meetings, 24 focus group meetings, 6 participating commission meetings and 5 large area meetings. The goal of this process

³ All reports and quarterly updates are available at the Measure T1 website: www.cityofberkeley.info/MeasureT1Updates.aspx

was to encourage significant citywide public participation in the T1 Phase 2 project selection process by reaching out to a large cross section of community groups, thoroughly advertising large area meetings and providing various methods for community members to provide feedback. The feedback from the focus groups and large area meetings along with a summary of the over 400 emails can be found here. Below is a brief summary of the public process.

July 2019 - October 2019

T1 staff worked with the T1 joint subcommittees from the Primary Commissions (7/8, 8/12, 9/16) to identify and vet an extensive public process for determining potential Phase 2 projects. This process was approved by both primary commissions in October (10/3 and 10/9) 2019.

November 2019 – January 2020

Eleven (11) participating commissions were updated on the status of Phase 1 projects and the Phase 2 public process.

January 29, 2020

At this concurrent primary commission Meeting, the T1 Phase 2 public process was started. Primary commissions were provided with a <u>list of unfunded projects</u> throughout the City.

February 2020 – September 2020

Staff and representatives from the Primary Commissions attended <u>24 neighborhood</u> meetings⁶ with groups recommended by City Councilmembers.

February 2020- November 2020

Staff received <u>over 400 public comments and suggestions</u>⁷ for T1 phase 2 projects via email at T1@cityofberkeley.info.

October 2020

Five large geographic based meetings (10/1-Districts 7-8, 10/8-Districts 5-6, 10/15-Districts 2-3, 10/22-Districts 1-4, 10/29 Waterfront/Shoreline/Aquatic Park), delineated largely by council districts, were held to obtain feedback regarding projects for Phase 2. These meetings gave residents the opportunity to <u>suggest both neighborhood and Citywide projects</u> and averaged over 80 attendees per meeting.

⁴ See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__-General/T1%20P2%20-%20Email%20Summary%20-%202020-11-17%20SF.pdf

⁵ See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Commissions/2020-%2001-29%20-%20Joint%20PRW%20and%20PWC%20-%20Minutes%20-%20Draft.pdf

⁶ See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__- General/T1%20P2%20-%20Focus%20Group%20Notes%20-%20Feb%20-%20Nov%202020%20-%20SF.pdf

⁷ See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__-General/T1%20P2%20-%20Email%20Summary%20-%202020-11-17%20SF.pdf

⁸ See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__- General/T1%20P2%20-%20Five%20Large%20Mtg%20Notes%20Combined%20-%202020-11-04.pdf

September - November 2020

Staff presented to 6 of 11 Participating Commissions⁹ that have been meeting during the Shelter-In-Place order: Children, Youth and Recreation, Civic Arts, Disaster and Fire Safety, Housing Advisory, Landmarks Preservation and Transportation Commissions. This update reviewed Phase 1 projects and gathered feedback¹⁰ on project ideas for Phase 2.

November 2020

Primary Commissions met concurrently on November 4th and 19th and met separately on November 11th and 12th to review feedback received from the public and Participating Commissions to develop a list of recommended projects for the Phase 2.

Primary Commission Recommendations

After participating in the community process, discussing the criteria and the potential list of projects at great length during 2020, and collaborating via concurrent meetings and subcommittees, the Public Works Commission and the Parks and Waterfront Commission submitted separate reports, (Attachments 2 and 3, respectively) recommending the same list of Phase 2 projects to be implemented over a 5-year process that includes 2 bond sales (Attachment 4).

On November 19, 2020, the Public Works Commissions approved a motion to send a list of recommended Phase 2 projects to Council and to endorse the list of recommended projects from the Parks and Waterfront Commission (Attachment 3): (M/S/C: Krpata/Schueler/U): Brennan; Constantine; Erbe; Freiberg; Hitchens; Humbert; Krpata; Nesbitt; Schueler; Noes: None; Abstain: None; Absent: None.

On November 19, 2020, the Parks and Waterfront Commission approved a motion to send a list of recommended Phase 2 projects to Council and to endorse the list of recommended projects from the Public Works Commission (Attachment 2): (M/S/C: Kamen/Kawczynska/U): Cox; Diehm; Kamen; Kawczynska; Landoni; McGrath; Skjerping; Srioudom; Wozniak; Noes: None; Abstain: None; Absent: None.

Staff fully support the final joint Primary Commission recommendations for T1 Phase 2 projects. These recommendations include work on upgrading streets and transportation infrastructure, renovating City facilities, and improving four large community facilities in South Berkeley:

⁹ The 11 Participating Commissions include: Children, Youth and Recreation Commission, Civic Arts Commission, Community Environmental Advisory Commission, Commission on Aging, Commission on

Disability, Disaster and Fire Safety Commission, Energy Commission, Housing Advisory Commission, Landmarks Preservation Commission, Transportation Commission and Zero Waste Commission.

10 See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__- General/T1%20P2%20-%20Focus%20Group%20Notes%20-%20Feb%20-%20Nov%202020%20-%20SF.pdf

- African American Holistic Resource Center (currently a temporary Berkeley Mental Health clinic)
- Martin Luther King Junior Youth Services Center
- South Berkeley Senior Center
- Willard Clubhouse public restrooms

And the renovation and development of up to ten public restrooms:

- Right-of-Way (ROW) Restrooms (2-3 new)
- Tom Bates Sports Complex (new)
- Ohlone Park (new)
- Cesar Chavez Park (new)
- Willard Park (replacement)
- Harrison Park (renovation)
- · K Dock (renovation) and
- Telegraph Channing Garage Mall (renovation)

Covid-19 Implications on T1 Finances, Phase 1 Projects, Phase 2 Public Process

The direct impacts of Covid-19 restrictions on current construction projects have mostly affected the three large building projects: Mental Health Services Center (MHSC), North Berkeley Senior Center and Live Oak Community Center. Contractors, inspectors and project managers have had to make adjustments to comply with new restrictions and, in some cases, have resulted in time delays. Staff have worked closely with the City Attorney's office on change orders related to these delays in order to ensure costs are controlled.

The financial impacts have been much more significant. In March of 2019, City Council approved an additional \$5.3M in General Fund for Phase 1 projects because of the addition of the MHSC in January 2018, energy upgrades on the three large facilities and construction cost increases. Given the Covid-19 emergency and demands for those General Fund dollars to meet immediate operational needs in the FY21 budget, staff are implementing alternative strategies to fund Phase 1 projects without the \$5.3M of additional General Fund allocation. These strategies include the following:

Delaying two Phase 1 projects. The last large T1 project to go to construction will be the Marina Streets project, which includes the reconstruction of University Avenue and Spinnaker Way, and repaving of Marina Blvd. The \$8.2 million project is funded by T1 (\$4.2 million), SB1 streets funding (\$1 million) and the Doubletree Hotel (\$3 million). Bidding was delayed from last summer to this December. Additionally, the Grove Park Ballfield improvements were also delayed. Bids for the Grove Park project came back significantly higher (\$350,000) than the engineer's estimate of \$650,000 in early May. Staff will be rebidding this project at the end of FY21. Delaying this project provides time to re-scope and develop a project that can be effectively completed.

Accelerating Phase 2 public process and bond sale. Accelerating the anticipated Phase 2 bond sale from November 2021 to April 2021 allows for both the delayed Phase 1 projects to start construction in next year's construction period. This strategy required shortening the Phase 2 public process from 15 to 12 months and did not affect the number of public process meetings as staff and Primary Commissions were able to gather feedback from over 50 public meetings on potential Phase 2 projects.

Borrowing approximately \$1.4M funding from PRW, PW and HHCS special funds. Despite delaying the two identified construction projects to be reimbursed by the Phase 2 bond sale and accelerating the Phase 2 public process and bond sale, without the \$5.3M in General Fund, T1 funds will be exhausted in January of 2021. Therefore, T1 needs to borrow \$1.4M from special funds in order to sustain an appropriate cash flow until Phase 2 bonds are sold in March or April of 2021. Council approved these actions in September 2020¹¹ and December 2020¹².

<u>Using \$6.0M from T1 Phase 2 bond funding to support Phase 1 projects</u>. When T1 Phase 2 bond funds are sold in March or April 2021, \$6.0M will be needed to complete Phase 1 projects. This \$6.0M includes \$5.3M of previously identified funding and another \$700,000 to support additional costs associated with the Adult Mental Health Services Center, North Berkeley Senior Center and the Marina Streets projects. These costs are due to unforeseen construction costs, Covid-19 issues and delayed construction costs.

Phasing of Remaining Funding

On December 22, 2016, the City Manager provided a memo to City Council that identified staff's initial recommendations for allocating Phase I of Measure T1 funding. It recommended that T1 funding be allocated in 3 distinct phases (see below) and that each phase expend between \$30-35M of funding. On June 27, 2017, City Council authorized the spending of \$35M for Phase 1. The estimated cost for completion of T1 Phase 1 projects is actually \$42.7M.

- Phase 1 July 2017- June 2021 (bond sale in Nov 2017)
- Phase 2 July 2021- June 2025
- Phase 3 July 2025- June 2029

During the January 29, 2020 concurrent Primary Commissions meeting, commissioners recommended that staff attempt to consolidate the remaining phases so that residents would see more significant construction results sooner (4 or 5 years as opposed to 8 years), save funding on staff and FESS costs and avoid repeating a very

¹¹ See https://www.cityofberkeley.info/Clerk/City_Council/2020/09_Sep/Documents/2020-09-15 Item 08 Measure T1 Loan.aspx

¹² See https://www.cityofberkeley.info/uploadedFiles/Parks Rec Waterfront/Level_3_- General/T1%20Loan%20-%20Mental%20Health%20Bldg%20-%20Consent%20-%202020-12-01%20(004).pdf

¹³ See https://www.cityofberkeley.info/uploadedFiles/Clerk/Level_3_- General/Measure%20TI%20GO%20Bonds%20Recommendations%20122216.pdf

comprehensive public process for a smaller amount of funding. Staff evaluated this proposal and concluded that while it was not feasible to spend the remaining funding and meet the 85% deadline with existing staff in one phase, it was possible to spend the remaining funding with two overlapping bond sales in which much of the planning and design work was done in an initial phase (2A) and the construction of the larger projects completed in a later phase (2B) if the projects were sequenced correctly.

In the November 2020 concurrent meetings staff and the Primary Commissions agreed to recommend the following schedule given the list of proposed projects:

- Phase 1 July 2017- June 2021 (bond sale in Nov 2017)
- Phase 2A January 2021- June 2025 (bond sale in March or April 2021)
- Phase 2B July 2022 June 2026 (bond sale in Nov 2022)

The attached detailed list displays how the recommendations for phasing and funding of 2A and 2B (Attachment 4). This schedule would consolidate the last 8 years into 5 years and will allow staff time to design and plan the larger projects in phase 2A and construct in phase 2B, thus being able to keep a balanced work load and meet the 85% federal expenditure requirement. Staff will need to get City Council approval for both bond issuances separately.

BACKGROUND

In November 2016, Berkeley voters approved Measure T1¹⁴ – a \$100 million dollar general obligation bond to repair, renovate, replace or reconstruct the City's aging existing infrastructure, including facilities, streets, sidewalks, storm drains, and parks. Measure T1 passed with 86.5% of the vote.

After the passage of Measure T1, the City Manager proposed a three-phase implementation plan¹⁵ for the Measure T1 program. The \$100 million of bond proceeds is anticipated to be spent within 12 years, with each phase expected to last four years. From December 2016 through June 2017, the City undertook a robust public process to gather input on the proposed projects for Phase 1. Three citywide public meetings were held in March and April 2017. In addition, the Primary Commissions invited and received input from 11 other City Commissions.

The Primary Commissions submitted a joint report to Council in June 2017¹⁶ detailing their recommendations. The City Manager incorporated this input and submitted a <u>final recommended list of projects</u>. To Council adopted this list and proposed plan for implementing Phase 1 of the T1 bond program on June 27, 2017.

¹⁴ See https://www.cityofberkeley.info/MeasureT1/

¹⁵ See https://www.cityofberkeley.info/uploadedFiles/Parks Rec Waterfront/Level 3 - General/Measure%20TI%20GO%20Bonds%20Recommendations.pdf

¹⁶ See https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3_-General/Measure%20T1%20-%20Joint%20Commission%20Report%20-%20June%202017%20w%20attachments.pdf

¹⁷ See https://www.cityofberkeley.info/Clerk/City_Council/2017/06_June/Documents/2017-06-%2027 Item 49 Implementing Phase 1.aspx

On January 23, 2018, Council adopted Resolution 68,290-N.S., authorizing the allocation of \$2 million from Measure T1 Phase 1 for major renovations of the City of Berkeley's Adult Mental Health Clinic located at 2640 Martin Luther King Jr. Way.

On December 10, 2019, staff provided an <u>update to Council on the Phase 2 public process</u>. 18

On March 26, 2019, the Council approved Resolution 66,802-N.S. authorizing \$5.3 million from the General Fund to complete Phase 1 projects, and to be repaid to the General Fund after Phase 2 bond funds were received. This additional funding was provided to cover the cost of approved projects exceeding bond proceeds, due to an increase in energy upgrades included in the facility projects, and soaring escalation in construction costs.

On May 4, 2020, staff issued the <u>FY21 Budget Update¹⁹</u> at the Council Budget and Finance Policy Committee.²⁰ This report projected a \$25.5 million budget shortfall in FY21, due to impacts from the Covid-19 emergency.

On May 13, 2020, staff issued an <u>update to Council on Measure T1 funding</u>.²¹ This report described the strategies being pursued to complete Phase 1 projects in the absence of the \$5.3M from General Fund, given the Covid-related citywide budget shortfall: delay selected projects, use special funds to complete projects and reimburse with bonds sold, and accelerate the Phase 2 public process and bond sale.

On September 15, 2020, Council approved a loan of \$600,000 from the Parks Tax Fund and \$600,000 from the Measure BB²² – Local Streets and Roads fund to complete Phase 1 projects. The loan will be repaid following the Phase 2 bond sale.

On October 13, 2020, Council approved <u>additions to the Phase 1 project list</u>, ²³ with no additional funding. This action was taken to ensure that the City met the 85% federal expenditure requirement.

¹⁸ See https://www.cityofberkeley.info/uploadedFiles/Clerk/Level_3_- General/Measure%20T1%20Update%20on%20Phase%202 121019.pdf

¹⁹ See https://www.cityofberkeley.info/uploadedFiles/Clerk/2020-05-04%20Agenda%20Packet%20-%20Budget.pdf

²⁰ See https://www.cityofberkeley.info/uploadedFiles/Clerk/2020-05-04%20Agenda%20Packet%20-%20Budget.pdf.

²¹ See https://www.cityofberkeley.info/uploadedFiles/Clerk/Level_3_-
General/Measure%20T1%20Project%20Funding%20Update%20051320.pdf

²² See https://www.cityofberkeley.info/Clerk/City_Council/2020/09_Sep/Documents/2020-09-15 Item 08 Measure T1 Loan.aspx

²³ See https://www.cityofberkeley.info/Clerk/City_Council/2020/10_Oct/Documents/2020-10-13 Item 06 Measure T1 Phase 1 Project List.aspx

On November 12, 2020, staff provided an <u>update on Measure T1</u>²⁴ to the Council Budget and Finance Policy Committee. The report and presentation reviewed Covid-related impacts, including the need for additional \$700,000 from Phase 2 bond sale to cover unforeseen construction costs and COVID-related delays.

On December 1, 2020, Council approved a <u>loan of \$198,400 from the Mental Health</u> <u>Realignment Fund²⁵</u> to Measure T1 to complete the Mental Health Adult Clinic renovation project. The loan will be repaid following the Phase 2 bond sale.

ENVIRONMENTAL SUSTAINABILITY

Measure T1 is an opportunity to advance the City's environmental sustainability goals. For example, facility upgrade projects will be designed and constructed to not only improve safety and address deferred improvements, but also to increase resource efficiency and access to clean energy. Measure T1 also provides an opportunity to accelerate investment into green storm water infrastructure and street improvements that advance the goals of the City's Bike and Pedestrian Plans.

RATIONALE FOR RECOMMENDATION

The City Manager and Primary Commissions Final Proposed List of Projects for Phase 2 is the result of a robust community outreach process that has involved significant work by staff and the Public Works and Parks and Waterfront Commissions and their subcommittees including over 50 public meetings and hundreds of written and verbal communications from the public. The resulting final proposed list of projects for Phase 2 of the Measure T1 bond program represents a list of projects that provides the greatest benefits for the most people in terms of safety, critical infrastructure and community needs, equity, environmental sustainability, disaster preparedness, and leveraging other funds to complete projects.

ALTERNATIVE ACTIONS CONSIDERED

Staff and commissions considered many alternative projects through a robust process and recommend these as meeting the highest priority goals.

CONTACT PERSON

Scott Ferris, Director, Parks, Recreation and Waterfront, 981-6700 Liam Garland, Director, Public Works, 981-6300

Attachments:

- 1. Resolution
 - a. Exhibit A Final T1 Phase 2 Project List
- 2. Public Works Commission Recommendation
- 3. Parks and Waterfront Commission Recommendation
- 4. Funding and Phasing of Phase 2 Projects

²⁴ See https://www.cityofberkeley.info/uploadedFiles/Clerk/2020-11-12%20Budget%20Item%202d%20T1.pdf

²⁵ See https://www.cityofberkeley.info/uploadedFiles/Parks Rec Waterfront/Level 3 - Materfront/Level 3 - https://www.cityofberkeley.info/uploadedFiles/Parks Rec Waterfront/Level 3 - https://www.cityofberkeley.info/uploadedFiles/Parks Rec Waterfront/Level 3 - <a href="Wat

RESOLUTION NO. ##,###-N.S.

ADOPT THE FINAL LIST OF PROJECTS FOR IMPLEMENTATION IN PHASE 2 OF THE MEASURE T1 INFRASTRUCTURE BOND PROGRAM

WHEREAS, on November 8, 2016, Berkeley voters approved ballot Measure T1, the general obligation bond program to fix existing City infrastructure in need of improvement; and

WHEREAS, after the passage of Measure T1, the City Manager proposed a <u>three phase implementation plan</u>

(https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__-General/Measure%20TI%20GO%20Bonds%20Recommendations.pdf) for the Measure T1 program. The \$100 million of bond proceeds is anticipated to be spent within 12 years, with each phase expected to last four years; and

WHEREAS, from December 2016 through June 2017, the City undertook a robust public process to gather input on the proposed projects for Phase 1, which resulted in a joint report to Council in June 2017

(https://www.cityofberkeley.info/uploadedFiles/Parks_Rec_Waterfront/Level_3__-General/Measure%20T1%20-%20Joint%20Commission%20Report%20-%20June%202017%20w%20attachments.pdf) from the two Primary Commissions (Public Works and Parks and Waterfront) detailing their recommendations. The City Manager incorporated this input and submitted a final recommended list of projects (https://www.cityofberkeley.info/Clerk/City_Council/2017/06_June/Documents/2017-06-%2027_Item_49_Implementing_Phase_1.aspx). Council adopted this list and proposed plan for implementing Phase 1 of the T1 bond program on June 27, 2017 (Resolution No. 68,076); and

WHEREAS, as of December 2020, Staff are in the final stages of completing 45 Phase 1 (July 2017 – June 2021) projects; and

WHEREAS, from July 2019 through November 2020, Staff and the Primary Commissions have conducted a comprehensive Phase 2 public process to identify projects for Phase 2; and

WHEREAS, on November 19, 2020, the Public Works Commissions passed a motion to send a list of recommended Phase 2 projects to Council and to endorse the list of recommended projects from the Parks and Waterfront Commission (Attachment 3): (M/S/C: Krpata/Schueler/U): Brennan; Constantine; Erbe; Freiberg; Hitchens; Humbert; Krpata; Nesbitt; Schueler; Noes: None; Abstain: None; Absent: None.

WHEREAS, on November 19, 2020, the Parks and Waterfront Commission passed a motion to send a list of recommended Phase 2 projects to Council and to endorse the list of recommended projects from the Public Works Commission (Attachment 2): (M/S/C: Kamen/Kawczynska/U): Cox; Diehm; Kamen; Kawczynska; Landoni; McGrath; Skjerping; Srioudom; Wozniak; Noes: None; Abstain: None; Absent: None; and

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Berkeley that the City Council adopts the Final List of Projects for implementation in Phase 2 of the Measure T1 infrastructure bond program as shown in Exhibit A.

Attachment – Exhibit A

Exhibit A to the Resolution

Measure T1 Phase 2 Final List of Projects (December 15, 2020)

MLK Jr. Youth Services Center
African American Holistic Resource Center Restrooms in the Right-of-Way (ROW) (2-3) Cazadero Dining Hall & ADA Improvements Willard Clubhouse/Restroom Replacement Tom Bates Restroom/ Community Space Restrooms in Parks: Harrison Park Restroom Renovation Ohlone Park - New Restroom Ohlone Park (Milvia) - Ages 2-5, 5-12, Garden Mural, Exercise John Hinkel Park Lower - Ages 2-12, picnic, parking
Restrooms in the Right-of-Way (ROW) (2-3) Cazadero Dining Hall & ADA Improvements Willard Clubhouse/Restroom Replacement Tom Bates Restroom/ Community Space Restrooms in Parks: Harrison Park Restroom Renovation Ohlone Park - New Restroom Ohlone Park (Milvia) - Ages 2-5, 5-12, Garden Mural, Exercise John Hinkel Park Lower - Ages 2-12, picnic, parking
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Harrison Park Restroom Renovation Ohlone Park - New Restroom Ohlone Park (Milvia) - Ages 2-5, 5-12, Garden Mural, Exercise John Hinkel Park Lower - Ages 2-12, picnic, parking
Ohlone Park - New Restroom Ohlone Park (Milvia) - Ages 2-5, 5-12, Garden Mural, Exercise John Hinkel Park Lower - Ages 2-12, picnic, parking
Parks - Play Structures Ohlone Park (Milvia) - Ages 2-5, 5-12, Garden Mural, Exercise John Hinkel Park Lower - Ages 2-12, picnic, parking
John Hinkel Park Lower - Ages 2-12, picnic, parking
John Hinkel Park Lower - Ages 2-12, picnic, parking
Grove Park - Ages 2-5, 5-12
Parks Aquatic Park Tide Tubes Clean Out, Soil Removal
Ohlone Park Lighting
Civic Center Park – Turtle Garden
Pools King Pool Tile and Plaster Replacement
Naterfront Piling Replacements
D and E Dock Replacement
K Dock Restroom Renovation
Cesar Chavez Park - New Restroom (on Spinnaker Way)
Streets T1 Streets Contribution to Annual Street Paving: Street Reconstruction
of Arterials/Collectors and Vision Zero, Bus Network, and Bike/Ped Plan
Improvements
Bollard Conversion to Landscaping
Sidewalks Maintenance & Safety Repairs
Pathways Pathway Repairs/Improvements
Storm Stormwater Infrastructure Repairs/ Replacement
facilities 1947 Center Street Improvements:
Seismic Upgrade Design
HVAC/Electrical, Control Upgrades
<u>Fire Stations</u>
FS2 - HVAC, Electrical, Bedrooms, Security, Solar, Roof
FS6 - Windows, Energy Efficiency
PW Corp Yard:
Facility Assessment
Gate, Paving, Parking, Fuel Island
Wash Station Compliance
Green Room (B) Lockers, Bathroom, Training Room, Floor, Cabinets
Storage Room (H) - Roof Repair
Generator Upgrades
Oxford & Telegraph Channing Garage Restrooms
Emergency Power Supply Solar Batteries



Honorable Mayor and Members of the City Council To:

From: **Public Works Commission**

Matthew Freiberg, Chair, Public Works Commission Submitted by:

Shane Krpata, Vice Chair, Public Works Commission

Recommendations for Phase 2 Projects of the Measure T1 Program Subject:

RECOMMENDATIONS

Adopt a resolution that recommends approval of the T1 Phase 2 Public Works projects and the four non-department projects, as listed in this report by the Public Works Commission (PWC), along with the Parks, Recreation, and Waterfront Projects, which are included in the accompanying T-1 Phase 2 memo by the Parks and Waterfront Commission (PWFC). Table 1 below provides a summary of the public works projects that are recommended to be funded with T1 money as part of Phase 2.

FISCAL IMPACTS

Recommendations for T1 Projects will be funded through the sale of remaining T1 Bonds. The PWC support the staff recommendation for a 2-part (Phase 2a/2b) delivery of remaining bonds. This provides the most fiscally efficient delivery of projects and maximizes the ability for the City to spend bond proceeds following the specific requirements of the bond covenant.

CURRENT SITUATION AND ITS EFFECTS

On September 13, 2016, Council adopted Resolution 67,666-N.S., which established preliminary guidelines for delivering the Measure T1 infrastructure and facilities bond program. Part of this resolution included a requirement for citizen oversight of the use of these funds by the PWC and PWFCs.

In 2019, the City developed the Measure T1 Policies and Procedures Manual. This updated guidance document provides an outline of the project selection and prioritization process, which defines the project selection criteria and the roles of Staff, the commissions, community, and City Council in the project selection and approval process.

The project selection process utilized by the PWC is based on the guidance provided in the Measure T1 Manual.

Table 1: Summary of Recommended Public Works Projects

	Recommended PWC Projects	Site Details
1	T1 Streets Contribution to Annual Street Projects	Complete Streets, Telegraph Shared Streets, Pedestrian Plan, bikeways, transit routes, Vision Zero, and street reconstruction of Arterials & Collectors
2	50/50 Sidewalks Maintenance & Safety Repairs	Accelerate sidewalk improvements citywide
3	Stormwater Infrastructure Repairs/ Replacement	Repair and replacement of failed storm drains at various locations
4	1947 Center Street Facility Improvements	Seismic upgrade design, HVAC/electrical, control upgrades
5	Fire Station 2 Facility Improvements	HVAC, electrical, roof, solar, bedrooms, and security
6	Fire Station 6 Facility Improvements	Windows and energy efficiency
7	Corporation Yard Facility Improvements	Facility assessment, roof, wash station compliance, green room, lockers, bathrooms, training room, floors, and cabinets
8	Bollard Improvements	Conversion of bollards to planter/garden boxes
9	Pathway Repairs/Improvements	Repairs and improvements to pathways, including: handrails, Garber Path, and Arlington median stair crossing
10	Channing Garage Bathroom Renovation	Public restroom renovation and ADA compliance
11	Emergency Power Supply Solar Batteries	Solar battery backup power at City buildings

BACKGROUND

On November 8, 2016, Berkeley voters passed Measure T1 with an 86.5% approval. This measure authorizes the City to sell \$100 million of General Obligation Bonds (GO Bonds) to repair, renovate, replace, or reconstruct the City's aging infrastructure and facilities. These include sidewalks, storm drains, parks, streets, senior and recreation centers, and other facilities. This is an important program that will help keep Berkeley a safe, efficient, and enjoyable place to live and work.

Aging infrastructure is a major issue across the United States. The American Society of Civil Engineers (ASCE) conducts a survey every 4 years and recently issued their Infrastructure Report Card for 2017. They gave America's infrastructure an overall grade of D+. They stressed the need to fill the infrastructure funding gap and that infrastructure condition affects our nation's economy, impacting business productivity, employment, personal income, and international competitiveness.

Berkeley is in a similar situation. Past studies by the City have reported on over \$500 million in unfunded facility and infrastructure needs. More than 75 years ago, the Works Projects



Administration funded more than 30 projects in Berkeley, including roads, improvements to Berkeley High and other schools, the Marina, Rose Garden, and Codornices, Frances Albrier, Indian Rock, James Kenney, John Hinkel, and Live Oak Parks. These, and many other facilities, need repair to extend their useful life.

Berkeley has recognized the needs of our infrastructure and has made progress with our streets, parks, and sanitary sewers. However, the rehabilitation needs are so large that a more focused effort and additional funding is needed. Measure T1 has already provided a major boost to fixings some of the deficiencies and the continuation of Phase 2 will continue the progress of enabling Berkeley to develop modern and effective infrastructure.

As part of the planning process for Phase 2, the PWC has coordinated with City Staff and provided oversight of the public outreach process. An initial list of potential infrastructure improvement projects was provided by City Staff. The PWC along with PWFC attended multiple public outreach meetings in a compressed public input process. Public comments from the outreach meetings as well as emails submitted to the T1 email address were synthesized, some comments led to additional projects that were included for consideration along with the Staff generated project list. Public comment was also considered by the PWC to inform the recommendations to Council for Phase 2 public works projects to be funded by remaining T1 Infrastructure Bond funds. These recommendations were approved by the Public Works Commission on Thursday, November 12th, 2020.

PUBLIC OUTREACH PROCESS

The Phase 2 public outreach process was initiated in January 2020. At this time, Staff provided an initial list of priority facility and infrastructure projects that were presented in the initial in-person public meetings with specific community groups. At least one member of the PWC participated in each of the public outreach meetings. In March 2020, the planned public engagement process was curtailed by the COVID-19 pandemic and statewide shelter-in-place mandate. The public outreach process was placed on hold until July 2020, when Staff reorganized their approach and redeveloped a plan of action to facilitate virtual public engagement and input meetings via Zoom. The public outreach process then resumed under a substantially condensed timeline while significant restrictions prohibiting commission subcommittees to meet were in effect. PWC and PWFC each met as commissions 8 times, twice jointly, and assigned individual commissioners to attend each of the 19 small area meetings and 5 large area meetings.

Through this process, Staff compiled over 138 pages of notes from the public meetings and emails while making sure to document and collect all project suggestions from members of the public, which are attached to this memo. Following each public meeting and throughout the public input process, Staff incorporated community feedback and revised their recommended project list (including project scope and cost estimates). The PWC read and reviewed all notes and emails to identify any additional Public Works specific projects for consideration in the prioritization and development of said projects. Additionally, all public comments made at regular commission meetings were also taken into consideration in the development of the PWC T1 Phase 2 project recommendations.

PROJECT LIST DEVELOPMENT AND PRIORITIZATION PROCESS

Projects considered for inclusion in the T1 program were organized in three general categories: Public Works Projects, Parks & Waterfront Projects, and Non-Departmental Citywide Projects with the Phase 2 budget allocated with \$17 million in each category. PWC and PWFC each met with Staff to refine their respective project lists, develop a prioritization process, and identify their respective priority projects. The two commissions came to a joint consensus on the final proposed project list being recommended to Council for use of the remaining \$53 million.

The project selection and priority process was conducted in three phases, a fatal flaws evaluation, a criteria scoring matrix, and project list finalization. First projects were evaluated on potential fatal flaws, by using four screening questions that evaluated the project's conformance with the specific borrowing requirements of the bond:

- Can the project be completed with the available funds remaining in T1?
- If the project is a study, can the planned project be constructed with T1 funds?
- Is the project repairing or improving an existing asset or infrastructure?
- Is the proposed project on City-owned or leased property?

Any project that resulted in a "no" response was eliminated from consideration.

Next, the projects were evaluated using an excel based decision support tool that uses a matrix approach to score Public Works projects on each of the project criteria. Criteria were based initially on the project selection process and published in the T1 Program Manual. Using these criteria as a foundation, the PWC expanded on the criteria based on public feedback from the public outreach process. Each project was scored from one to five in the eight criteria. Table 2 provides a summary of the criteria used in the prioritization matrix. Criteria scores were then totaled to produce a "Performance Score." A second evaluation was conducted with the performance score divided by the project cost to produce a "Value Score" (Figure 1). The projects were then sorted on their project score and value score rankings to identify the preliminary priority list of projects. The PWC sees the decision support tool matrix that was used by the commission as something that will provide additional value to the continued delivery of T1, as a means of continuing the same process to continually re-prioritize projects as cost estimates evolve.

It is worth noting the matrix did not outright determine the recommended list of projects, but instead assisted the decision-making process by providing enabling our team to evaluate all projects consistently without any personal prejudice or preference for specific projects.

PROJECT SELECTION PROCESS

Our guiding principles for final project selection considered projects capable of moving Berkeley toward more sustainable green infrastructure capable of addressing climate crisis concerns and providing improvements to the quality of life for the City of Berkeley's guests, residents, and employees, which is consistent with Vision 2050 recommendations adopted by Council in September 2020. Consideration for specific projects drivers include: Regulatory Compliance, ADA Compliance, Asset System Maintenance Costs, and Public Support.

The final project list was formulated with consideration of the overall budget allocated to the Public Works projects. It is worth noting that given the accelerated review process, and the preliminary nature of the project scope development, a detailed evaluation of project cost estimates has not been possible. It is understood that these project costs are likely to change as the project scopes mature and bottom-up estimates are developed. Table 3 provides a summary of the final project list with the current project estimate and the scores used in the project prioritization matrix.

Table 2: Project Prioritization Criteria

Abrv.	Criteria	Description
GB	Greatest Benefit	Project provides an impact to the greatest number of Berkeley residents.
E	Equity	Consideration of geographic and demographic distribution of projects. This criterion is applied after looking at the draft list of recommended projects. (PWC enhancement: Additional consideration of racial equity, gender equity, and geographic equity among users of different age groups, income, and ability levels.)
HSR	Health, safety, and resilience	Project addresses public health and safety, such as improvements for disaster preparedness or emergency response.
ESD	Environmental Sustainability/ Durability	Project improves water quality, has elements of green infrastructure, or also includes energy, climate, or other zero waste goals. Project uses durable elements or technologies that may lower long term cost. (PWC enhancement: Additional consideration given to projects that support climate change resilience and asset life cycle.)
PR	Project readiness	Considering projects that are underway or already shovel-ready.
LOF	Leveraging other funds	Project utilizes other funding sources. (PWC enhancement: Additional consideration of whether additional funding may be available.)
F	Feasibility	Consideration of the following: The ability to complete a project/sequencing: project does not have any known barriers, such as site conditions, funding, or permitting issues, that will substantially delay or prevent completion of the project. Renovating infrastructure before the end of the asset's useful life. The goal is to avoid larger future expenses or closure of amenity.
PS	Public Support	(PWC enhancement: Review and consideration of input from public meetings and email comments received)
PSR	Project Scope/Rank	(PWC enhancement: Criteria weight multiplied by criteria score of all criteria.)
VSR	Value Score/Rank	(PWC enhancement: Performance Score/Rank divided by project cost.)

$$Performance\ Score = \sum_{All\ Criteria} (Criteria\ Weight\ X\ Criteria\ Score)$$

$$Value\ Score = \frac{Performance\ Score}{Project\ Cost}$$

Figure 1. Performance Score/Rank (PSR) and Value Score/Rank (VSR) Formulas

Table 3: Public Works Commission Project Prioritization Decision Support Tool

ı avl	e 3: Public Works Commission Pro Public Works Projects	Estimate			tion an		cisior	n Supr	ort	Tool	Rating	as _			
1	T1 Streets Contribution to	\$6,750,000			Complet										
•	Annual Street Projects	ψ0,700,000	Plan,	bike	ways, tra Collecto	nsit ro									
			GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			5	5	5	5	3	5	3	5	1	31			
2	50/50 Sidewalks Maintenance & Safety	\$1,850,000			access			105	-	50	DOD	1,00			
	Repairs		GB 4	E 4	HSR 5	SD 5	PR 5	LOF 5	F 3	PS 5	PSR 6	VSR 20			
3	Stormwater Infrastructure	\$600,000	-			_	-				-				
J	Repairs/ Replacement	ψ000,000	Water quality, Repair and replacement of failed storm drains at various locations												
			GB 4	E 3	HSR 4	SD 5	PR	LOF 3	F 3	PS 3	PSR 4	VSR 7			
1	1047 Center Street Facility	¢1 900 000	<u> </u>	-	reparedn	_	3	-	_	-					
4	1947 Center Street Facility Improvements	\$1,800,000	Disas	rei h	repareun	1 0 00, 6	ieigy 6	ziiici c iil	bullu	iiig sy	otenio, a	ıı quality			
	improvemente		GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			3	3	4	5	4	3	3	4	18	23			
5	Fire Station 2 Facility	\$1,450,000	HVAC	, ele	ctrical, b	edroor	ns, sec	curity, so	olar						
	Improvements		GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			3	3	5	4	3	4	3	3	22	19			
6	Fire Station 6 Facility Improvements	\$1,300,000	Windo	ws,	Leak Re	pair, Li	ghts, N	/lold							
	mprovemento		GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			3	3	5	4	3	4	3	3	22	17			
7	Corporation Yard Facility Improvements	\$2,850,000			ting, was s, Trainin										
			GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			3	3	4	3	4	4	4	2	34	28			
8	Bollard Improvements	\$150,000			y building eet safety		ersion	of bolla	rds t	o plant	er/garde	n			
			GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			4	3	5	3	3	3	3	5	22	10			
9	Pathway Repairs/Improvements	\$200,000		ays	n access, (e.g. han										
			GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
			4	3	5	4	3	3	3	5	12	3			
10	Channing Garage Bathroom Renovation	\$300,000			troom rer				·						
			GB	Ε	HSR	SD	PR	LOF	F	PS	PSR	VSR			
4.4	F	Φ Γ ΩΩ ΩΩΩ	4 Color	5 hotte	5	4	4	4	4	4	8	4			
11	Emergency Power Supply Solar Batteries	\$500,000	Solar	batte	ery backu HSR	sp pow	er at C	lty build	ings F	PS	PSR	VSR			
			GB 4	3	нsк 5	3D 4	3	LOF 4	4	P3 4	12	<i>VSR</i> 6			
	total	\$17,750,000	7	J	J	- 4	J	- 7	4	7	12	U			
	เปเล่า	φιτ,του,υυυ													

RECOMMENDED PROJECT DESCRIPTIONS

1. T1 STREET CONTRIBUTIONS TO ANNUAL PAVING PLAN:

T1 Bond language is focused on improving mobility, access, and safety for streets in need of repair. The Public Works Commission recommends using the Berkeley Strategic Transportation (BeST) Plan criteria for all street projects being considered for T1 Bond funding. The BeST plan project scoring criteria represents a prioritization strategy that takes all relevant City policies into account.

In following T1's stated goals of improving mobility, access, and safety for streets in need of repair, the Public Works Commission supports adherence to the City's Complete Streets Policy.

The Complete Streets Policy includes the following list of improvements: shared community spaces, sidewalks, shared-use paths, bicycle lanes, bicycle routes, Bicycle Boulevards, paved shoulders, street trees, landscaping, planting strips, accessible curb ramps, crosswalks, pedestrian refuge islands, pedestrian signals, signs, street furniture, bicycle parking facilities, public transit stops and facilities, transit priority signalization, and other features assisting in the safe travel for all users, such as traffic calming devices, transit bulb-outs, and road diets, and those features identified in the Berkeley Pedestrian Master Plan and Berkeley Bicycle Plan. Within the life of the T1 Bonds, projects that provide Complete and Shared Streets benefits, including the Telegraph Shared Street Plan, the Adeline Corridor Project, and the Shattuck Square redevelopment should be prioritized.

The PWC continues to recommend funding road surfacing treatments and associated road appurtenances with life expectancies longer than the 40-year bond funding period. T1 funding should be committed to long-lived components of street projects (curbs, gutters, sidewalks, road bedding, trees, and stormwater infrastructure), short-lived components such as asphalt pavements with 15-30 year life expectancies should be constructed with tax monies rather than long term bond funds.

2. 50/50 SIDEWALK MAINTENANCE AND SAFETY REPAIR:

Following Vision Zero, Complete Streets, ADA, and BeST Plan plans, all street projects should include priorities for accessible sidewalks and considerations for pedestrian and bicycle user safety, and improved access to city sidewalks apply additional funding to the 50/50 sidewalks program.

3. STORMWATER AND GREEN INFRASTRUCTURE (GI) PROJECTS:

Consistent with the Watershed Management Plan (WMP), the PWC recommends that GI should be integrated into street restoration projects. In concurrence with the WMP, GI street projects should be included in the streets that are funded by T1. If the street surface is designed and constructed to improve stormwater quality improvement and reduce runoff, then that would be an appropriate allocation of the T1 funds. Alternatively, stormwater projects concurrent with street projects included in the Five-Year Paving Plan could be funded by T1.

4 - 7. FACILITY IMPROVEMENTS:

City-owned buildings and facilities are some of the most expensive single assets. Given the critical impacts that roof failures can play in a building's useful life, the PWC prioritized roof repairs. We are recommending project list items 4, 5, 6, and 7 for needed repairs of Public Works assets, which are:

- 4. 1947 Center Street Facility Improvements
- 5. Fire Station 2 Facility Improvements
- 6. Fire Station 6 Facility Improvements
- 7. Corporation Yard Facility Improvements

However, there is concern that the City does not have adequate asset management or funding to continue to maintain buildings and facilities. The recommendations of the Vision 2050 Report recently adopted by the Council begin to address this challenge. The cost of routine maintenance of city-owned buildings should be incorporated into each department's operating budget, and those departments can then allocate funds to Public Works to plan, schedule, and contract for work that cannot be undertaken by City Staff. Bond measures are not an appropriate or cost-effective way to maintain city assets in the long run.

8. BOLLARD IMPROVEMENTS:

There are several types of bollards and diverters in place today - semi-diverters (closing half the street) and full diverters, which either create a cul-de-sac or are placed diagonally across an intersection and force vehicles to turn the corner. Most full diverters have a gap between the bollards and a low steel under-carriage device, which is supposed to only allow passage of fire trucks and other high-clearance vehicles. Nearly all diverters allow bicycles to pass through on the street, while some divert bike passage to the sidewalk. However, as cities across the state saw increasingly constrained budgets following the passage of Proposition 13, less money was available for diverter reconstruction. Thus, most of the original "temporary" diverters still consist of bollards. In some neighborhoods, residents have attempted to beautify the bollard safety elements by planting flowers in them.

9. PATHWAY REPAIRS/IMPROVEMENTS:

For decades, Berkeley paths and steps have served a critical public safety purpose as evacuation routes in times of emergency. In case of fire or earthquake, paths provide egress and can be used by firefighters to bring up equipment if streets are blocked. The Berkeley Pedestrian Master Plan recommends developing a strategy to prevent the loss of existing pathways and to identify opportunities to expand the public pedestrian pathways network in Berkeley. Paths provide an avenue for walking and connect neighbors, as well as to public transportation and shopping areas. They are tree-lined, enchanting, and a peaceful respite from the urban noise beyond. They give all Berkeley residents and visitors access to incredible hillside vistas, parks, and neighborhoods.

10. CHANNING GARAGE BATHROOM RENOVATION:

The Channing Garage Bathroom is one of two publicly accessible restrooms in the Southside neighborhood. However, the restroom facility is significantly dilapidated and

heavily relied on by both visitors to the Telegraph Business Improvement District and local unhoused populations. The closest alternate restroom facility is located at People's Park, which is a site soon to be redeveloped and would temporarily result in the elimination of an essential public restroom. Locals, guests, and unhoused residents not only need a renovated and fully accessible restroom capable of meeting occupancy use, but they undeniably deserve safe and dignified restroom facilities to use and tend to their hygiene.

11. EMERGENCY POWER SUPPLY SOLAR BATTERIES:

In the face of rapidly accelerating climate change, and in light of Berkeley's declared Climate Emergency, resilience and carbon-free energy supplies both become increasingly important investment criteria. Critical facilities need to have backup power, but diesel generators are not viable long-term, let alone reliable solutions. Solar power tied to batteries offer both continual long-term back-up power and bill savings opportunities even during normal grid-tied operation. The full potential for deployment far exceeds the currently available budget, but selecting a priority pilot project like the North Berkeley Senior Center will provide the City with valuable experience developing and implementing this project. As prices and functionality for both solar power and battery storage improve, the City can provide leadership and impetus in our attempts to decarbonize the economy and build resilience for our community.

CITYWIDE NON-DEPARTMENTAL PROJECTS

Multiple Non-Departmental Projects were identified by staff, with additional projects being promoted as part of the public outreach process. Table 4 provides a summary of the four non departmental projects that met the requirements of T1 and received a large amount of public support. These projects were not evaluated by the PWC using the prioritization matrix; however, there was agreement between both PWC and PWFC that these four projects should be prioritized for Phase 2 of the T1 program.

Table 4: Citywide Non-Departmental Project

		Project	Estimate	Description
,	1	MLK Jr. Youth Services Center (YSC)	\$7,000,000	The existing MLK Jr. YSC facility has not been updated since the 1970s. The refurbishment of this facility includes disaster preparedness, electrification, energy efficient building systems, community building.
2	2	South Berkeley Senior Center (SBSC)	\$3,000,000	Refurbishment of the existing SBSC includes disaster preparedness, electrification, energy efficient building systems, and enhancements to the community building.
;	3	African American Holistic Resource Center (AAHRC)	\$7,000,000	Refurbishment of an existing City building to allow for the space to be occupied by the AAHRC. Scope includes electrification, energy efficient building systems, community building
4	4	Restrooms in the Right of Way	\$1,350,000	Installation of new restrooms citywide. Restrooms will be selected from a list of facilities identified in the Citywide Bathroom Study. This project will use energy efficient fixtures and will result in a cleaner environment.
		Total	\$18,350,000	

PROJECTS REVIEWED BUT NOT RECOMMENDED AT THIS TIME

With over \$800M of need that the City has identified for infrastructure maintenance and improvement, many projects did not make the recommended T1 Phase 2 project list. The full list of projects provided by staff and the public process is included on Table 5. As project costs grow or other funding sources become available, staff may need to reprioritize projects off of this list. That said, there is not nearly enough funding in the T1 program to meet all of the infrastructure needs identified. We as a community will need to continue to support additional funding programs to catch up on historic deferred maintenance of public infrastructure of Berkeley.

Table 5: Projects Discussed but Not Recommended for T1 Phase 2 Funding

Category	Project	Description
Facilities	Fire Station 1	2422 Eighth St
Facilities	Fire Station 3	2710 Russell St
Facilities	Fire Station 4	1900 Marin Avenue
Facilities	Fire Station 5	2680 Shattuck
Facilities	Fire Station 7	3000 Shasta Rd
Facilities	Fire Department Warehouse	1004 Murray St
Facilities	Animal Shelter	1 Bolivar Dr
Facilities	Civic Center Building	2180 Milvia St
Facilities	830 University, Berkeley Health	830 University
Facilities	Telegraph Channing & Oxford	2450 Durant
Facilities	Old City Hall/Veterans, Civic	Downtown Civic Center
Facilities	1001, 1007, 1011 University	1001-1011 University
Facilities	Berkeley Health Clinic Electrical Assessment	830 University
Citywide Facilities	Seismic Upgrades	Citywide
Citywide Facilities	Swipe Access	Citywide
Citywide Facilities	ADA Upgrades	Citywide
Citywide Facilities	Elevators	Citywide
Streets	Citywide Street Maintenance	Citywide
Sidewalks	Sidewalk Improvements identified by ADA Transition Plan Update	Citywide
Sidewalks, bikeways	Ohlone Greenway Improvements (lighting and widening)	Ohlone Greenway

GENERAL PROGRAM RECOMMENDATIONS

The PWC reaffirms the following General Recommendations included in our review of Phase 2 Specific Project Recommendations:

A. REPORTING, ACCOUNTABILITY, AND ANALYSIS:

The PWC does not have oversight or review responsibilities under the T1 Policies and Procedures Manual. Should the Council desire routine input or feedback from the PWC in addition to the Staff reports on the progress of T1 Phase 2 projects, the manual should be revised to include reporting information and frequency. Project costs and cost benefits as well as cost avoidance, should be included in the review of projects recommended by Staff. PWC will provide Staff with the Prioritization Decision Support Tool developed in this process so the same process may be followed as Phase 2 is implemented.

B. STREETS MANAGEMENT PLAN:

The PWC recommends that the Public Works Department prepare a long-term Street Management Plan that will:

- Outline a baseline operations and maintenance funding level that will keep Berkeley's streets from deteriorating.
- Outline a process to conduct life cycle cost analysis in the selection of street surface treatment technologies.
- Outline the capital projects that will use bond funding.

C. VISION 2050:

The PWC reaffirms the recommendations of the Vision 2050 Task Force, adopted by Council in September 2020, summarized in three principles:

- Support vibrant and safe communities
- Be efficient and well-maintained
- Facilitate a green Berkeley and contribute to saving our planet

D. WATERSHED MANAGEMENT PLAN (WMP):

The WMP should be updated to reflect changing climate knowledge, groundwater management rules, Green Infrastructure Framework, and stormwater discharge permit conditions. The remaining seven city watersheds should be modeled and included in WMP recommendations prior to design work on additional bio-swales citywide.

E. MARINA MASTER PLAN:

The 2003 Marina Master Plan should be updated to reflect changed conditions, climate change, sea-level rise impacts, and a current vision for future mitigation and adaptation.

F. ADA SELF-EVALUATION AND TRANSITION PLAN:

The PWC recommends the inclusion of elements and priorities of the City of Berkeley ADA Title II Transition Plan in projects funded under T1 as the ADA Plan is updated.

The PWC acknowledges that there will be changes in priorities, specific projects, and funding as T1 Phase 2 is completed. We hope to remain a focal point for continued public input, feedback, and voice.

CONTACT PERSON

Matthew Freiberg, Chair, Public Works Commission, (831) 566-3628 Shane Krpata, Vice Chair, Public Works Commission, (507) 398-6117 Joe Enke, Acting City Engineering & PWC Commission Secretary, (510) 981-6411

ATTACHMENT

1 - PWC Project Prioritization Matrix Phase 2 of the Measure T1 Program

																, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		iii i -			,
			Project Information						F.	atal Flaw Evaluat	ion					We	roject Criter eighting totals 1	<u>ia</u> 00%			
			r roject information		Public Works	Origin of		Can the project		on eliminates the proje			Score each	n project on a s	scale of 1-5. 51	or projects that e	xemplify the cri	eria, 1 for projec	ts that do not ac	thieve the goals	of the crities
	Or-# Dalasta	Destant		Council	Park, or City Wide Benefit	Project		be completed with available	repairing or improving	the planned	project on City	Is the life of the	Greatest	Historically	1114	Environmental	Project			Date II - Comment	
Project Name	Staff Priority Y/N	Project Category	Project Cost	District	Project	Public, other	er) Description	. funds		completed with 1	Property	d asset 40 years or greater?	Benefit	Community	and resilience	, Sustainability / Durability	Rediness	Leveraging other funding	Feasibility	Public Support for Project	Total
												Weight	s 1	1	1	1	1	1	1	2	
				All			Acceleration of Road Resurfacing. Street reconstruction of arterials, collectors, Bus, and														
Citywide Street Rehabilitation	Yes	Streets	\$ 6,750,000		Public Works	Staff	Low Stress Bike Network. Strong prerferance for non-asphalt road surface materials.	Yes	Yes	Yes	Yes	Yes	5	3	4	4	5	5	5	5	
•				7			Close Telegraph to through traffic (transit														
Telegraph Shared Streets Emergency Power Supply Sola		Transportation	\$ 8,000,000		Public Works	Public	commercial delivery excepted), add plaza	Yes	Yes	Yes	Yes	Yes	5	5	5	5	3	5	3	5	
Emergency Power Supply Sola Batteries		Citywide Facilities	\$ 500,000	Various		Staff	Solar Battery Backup Power at City Buildings	Yes	Yes	Yes	Yes	Yes	4	4	5	5	3	5	5	5	
ADA Upgrades		Citywide Facilities	\$ 10,000,000	Various		Staff	ADA Compliance Upgrades at City Buildings	Yes	Yes	Yes	Yes	Yes	4	5	5	5	4	4	5	4	
			* .= === ===	All			Funding to Sidewalk repair in residentia neighborhoods where the cost is split between the											<u> </u>			
							property owner and the City.														
50/50 Catchup - Citywide by list	Yes	Citywide	\$ 1,850,000	Various	Public Works		Priorty to sidewalks in the ADA Plan	Yes	Yes	Yes	Yes	Yes	4	4	5	5	3	5	3	5	_
Seismic Upgrades Telegraph Channing & Oxford - Bathrooms		Facilities	\$ 20,000,000 \$ 300,000	7	Public Works	Staff Staff	HHCS, Fire Stations Bathrooms and other Upgrades	Yes Yes	Yes Yes	Yes Yes	Yes Yes	Yes Yes	3	3 5	5	3	5 4	5 4	5 4	5 4	_
Jones Street, Heinz Avenue, Tenth Street, Ninth Street.			. 000,000	1, 2, 2004		Jun	Construction of projects identified for project		.00					·							
Sacramento Street center median		Storm	\$ 2,000,000			Staff	planning funding in T1 Phase 1. Installation of green infrastructure such as bioswales.	Yes	Yes	Yes	Yes	Yes	4	4	4	5	5	3	3	5	
Bollard conversion to Planters	Yes	Transportation	\$ 150,000	CW 8	Public Works	Public	Beautification Project Multiple requests including sfety/accessibility	Yes	Yes	Yes	Yes	Yes	3	3	4	4	5	3	5	5	
				_			improvements. Includes repairs to Garber Path, Turnbridge Lane, Visalia Walk, Florida Walk														
							Orchard Lane (Upper Section), Vincente Walk,														
Pathway Repairs	Yes	Transportation	\$ 200,000		Public works	Public	Arlington median stair crossing improvements, and others.	Yes	Yes	Yes	Yes	Yes	4	3	5	4	3	3	3	5	
		Citywide Facilities	\$ 500,000	Various	Public Works	Staff	Generator Ungradae at City Buildings	Yes	Ves	Yes	Ves	Yes	4	3	5	4	3	4	4	4	
Emergency Power Supply Aquatic Park		Storm	\$ 8,000,000	2	Public Works	Staff	Generator Upgrades at City Buildings Connection Model Yacht Basin to main Lagoor	Yes	Yes	Yes	Yes	Yes Yes	4	4	3	4	3	3	4	5	
Ohlone Greenway Improvements (widening & lighting		Citywide	\$ -	Various	Public Works	Public	Elevator Upgrades and Replacement at City		Yes	Yes	Yes		5	4	4	3	3	3	3	5	_
Elevators 1947 Center Street - Seismic Upgrade Design,		Facilities	\$ 12,000,000	4		Staff	Buildings Seismic Upgrade Design, HVAC, Electrical Control	Yes	Yes	Yes	Yes	Yes	3	3	4	4	5	4	5	3	_
HVAC/Electrical, Control Upgrades Parker Street Storm Drain	Yes	Facilities	\$ 1,800,000	,	Public Works	Staff Staff	Upgrades	Yes	Yes	NA	Yes	NA	3	3	5	4	3	4	3	4	
Second Street Storm Drain		Storm Storm	\$ 1,000,000 \$ 1,000,000	1	Public Works Public Works	Staff	Increase capacity/replacement of aging pipe Provide Separation from EBMUD Sewer	Yes Yes	Yes Yes	Yes	Yes Yes	Yes Yes	4	3	4	5	3	3	4	3	
Fire Station 5 Stormwater Infrastructure Repairs/Replacement	Yes	Facilities Storm	\$ 3,200,000 \$ 600,000	3 All	Public Works Public Works	Staff	Lighting, HVAC, Electrical, Lighting, Paint R&R of failed storm drains at various locations	Yes Yes	Yes Yes	Yes Yes	Yes Yes	NA	3	3	5 4	5	3	3	3	3	_
Stormwater Infrastructure Repairs/Replacement Fire Station 7 Fire Station 6*	Yes	Facilities	\$ 600,000 \$ 1,300,000	6	Public Works Public Works	Staff Staff	Roof Access, Lighting Windows, Leak Repair, Lights, Drill Tower, Mold	Yes	Yes	Yes	Yes	Yes	3	3	5	4	3	4	3	3	
Fire Station 2*	Yes	Facilities Facilities	\$ 1,450,000	4	Public Works	Staff	HVAC, Electrical, Bedrooms, Security, Solar	Yes Yes	Yes Yes	Yes Yes	Yes Yes	Yes NA	3	3	5	4	3	4	3	3	
Berkeley Health Clinic Electrical Assessment		Facilities	\$ 1,500,000	2	Public Works	Staff	Electrical upgrades to main switchboard, two panel boards, and wiring devices.	Yes	Yes	Yes	Yes	Yes	5	5	3	3	3	3	3	3	
							Configure intersections consistently for bicycle and pedestrian safety so everyone knows what to														
Intersection Repairs 1947 Center Street- Window Replacement		-	s -		Public Works		expect		Yes	Yes	Yes	Yes	4	3	4	4	3	3	3	3	
1947 Center Street- Window Replacement		Facilities	\$ 1,700,000	2	Public Works	Staff	Windows, Leak Repair, Lights, Drill Tower Green Room (B) Lockers, Bathroom, Training	Yes	Yes	Yes	Yes	NA	3	3	5	5	3	3	3	2	_
Corporation Yard Improvements	Yes	Facilities	\$ 2.850.000		Public Works	Staff	Room, Floor, Cabinets, Gate, parking, wash station compliance.	Yes	Yes	Yes	Yes	N/A	3	3	4	3	4	4	4	2	
Public Safety Building	100	Facilities	\$ 3,000,000	4	Public Works	Staff	Electrical, Bullet-Proofing, Misc	Yes	Yes	Yes	Yes	Yes	3	3	5	3	3	3	3	2	
				4																	
							Elevators														
1947 Center Street - Other			\$ 8,500,000		Public Works	Staff		Yes	Yes	Yes	Yes	Yes	3	3	4	1	3	3	2	1	
Roofs		Citywide Facilities	\$ 20,000,000	Various	Public Works	Staff	Roof Repair/Replacement Needs at City Buildings	Yes	Yes	Yes	Yes	Yes	3	3	4	3	3				
1001, 1007, 1011 University		Facilities	\$ 7,900,000	1	Public Works	Staff	General Upgrades	Yes	Yes	Yes	Yes	Yes	5	5	5						
				2																	
							General Upgrade														
Fire Station 1 Fire Station 3		Facilities Facilities	\$ 2,100,000 \$ 1,700,000	8	Public Works Public Works	Staff Staff	Fence, Gate, Leak Repair, Rool	Yes Yes	Yes Yes	Yes Yes	Yes Yes	No	3	3	5 5	4 4	3	4	3	3	_
Fire Station 4*		Facilities	\$ 800,000	5	Public Works	Staff	Leak Repair, Roof, Floor, Paint	Yes	Yes	Yes	Yes	No	3	3	5	4	3	4	3	3	
				-																	
Fire Department Warehouse		FP*			Public Works	Staff	Canaral Hagrada		V	V		No.									
Fire Department Warehouse Civic Center Building 830 University, Berkeley Health		Facilities Facilities	\$ 800,000 \$ 3,200,000	4	Public Works	Staff	General Upgrade Carpets, Windows, HVAC	Yes Yes	Yes Yes	Yes Yes	Yes Yes	No No	3	3	5	4	3	4	3	3	
830 University, Berkeley Health Old City Hall/Veterans, Civic		Facilities Facilities	\$ 2,400,000 \$ 130,000,000	2	Public Works Public Works	Staff Staff	General Upgrade Vision Upgrades	Yes No	Yes Yes	Yes No	Yes Yes	No Yes									
		Citywide	\$ 2,000,000	Various	Public Works		Access/Safety Upgrades at City Buildings	Yes	Yes	Yes	Yes	No	3	3	5	2	5	4	5	1	
Swipe Access		racilities	φ ∠,000,000	-	FUDIIC WORKS	otan	nucos/salary opgrades at City Buildings	res	1 62	1.68	res	INU	3	3	3	2	5	4	5	1	
Street Striping			\$ -		Public Works	Public	Restripe lane markings & crosswalks. Focus on		Yes	Yes	Yes	No	3	3	3	2	3	3	3	3	
1					222 1. 3110		areas near schools and high pedestrian areas.					***									
			·			. abiio	areas near schools and high pedestrian areas.		.00					Ţ,		•		· · ·	· · ·		Ü

				Ranking	and	Optimization					
Performance Rank	Project Value	Value Rank	Cum	nulative Cost		Priority Project Inclusion (1 = include, 0 = exclude)	Pr	iority Cost	Priority Max	Pi	WC Budge
1	6	20	\$	6,750,000		1	\$	6,750,000	783	\$	17,750,0
1	5	21	\$	14,750,000		0	\$	_		Cost	of priority F
1	82	4	s	15,250,000		1	\$	500,000			17,750,0
4	4	23	\$	25,250,000		0	\$	-			
6	21	12	\$	27,100,000		1	\$	1,850,000			
6 8	2 127	26 3	\$	47,100,000 47,400,000		0 1	\$	300,000			
8 11	19 247	14 1	\$	49,400,000 49,550,000		0 1	\$	150,000			
17	175	2	\$	49,750,000		1	\$	200,000			
17 17 17	70 4 0	5 22 29	\$ \$ \$	50,250,000 58,250,000 58,250,000		0 0 0	\$ \$ \$	-			
22	3	24	\$	70,250,000		0	\$	-			
24 27 27	18 32 32	15 8 8	\$	72,050,000 73,050,000 74,050,000		1 0 0	\$ \$ \$	1,800,000			
27 31	10 52	18 6	\$	77,250,000 77,850,000		0 1	\$ \$ \$	600,000			
31 31	52 24	6 10	\$	78,450,000 79,750,000		0	\$	1,300,000			
31	21	11	\$	81,200,000 82,700,000		1	\$	1,450,000			
36 39	0 17	29 16	\$	82,700,000 84,400,000		0	\$	-			
39 43	10 9	17 19	\$	87,250,000 90,250,000		1 0	\$ \$	2,850,000			
44	2	25	\$	98,750,000		0	s	_			
45	1	28	\$	118,750,000		0	\$	_			
46	2	27	\$	126,650,000		0	\$	-			
47 47 47	0 0 0	29 29 29	\$ \$ \$	128,750,000 130,450,000 131,250,000		0 0 0	\$ \$ \$	-			
47 47	0	29 29	\$	132,050,000 135,250,000		0	\$	<u>=</u>			
47 47	0	29 29	\$	137,650,000 267,650,000		0	\$	-			
47	0	29	\$	269,650,000		0	\$	-			
47	0	29	\$	269,650,000		0	\$	_			
4,	0	23	,	200,000,000			,				

Parks and Non Departmental Projects																					-
Cazadero Dining Hall & ADA Improvements		Camps	\$	400,000		Parks	Energy emicient tixtures, environmental stewardship	Yes	Yes	N/A	Yes	Yes	4	4	4	5	3	5	3	5	38
Willard Clubhouse/Restroom Replacement		Parks - Building		7,000,000		Parks	community building	Yes	Yes	N/A	Yes	Yes	4	4	4	5	4	3	3	5	37
Tom Bates Restroom/ Community Space	,	Parks - Building	s \$	2,900,000		Parks	Cleaner environment, energy efficient building systems	Yes	Yes	N/A	Yes	Yes	4	4	4	5	4	3	3	5	37
Restrooms in Parks Harrison Park - Renovation		Parks - Building		450,000		Parks	Energy emicient fixtures	Yes	Yes	N/A	Yes	Yes	5	4	4	5	2	3	3	5	36
Restrooms in Parks Onlone Park New	,	Parks - Building	3 \$	500,000		Parks	Energy emicient fixtures	Yes	Yes	N/A	Yes	Yes	5	4	4	5	2	3	3	5	36
Aquatic Park Dreamland- New ADA and 2-12		Structure	\$	700,000		Parks	Outdoor recreation, community building	Yes	Yes	N/A	Yes	Yes	4	5	3	5	2	3	3	5	35
Ohlone (Milvia) 2-5, 5-12, Garden Mural, Exercise		Structure	\$	500,000		Parks	Outdoor recreation, community building	Yes	Yes	N/A	Yes	Yes	4	5	3	3	4	3	3	4	33
John Hinkel Lower 2-12, picnic, parking		Structure	\$	400,000		Parks	Outdoor recreation, community building	Yes	Yes	N/A	Yes	Yes	4	3	3	3	5	3	3	3	30
Grove Park 2-5, 5-12		Structure	\$	700,000		Parks	Outdoor recreation, community building	Yes	Yes	N/A	Yes	Yes	4	3	3	3	3	4	3	3	29
Aquatic Park Tide Tubes Clean out, Phase 1B		Parks	\$	500,000		Parks	outdoor recreation	Yes	Yes	N/A	Yes	Yes	4	5	4	5	5	4	3	5	40
Civic Center Park – Turtle Garden		Parks	\$	300,000		Parks	Outdoor recreation, community building	Yes	Yes	N/A	Yes	Yes	4	4	3	3	4	3	3	5	34
King Pool tile and plaster		Pools	\$	350,000		Parks	Outdoor recreation and fitness, community building	Yes	Yes	N/A	Yes	Yes	4	3	3	3	3	3	3	3	28
Pilings Replacement		vvaterront	\$	1,200,000		Parks	marina sarety, outdoor recreation	Yes	Yes	N/A	Yes	Yes	3	3	3	5	4	3	3	3	30
D and E Dock Replacemen		vvaterront	\$	500,000		Parks	recreation	Yes	Yes	N/A	Yes	Yes	3	3	5	5	3	3	3	4	33
K Dock Restroom Renovation		vvaterront	\$	400,000		Parks	Energy emicient fixtures	Yes	Yes	N/A	Yes	Yes	3	3	4	5	3	3	3	4	32
Cesar Chavez Park Restroom (on Spinnaker		vvaterront	\$	350,000		Parks	Cleaner environment, energy efficient fixtures	Yes	Yes	N/A	Yes	Yes	3	4	4	5	3	4	3	5	36
Citywide Restrooms (add'l)	•	Non-PW Facilities	\$	1,350,000	cw	City	Restroom installation in Public Right of Way	Yes		Yes	Yes	Yes	4	5	5	4	4	4	5	5	
SBSC - Seismic Upgrades		Non-PW Facilities	\$	3,000,000	3	City	Life Safety Seismic Opgrades for Care & Shelter Facility	Yes	Yes	Yes	Yes	Yes	3	4	5	5	5	3	5	3	
Y.A.P./MLK Youth Services Center		Non-Pvv Facilities	\$	7,000,000	3	City	Facility Repairs/Renovations	Yes	Yes	Yes	Yes	Yes	4	5	5	3	3	3	5	5	
African American Holistic Resource Center	Yes	Non-PW Facilities	\$	7,000,000	3	City	Development of an African American Hollistic Resource Center facility	Yes	No	Yes	No	Yes .	. 5	5	4	3	4	4	5	5	



To: Honorable Mayor and Members of the City Council

From: Parks and Waterfront Commission

Submitted by: Jim McGrath, Chair, Parks & Waterfront Commission

Subject: Recommended Action on T1 Phase 2 Projects

INTRODUCTION

Parks & Waterfront Commission

The Parks and Waterfront Commission appreciates the trust that the City Council and the citizens of Berkeley have given to us to manage a portion of the \$100 million T1 bond. We are nearing completion of over \$40 million in projects throughout the City, and we have leveraged an additional \$20 million in outside funding to begin the important task of repairing our infrastructure and parks.

After a series of focus group and larger area meetings, the Parks and Waterfront Commission has reached a consensus on a recommendation for projects that we recommend for funding under T1 Phase 2. We reached this recommendation after listening carefully and extensively to the public and after a series of discussions with city staff and our colleagues on the Public Works Commission. This recommendation was adopted by the full Parks and Waterfront Commission, on November 19, 2020.

Our recommendation includes a specific list of recommendations for projects under T1, additional recommendations for projects that could be funded with the Parks Tax, and a program to develop project concepts for the future.

BASIS FOR RECOMMENDATION

The Parks and Waterfront Commission used a series of criteria, described below, to help establish these recommendations. The Commission recommendations were also based on input from the public in more than 35 public meetings and hundreds of emails, as well as public comment at Commission meetings. Recommendations were also based on input from staff regarding highest priority unfunded needs.

Recommendations were also informed by our previous efforts at recommending projects for Phase 1 of the T1 bonds, the Final Report of our Sustainability Subcommittee, from September 14, 2016, and the more recent recommendations of the Vision 2050 Task Force. Those efforts recommended that we consider:

Plan to reduce water consumption

- Modify landscaping to enhance resiliency and reflect more frequent droughts
- Develop natural streetscapes that provide ecosystem services and support urban biodiversity
- Construct complete streets
- Increase the tree canopy to serve these purposes and reduce heating

Thus, part of our orientation in formulating this recommendation is to look to the future conditions of Berkeley, which will be hotter and dryer, as well as considering infrastructure that needs repair. Providing additional improvements in parts of the city that have fewer parks, and in areas that have received less funding over the past decade, and addressing racial equity played a major part in formulating the criteria described below in order to form a recommendation.

CRITERIA

The Parks and Waterfront Commission adopted the following criteria upon which to base project selection for T1 funding. These criteria were decided upon for Phase 1 based on input from the City Council, the Commission, and the community. Criteria were updated in 2020 for Phase 2 as described below.

- Greatest Benefit: Project provides impact to the greatest number of Berkeley residents. For Phase 2, additional consideration is given to creation of a memorable project to inspire a broad spectrum of residents.
- Equity: Consideration of geographic and demographic distribution of projects. For Phase 2, additional consideration of racial equity, gender equity, and equity among users of different age groups and income levels. In addition, our park system should reflect the fact that this was once all land occupied by Native Americans.
- Health, safety, and resilience: Project addresses public health and safety, such as improvements for disaster preparedness or emergency response.
- Environmental Sustainability/Durability: Project which improves water quality, have elements of green infrastructure, or also include energy, climate, or other zero waste goals. Project uses durable elements or technologies that may lower long term cost. For Phase 2, additional consideration given to projects that support climate change resilience.
- Project readiness: Considering projects that are underway or already shovelready.
- Leveraging other funds: Project utilizes other funding sources.
- Feasibility: Consideration of
 - the ability to complete a project/sequencing: project does not have any known barriers that will substantially delay or prevent completion.
 - renovating infrastructure before end of useful life to avoid larger expense or closure of amenity.

While individual projects may not all meet all criteria, most projects should meet most criteria in order to merit recommendation by the Commission.

I. PROJECTS THAT WE RECOMMEND BE FUNDED WITH T1 FUNDS

Projects listed below have been recommended for funding with T1 Phase 2 funds. For each project, the rationale, as determined by the criteria listed above, is provided.

Project	Cost	Rationale/Primary Criteria
MLK Jr. Youth Services Center	\$7,000,000	Greatest Benefit: Providing free programming to youth who benefit from its programs and who are predominantly youth of color and low income. These programs have an impact on youth throughout their lives as testified in public comment. Equity: Youth that benefit from programs are predominantly youth of color and low-income, provides free programming. Health/Safety/Resilience: Disaster preparedness of a community building. Health and safety of after-school programming is increasingly important in pandemic context. Sustainability/Durability: Disaster preparedness/electrification/ efficient building systems for a community building that serves youth. Care and Shelter facility. Leveraging other funds: \$1.4m FEMA grant application pending
South Berkeley Senior Center	\$3,000,000	Equity: Benefits for seniors including people of color, low-income. Provides investment in historically under-invested South Berkeley community resources. Health/Safety/Resilience: Programming to support public health among seniors. Seismic safety and resilience critical for disaster preparedness in a community building. Sustainability/Durability: Ensure building durability in case of earthquake. Care and Shelter facility.
African American Holistic Resource Center	\$7,000,000	Equity: Center with mission to eliminate inequities and provide culturally responsive services for African American community in Berkeley. Health/Safety/Resilience: Center will address social determinants of health and mental health among African American community. Sustainability/Durability: Project includes electrification, energy-efficient building systems Leveraging Other Funds: \$250k available for planning

Project	Cost	Rationale/Primary Criteria
Restrooms in the ROW (2)	\$1,350,000	Greatest Benefit: Benefit all in the community Equity: Support human dignity across economic inequities Health/Safety/Resilience: Support human health and public safety Sustainability/Durability: Reduce environmental impacts of human waste. Energy-efficient fixtures. Project Readiness: Community process completed to identify sites and other priorities. Leveraging other funds: Funds already supported study and community process.
Cazadero Camp Dining Hall & ADA Improvements	\$400,000	Equity: Cazadero camp provides a camp experience for a wide spectrum of Berkeley children. ADA improvements are critical to allow camp access for all children. Health/Safety/Resilience: Dining hall improvements and ADA improvements are necessary to maintain a safe camp environment for Berkeley children. Leveraging other funds: The camp tenant pays a significant portion of funds for facility maintenance, therefore T1 spending leverages private camp funding to maintain and improve the camp.
Willard Clubhouse/ Restroom Replacement	\$7,000,000	Greatest Benefit: Willard park draws users from the surrounding neighborhood and, due to the after school and youth recreation programs provided, draws users from across the City Equity: The project supports racial and economic equity as the Clubhouse is a location for heavily used youth after-school programs. The project also supports geographic equity, as the southeast quadrant of the city contains fewer city parks and less park land than other quadrants of Berkeley. Health/Safety/Resilience: Provision of a new restroom supports public health and safety. Project Readiness: An extensive community process and conceptual design for the project has already been completed. Leveraging Other Funds: Planning for this project was funded through T1 Phase 1, therefore completion of the project takes advantage of the funds already allocated.

Project	Cost	Rationale/Primary Criteria
Tom Bates Restroom/ Community Space	\$2,900,000	Greatest Benefit: The Tom Bates fields draw users from across the City and therefore provides benefit to a high number of Berkeley residents. Health/Safety/Resilience: Restrooms support public health, safety, and human dignity, as well as environmental health. Environmental Sustainability/Durability: Restrooms support a clean environment. Building systems will be energy efficient. Project Readiness: Public input, planning and conceptual design were completed in Phase 1. Leveraging Other Funds: Phase 1 funds were allocated to planning and design, therefore completion of the project takes advantage of previously-allocated funds.
Harrison Park Restroom Renovation	\$450,000	Greatest Benefit: Harrison Park has both a neighborhood draw as well as a citywide draw for users of the skate park and sports field, therefore facilities in this park have a wide public benefit. Health/Safety/Resilience: Provision of restrooms support public health, environmental safety, and human dignity. Environmental Sustainability/Durability: Energy efficient fixtures proposed. Project Readiness: Public input received in citywide restroom study.
Ohlone Park New Restroom	\$500,000	Greatest Benefit: Ohlone Park has both a neighborhood draw as well as a citywide draw for users of the sports field, dog park and bike/walking paths, including access to the North Berkeley BART station and the North Berkeley Senior Center, therefore facilities in this park have a wide public benefit. Health/Safety/Resilience: Provision of restrooms support public health, environmental safety, and human dignity. Environmental Sustainability/Durability: Energy efficient fixtures proposed. Project Readiness: Public input received in citywide restroom study. Project supported by active volunteer group.

Project	Cost	Rationale/Primary Criteria
Ohlone Park Lighting	\$700,000	Greatest Benefit: Ohlone Park draws use from neighboring residents, as well as citywide users who use the park for recreational purposes or to access North Berkeley BART or the North Berkeley Senior Center. Equity: Park lighting, especially on well-traveled access paths, supports gender equity, facilitating safe access at nighttime. Lighting also facilitates equitable use among diverse age groups, including those seeking to access the North Berkeley Senior Center or adjacent public transit. Health/Safety/Resilience: Adequate lighting promotes safe use of the park.
Ohlone Park (Milvia) 2-5 playground, 5- 12 playground, Garden Mural, Exercise Equipment	\$500,000	Greatest Benefit: Playgrounds Ohlone Park draw neighborhood as well as citywide use. Garden mural provides cultural and artistic benefit to the many citywide residents who use or pass through the park. Exercise equipment would benefit neighborhood and citywide users. Health/Safety/Resilience: New playground equipment is critical to child safety. Exercise equipment provides a public health benefit, particularly in the current pandemic context when outdoor exercise is encouraged. Equity: The very name of the park evokes the Native American heritage of the area, and this park received no funding in phase 1. Project Readiness: Conceptual design in progress. Leveraging Other Funds: \$600k allocated from FY21 parks tax.
John Hinkel Lower 2-12 playground, picnic, parking	\$400,000	Health/Safety/Resilience: New playground equipment is critical to child safety. Project Readiness: Final design in progress. Leveraging Other Funds: \$800k allocated from FY21 parks tax.
Grove Park 2- 5 playground, 5-12 playground	\$700,000	Equity: This project allocates funding to historically under-invested South Berkeley. Health/Safety/Resilience: New playground equipment is critical to child safety. Leveraging Other Funds: This project could be leveraged with a possible Proposition 68 State parks

Project	Cost	Rationale/Primary Criteria
		grant.
Aquatic Park Tide Tubes Clean out, Phase 1B	\$500,000	Environmental Sustainability/Durability: Must sleeve the tubes to prevent further damage and remove dredged material to protect water quality. Improved water quality in the Aquatic Park lagoon, improved lagoon ecology. Project Readiness: Final design complete. Leveraging Other Funds: Possible planning grant for Measure AA funding from the Bay Restoration Authority. Feasibility: Important infrastructure renovation before end of useful life to avoid larger expense or further environmental detriment to the lagoon.
Civic Center Park - Turtle Island Monument	\$300,000	Greatest Benefit: The Turtle Island Monument is a vital component of Civic Center Park - District 4's sole neighborhood park - and a central feature drawing all Berkeley residents & visitors alike. The project's enhanced design, including increased biodiversity and sustainable pollinator plantings, will beautify and benefit the entire Berkeley community. Equity: Will honor the cultural heritage, community, and ongoing contributions of the Ohlone plus other Native Peoples. Health/Safety/Resilience: The current derelict fountain remains a serious public health risk; the new design addresses and resolves these safety risks. Project Readiness: Conceptual design in progress. Feasibility: Renovating this park feature will prevent immense and increasing ongoing maintenance costs that are created by the current context.
King Pool tile and plaster	\$350,000	Greatest Benefit: The King pool is used and enjoyed by residents from across the city. Berkeley has limited pools, and maintaining the pools that we do have is critical to provide the benefit of public pools to Berkeley residents. Health/Safety/Resilience: In the current pandemic context, outdoor exercise and recreation provided by pools is a benefit to public health. Feasibility: This project competes an important renovation before the end of the useful life of the pool to avoid larger expense or pool closure.

Project	Cost	Rationale/Primary Criteria		
Marina Pilings Replacement	\$1,200,000	Greatest Benefit: The marina is a destination for many in the city, including those who do not own boats. It is essential to replace many of the original pilings before they fail catastrophically and damage tenants and jeopardize revenue. Project Readiness: Design currently underway Resilience:		
D and E Dock Replacement	\$500,000	Leveraging Other Funds: This project would leverage a \$5.5 million State loan. Project Readiness: Design currently underway.		
K Dock Restroom Renovation	\$400,000	Greatest Benefit: Improvements to the utility of the docks provide a wide and important benefit. Health/Safety/Resilience: Provision of restrooms support public health, environmental safety, and human dignity.		
Cesar Chavez Park Restroom (on Spinnaker)	\$350,000	Greatest Benefit: Cesar Chavez Park is an incredibly unique park that allows all Berkeley residents to take advantage of limited shoreline land for recreational use, and as such, improvements to the utility of the park provide a wide benefit. Health/Safety/Resilience: Provision of restrooms support public health, environmental safety, and human dignity. Leveraging Other Funds: Utility hook-ups as part of Marina Streets project		

II. PROJECTS THAT WE RECOMMEND BE FUNDED WITH PARKS TAX THROUGH THE BUDGET PROCESS

The ongoing theme of all public outreach associated with the T1 process is that there are many more worthy projects than can be funded through the T1 Phase 2 funding pool. Therefore it is worth considering the upcoming allocation of Parks Tax dollars through the budget process, and the priority projects that might be included.

These projects do not require bond funding, and are currently proposed by staff as a direct result of the listening sessions associated with T1.

FY22 Capital Expenditures:

- Aquatic Park Pathways and Parking Lot Paving
- King School Park 2-5, 5-12 Play Structures
- West Campus Filters
- John Hinkel Hut

FY23 Capital Expenditures:

- *Bicycle Park
- Glendale LaLoma 2-5 Play structure
- *Pickleball Courts
- Skate Park Fencing
- West Campus Plaster Replacement
- A public process is necessary for these projects

III. PLANNING FOR THE FUTURE

A. GREENING BERKELEY

We received extensive public comment that, where possible, pavement should be removed and landscaping should be added to provide benefits to flood control, pollinators, water quality, and the urban heat island. This recommendation is consistent with the recommendations of the Vision 2050 report that recommended planting additional trees in the flatter portions of Berkeley. It is also consistent with the "Adopt-a-Spot" program that the Council referred to the Commission to develop a recommendation. There are a number of streets such as Sacramento Street where landscaping could be modified over time to have higher habitat value, and possibly to create community gathering spots. There are other streets that may have more pavement than is now needed, particularly those that once carried Red Cars, and others where bollards have restricted through-traffic.

These recommendations, considered as a whole, offer an innovative approach to infrastructure in Berkeley over the long term. Reducing areas of pavement where feasible, continue to prioritize the preservation of trees in all infrastructure project, increasing our tree canopy, and the habitat value of new plantings are at the heart of previous efforts on sustainability and the Vision 2050 report. However, we believe that more work is needed to identify the specific projects and funding mechanisms. For example, while using Sacramento Street to slow water flow has great appeal, it is not clear how such a project can be implemented without damaging the existing trees, or what underground utilities may pose challenges in pursuing this concept. Therefore, we intend to establish a subcommittee to consider these issues, along with the direction we have received from East Bay Municipal Utility District to reduce water consumption in our parks and avoid irrigation of turf in street medians. This effort is one of the first steps we must take to bring the recommendations of the Vision 2050 report into fruition. This

recommendation includes \$150,000 for removing street diversion bollards and replacing them with planting areas as a pilot for the larger, long term effort.

Some funding for this program can come from the Parks Tax and the Clean Water Fund over time if a program is developed.

B. WE RECOMMEND CONTINUED WORK ON THE FOLLOWING PROJECTS THAT ARE HIGH PRIORITY BUT EXCEED THE RESOURCES AVAILABLE UNDER T1 PHASE 2

- Frances Albrier/San Pablo Park Community Center and Pool
- Replace Berkeley Pier either as a City project or cooperatively with a new ferry service
- Renovate King Pool
- Enhance Aquatic Park, including making it more resilient to sea level rise, improving pathways on the west side, and developing new areas for active recreation.
- Develop a vision for how Berkeley can adapt to sea level rise and still retain access to its waterfront.

Many on our Commission were strongly in support of investing in Frances Albrier Center to create an inspirational community center, and those who participated in the planning effort were strongly in favor of the vision they created, which included a community pool. It is not possible to renovate or rebuild Willard Pool, and we fear that many children in our city will not have an opportunity to learn to swim. We have already seen the climate warm, and people have begun to swim in the bay, some swimming nearly daily, so the need for a new pool is apparent.

We also heard strong support for rebuilding the Berkeley Pier, and a willingness to consider sharing a new pier with a new Ferry facility with the Water Emergency Transit Authority (WETA). Reconstruction of the pier by Berkeley acting alone is clearly beyond the funding available in T1, and the City has begun to update its specific plan for the Berkeley Marina. We don't anticipate that project reaching construction for several years, but we plan to continue that work.

King Pool remains an important facility, and we believe it is more important to renovate it with a comprehensive project rather than make a series of small repairs that would only extend its useful life for a limited period. That being said, the single small repair proposed as part of Measure T1 Phase 2 funding allocations is critical in the immediate term to extend the life of the pool as we prepare for a more comprehensive renovation.

Aquatic Park is one of Berkeley's largest parks, and has benefited from the rehabilitation of the tide tubes, improvements on the North end, and volunteer efforts like those of Untrash East Bay. We considered reconstruction of Dreamland, but decided not to recommend that because the existing structure is unique in Berkeley, and because we think it is time to completely revision Aquatic Park. The City has

applied for grants from the San Francisco Bay Restoration Authority, and we anticipate that the City will eventually receive grants. We also understand that reconstruction of the Ashby interchange will involve elimination of the on-ramp at Potter, providing an opportunity to make changes at the southern end of the lagoon and improve habitat, increase water circulation while mitigating flood risk. We think patience and further work in developing a more comprehensive vision for Aquatic Park will be rewarded by allowing us to improve the park as a signature park and habitat that will be resilient for decades.

While it is clear that the funds in T1 will not allow construction of any of these projects at this time, it is vital that city staff, city Commissions, and the interested public continue to refine these ideas. We remain hopeful that a new Congress will see the need to invest in infrastructure as a way to respond to the economic damage done by the pandemic. We want to make sure that Berkeley is well positioned to move forward with one of these projects if Federal or State funding is made available.

C. MAINTENANCE

Members of the Parks and Waterfront and Public Works Commission and the public are concerned that the projects that will be built using T1 funds must be properly maintained over time to fulfill their promise to the people of the City. The restrooms proposed within parks here replace existing port-a-potties, and will save those costs and make maintaining clean facilities easier and cheaper. However, we have also concurred in the staff recommendation for two restrooms in the right of way. In these areas, the city also maintains port-a-potties, so the increased costs of maintaining new restrooms will be partially offset by reducing those costs. City staff has estimated that maintaining these new facilities will cost approximately \$180,000 per year. We certainly think those costs are warranted for the water quality and quality of life benefits of reducing human waste in our city. To make sure that these costs are properly budgeted, and to carry out one of the recommendations of the Vision 2050 report, we recommend that the City evolve its budgetary approach to public facilities to include asset management for all facilities that require maintenance over time. We recommend that asset management become an element of the city's budget process.

ATTACHMENT 4
Measure T1, Phase 2
Phasing and Funding of 2A and 2B

Project Area	Site Description	Total Cost	Notes	Status	Sustainability/Resilience	Phase 2a Apr 2021 to Mar 2024	Phase 2b Nov 2022 to Oct 2025	Total
Care and Shelter	MLK Jr. Youth Services Center	\$7,000,000	\$1.4M FEMA Grant App. Pending	Not started	Disaster preparedness,	\$ 1,000,000	\$ 6,000,000	\$7,000,000
	South Berkeley Senior Center	\$3,000,000	Renovation 5 yrs ago; needs seismic	Not started	electrification, energy efficient building systems, community building	\$ 300,000	\$ 2,700,000	\$3,000,000
and Non- Departmental Citywide Facilities	African American Holistic Resource Center	\$7,000,000	\$250k available for planning	Not started	Electrification, energy efficient building systems, community building	\$ 1,000,000	\$ 6,000,000	\$7,000,000
	Restrooms in the ROW (2-3)	\$1,350,000	Sites identified in study	Not started	Cleaner environment, energy efficient fixtures		\$ 1,100,000	\$1,350,000
	Subtotal	\$18,350,000				\$ 2,550,000	\$ 15,800,000	\$18,350,000
Camps	Cazadero Dining Hall & ADA Improvements	\$400,000	Total Project \$1.2M/CPAC Supplement \$800k	Not started	Energy efficient fixtures, environmental stewardship	\$ 400,000		\$400,000
	Willard Clubhouse/Restroom Replacement	\$7,000,000	Planning in Phase 1	Conceptual design complete	Electrification, energy efficient building systems, community building	\$ 1,000,000	\$ 6,000,000	\$7,000,000
Buildings in Parks	Tom Bates Restroom/ Community Space	\$2,900,000	Planning in Phase 1	Conceptual design complete	Cleaner environment, energy efficient building systems	\$ 250,000	\$ 2,650,000	\$2,900,000
	Restrooms in Parks:							
	Harrison Park - Restroom Renovation	\$450,000		Not started	Energy efficient fixtures	\$ 100,000	\$ 350,000	\$450,000
	Ohlone Park - New Restroom	\$500,000		Not started	Energy efficient fixtures	\$ 500,000		\$500,000
	Ohlone (Milvia) Ages 2-5, 5-12, Garden Mural, Exercise	\$500,000	\$1.1M Total Project/\$600k in FY 21 PT-Gap \$500k	Conceptual design in progress	Outdoor recreation, community building	\$ 500,000		\$500,000
Parks -Play Structures	John Hinkel Lower Ages 2-12, picnic, parking	\$400,000	\$1.2M Total Project/\$800k in FY 21 PT- Gap \$400k	Final design in progress	Outdoor recreation, community building	\$ 400,000		\$400,000
	Grove Park Ages 2-5, 5-12	\$700,000	Possible Prop 68 Grant	Not started	Outdoor recreation, community building	\$ 700,000		\$700,000
Parks	Aquatic Park Tide Tubes Clean out, Phase 1B	\$500,000	Possible Dev. Funding	Final Design Complete	Cleaner environment, improved lagoon ecology, outdoor recreation	\$ 500,000		\$500,000
	Ohlone Park Lighting	\$700,000		Not started	Energy efficient fixtures, safety	\$ 200,000		\$700,000

Project Area	Site Description	Total Cost	Notes	Status	Sustainability/Resilience	Phase 2a Apr 2021 to Mar 2024	Phase 2b Nov 2022 to Oct 2025	Total
Parks	Civic Center Park – Turtle Garden	\$300,000		Conceptual design in progress	Outdoor recreation, community building	\$ 300,000		\$300,000
Pools	King Pool Tile and Plaster Replacement	\$350,000		Not started	Outdoor recreation and fitness, community building	\$ 350,000		\$350,000
Waterfront	Piling Replacements	\$1,200,000	\$2.5M Total Project/ This would replace worst	Design underway	Marina safety, outdoor recreation	\$ 1,200,000		\$1,200,000
	D and E Dock Replacement	\$500,000	\$6M Total Project/ \$5.5M in State Loan	Not Started	Energy efficient upgrades, Marina safety, outdoor recreation	\$ 500,000	\$ -	\$500,000
	K Dock Restroom Renovation	\$400,000		Not Started	Energy efficient fixtures	\$ 75,000	\$ 325,000	\$400,000
	Cesar Chavez Park - New Restroom (on	\$350,000	Utility hook ups as part of Marina		Cleaner environment, energy			
	Spinnaker)		Streets Project	Not Started	efficient fixtures	\$ 50,000	\$ 300,000	\$350,000
	Subtotal - PRW	\$17,150,000				\$ 7,025,000	\$ 10,125,000	\$17,150,000
Streets	T1 Streets Contribution to Annual Street Paving: Street Reconstruction of Arterials/Collectors and Vision Zero, Bus Network, and Bike/Ped Plan Improvements	\$6,750,000	Accelerate Paving Improvements Citywide	Need coordination with TC, PWC and bike groups	Bus and bike network	\$ 3.750.000	\$ 3,000,000	\$ 6,750,000
	Bollard Conversion to Landscaping	\$150,000	Conversion of Bollards to Planter/Garden Boxes		Community building	\$ 150,000	3,000,000	\$ 150,000
Sidewalks	Sidewalks Maintenance & Safety Repairs	\$1,850,000	Accelerate Sidewalk Improvements Citywide	50/50 list	Pedestrian access	\$ 1,500,000	\$ 350,000	\$ 1,850,000
Pathways	Pathway Repairs/Improvements	\$200,000	Repairs and improvements to pathways, including handrails	Coordinate with Path Wanderers	Pedestrian access, Disaster preparedness	\$ 200,000		\$ 200,000
Storm	Stormwater Infrastructure Repairs/ Replacement	\$600,000	Repair and Replacement of failed storm drains at various locations		Water quality	\$ 600,000		\$ 600,000
	1947 Center Street Improvements: Seismic Upgrade Design HVAC/Electrical, Control Upgrades		Safe, Sustainable and Resilient Improvements 1947 Center St	Design \$150,000 COVID critical	Disaster preparedness, energy efficient building systems, air quality	\$ 1,800,000		\$ 1,800,000
Facilities	Fire Stations FS2 - HVAC, Electrical, Bedrooms, Security, Solar, Roof FS6 - Windows, Energy Efficiency		Emergency Response Fire Station 2 Fire Station 6		Community safety, energy efficient building systems	\$ 200,000	\$ 2,550,000	\$ 2,750,000

Project Area	Site Description	Total Cost	Notes	Status	Sustainability/Resilience	Phase 2a Apr 2021 to Mar 2024	Phase 2b Nov 2022 to Oct 2025	Total
Facilities	PW Corp Yard Facililty Assessment Gate, Paving, Parking, Fuel Island Wash Station Compliance Green Room Lockers, Bathroom Training Room, Floor, Cabinets Storage Room - Roof Repail		Safe, Sustainable and Resilient Improvements City Corp Yard	Design \$200,000 Assessment needed first	Community safety, energy efficient building systems, electric vehicle charging	\$ 1,300,000	\$ 1,550,000	\$ 2,850,000
	Oxford & Telegraph Channing Garage Restrooms	\$300,000	Added by PWC	TCG will coincide with elevator replacement		\$ 300,000		\$ 300,000
	Emergency Power Supply Solar Batteries Subtotal - PW	\$500,000 \$17,750,000	Added per PWC	Need assessments, designs/redesigns	Engergy Efficient Building Systems	\$ 100,000 \$ 9,900,000		\$ 500,000 \$ 17,750,000

Total \$53,250,000 \$19,475,000 \$33,775,000 \$53,250,000

Revenue	
Bonds sold	65,000,000
Interest	2,000,000
	67,000,000

Expenditures	Phase 2a	Phase 2b	Total
Projects	\$19,475,000	\$33,775,000	\$53,250,000
Staff/FESS	\$4,260,000	\$2,840,000	\$7,100,000
Art	\$300,000	\$350,000	\$650,000
Phase 1	\$6,000,000		\$6,000,000
Total	30,035,000	36,965,000	\$67,000,000

Bond sale	Phase 2a	Phase 2b	Total
Interest (est.)	896,567	1,103,433	2,000,000
Bonds needed (est.)	29,138,433	35,861,567	65,000,000



CONSENT CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Councilmember Terry Taplin (Author), Councilmember Rigel Robinson (Cosponsor), Councilmember Mark Humbert (Cosponsor)

Subject: 51B BRT + University/Shattuck Corridor Mobility Improvements

RECOMMENDATION

- 1) Refer to the City Manager commencement of a feasibility analysis and community engagement process to develop options for the implementation of Bus Rapid Transit (BRT) improvements along AC Transit's 51B route; options are to be developed in tandem with internal city departments, including Public Works, Fire, Police Traffic Unit, and Economic Development, and interagency partners, including AC Transit, the Alameda County Transportation Commission, BART, Caltrans, UC Berkeley, and WETA; community engagement is to emphasize students, transportation advocates, transit riders, the disability rights community, the faith community, the senior community, local merchants, the business community, the arts community, and tenants; consultation with AC Transit and UC Berkeley Bear Transit on planning, scoping, and implementation is to begin as soon as possible; staff are encouraged to explore and pursue quick build improvements.
- 2) Refer \$150,000 to the FY 2024-2025 budget process to increase the budget for the city's ADA Transition Plan capital project to prioritize and implement ADA improvements at the city's intersections, such as curb cuts, auditory functions of crossing signals, bulb-outs, shortening crossing distances, and other safety improvements.
- 3) Refer \$150,000 to the FY 2025-2026 budget process for consulting costs to conduct corridor studies along University Avenue, from Seawall Drive, to Oxford Street, and along Oxford Street and Fulton Street, from Virginia Street to Durant Avenue, to identify appropriate road safety improvements that advance city-adopted safety, transportation, and climate goals and are continuous with work currently underway on the Addison Bicycle Boulevard, and explore improvements for curb management, i.e. accessible parking (blue curbs), management of curb space for third party delivery service, etc.

POLICY COMMITTEE RECOMMENDATION

On July 19, 2023, the Facilities, Infrastructure, Transportation, Environment & Sustainability Committee adopted the following action: M/S/C (Harrison/Robinson) to send the item to the full Council with a positive recommendation. Vote: All Ayes.

BACKGROUND

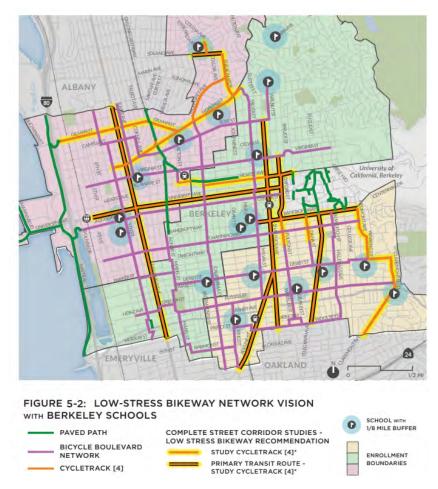
Existing Transit Lanes

Currently, Berkeley has a transit lane on Bancroft Way between Telegraph and Downtown that is used by westbound buses, and a transit lane is planned for Durant Ave for eastbound buses. Bus lines using these lanes continue on to Shattuck, University, and Telegraph.

Shattuck, University, and Telegraph Avenues

Berkeley's University Avenue runs West to East from the Berkeley Marina and I-80 Freeway to its termination at UC Berkeley's Crescent Lawn. University Avenue is dubbed the "Gateway to Berkeley" due to the location of the city's lone Amtrak Station at the intersection of Fourth Street, the avenue's proximity to both the North Berkeley and Downtown Berkeley BART stations, the regularly congested I-80 exit onto the avenue, and the service of AC Transit's 51B, 52, 79, 88, 802, and FS lines. University Avenue is a wide street with two travel lanes in each direction, parking lanes, turn pockets, and a center median.

As the map below illustrates, the intersections of Ninth Street at University and Addison, respectively, are especially critical for safety at Rosa Parks Elementary.



2017 Bicycle Plan

Berkeley's Shattuck Avenue runs North to South from Indian Rock Park in the Berkeley Hills to 45th Street in Oakland near the intersection of Telegraph Avenue. Shattuck Avenue serves as the main street of Berkeley, running through its Downtown, which is home to the Downtown Berkeley BART Station, AC Transit and Bear Transit stations, and various restaurants and office spaces.

Telegraph Avenue, from Woolsey Street on the Oakland border up through Dwight Way near UC Berkeley, is in the midst of its own Multimodal Corridor Project¹ that may result in BRT infrastructure in the coming years. Should this project be completed or significantly underway at the time of the development of BRT plans for Shattuck and University Avenues, close attention should be paid to its initial impacts, successes, and failures so that future applications of BRT infrastructure build on these lessons.

Bus Rapid Transit

While diverse in their application around the world, Bus Rapid Transit is typically a transportation corridor that prioritizes fast and efficient bus service that may include dedicated bus lanes, traffic signal priority, elevated platforms, and off-board fare collection.² There is no one-size-fits-all approach to BRT and a University Avenue BRT is sure to look different than it might on Telegraph Avenue or International Boulevard in Oakland. However, pursuit of a quicker and more efficient bus corridor along University should result in dedicated bus lanes and elevated platforms at existing AC Transit stops. Most transit planners consider center running bus lanes--such as provided on International Boulevard and Van Ness Avenue in San Francisco--as more effective than curbside bus lanes. However, this would have to be determined in the course of planning the project. Relative to other rapid transit improvements such as light rail, BRT's advantages include lower upfront capital requirements, a higher degree of flexibility in their application, and a much quicker implementation timeline.³

¹https://berkeleyca.gov/your-government/our-work/capital-projects/telegraph-avenue-multimodal-corridor-project#:~:text=The%20Telegraph%20Avenue%20Multimodal%20Corridor,bike%20lanes%2C%20and%20transit%20improvements.

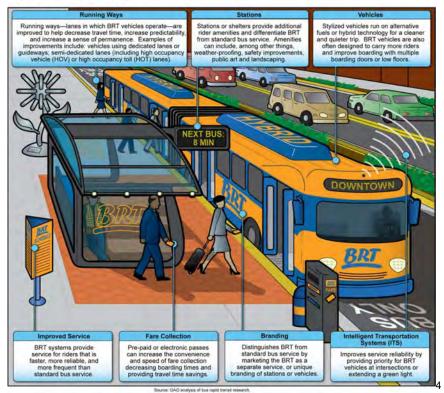
² https://www.transit.dot.gov/research-innovation/bus-rapid-transit

³ https://digitalcommons.usf.edu/cgi/viewcontent.cgi?article=1023&context=jpt



Van Ness Avenue, San Francisco

Figure 1: Characteristics of Bus Rapid Transit



⁴ https://www.gao.gov/blog/2016/04/13/rapid-buses-for-rapid-transit

Population Trends

According to the City of Berkeley's 2023 Housing Element Update,⁵ the city's population has grown steadily since 2000, increasing approximately 9% each decade. The Department of Finance estimates that the city's population was 122,580 in 2020. The Association of Bay Area Governments' Plan Bay Area 2040 projections anticipate Berkeley's population to reach about 136,000 by 2030 and 141,000 by 2040.

Pedestrian Collisions

The City of Berkeley's 2020 Pedestrian Plan⁶ determined that Shattuck and University Avenues represent two of the top five streets with pedestrian collisions between 2008 and 2017, ranked first and fifth, respectively, as well as two of the top four streets with fatal or severe pedestrian collisions in the same time period, ranked first and third (tied) respectively.

AC Transit

In AC Transit's 2019 Annual Report⁷, they reported a systemwide ridership of over 53 million customers, reflecting a 2.5% increase (1.28 million riders) over the previous year. This occurred at a time when major transit providers nationwide reported a ridership decline of 2.8%. Key factors attributed to this growth included proactive efforts to maintain high service levels, adding service frequency, and a robust local economy. That same year, AC Transit released its first Strategic Plan⁸ in about 20 years. In April of 2022, an Addendum⁹ was added to address the effects of the ongoing COVID-19 pandemic.

The pandemic has had an enormous impact on transit operations and economic activity. In 2020, fewer people needed to ride the bus, whether to commute to work or get around the city for personal errands and activities. Schools and colleges closed their campuses and several office workers began working from home. Although there has been a recovery in ridership¹⁰ beginning in 2021, pre-pandemic levels have not been reached. Fiscal Year 2021-2022 saw an annual ridership of almost 29 million customers, which was a 36% increase (7.6 million riders) over the previous fiscal year. Service is at around 85% of pre-pandemic levels, which is the equivalent of deleting one out of every seven trips.

Feedback Received

The District 2 Council office has solicited feedback from businesses, organizations, and othercommunity members through several in-person and virtual listening sessions, meetings, emails, and phone calls in the development of this item.

⁵https://berkeleyca.gov/sites/default/files/documents/Combined_HousingElementFinal_redline.pdf

⁶https://berkeleyca.gov/sites/default/files/2022-01/2020-Pedestrian-Plan.pdf

⁷https://www.actransit.org/sites/default/files/2021-03/0017-20%20Annual%20Report%202019_small_FNL.pdf

⁸https://www.actransit.org/sites/default/files/2021-03/AC%20Transit%20Strategic%20Plan.pdf

⁹https://www.actransit.org/sites/default/files/2022-12/0230-22%20Strat%20Plan%20Adden_FNL.pdf

¹⁰https://www.actransit.org/ridership

Opposition from some participants includes concerns about transit priority lanes, bulbouts, loss of on-street parking, loss of median trees, and cycling improvements of any kind, as well as assigning blame to public transit for business closures in San Francisco.

Support from some participants includes stances in favor of drivers having to slow down and not drive recklessly, reducing our transportation greenhouse gas emissions, reducing our reliance on vehicles, and improving and incentivizing public transit, therefore reducing the fiscal impact of owning and maintaining a vehicle.

Other participants want a greater emphasis on uniform ADA improvements at major intersections city-wide, for standard ADA guidelines to be the floor for improvement considerations, as they often do not account for issues such as not enough room on raised platforms for multiple wheelchair users or fatigue due to inclines, and for the Fire Department to be involved every step of the way in order to review potential impacts to disaster and emergency responses.

The District 2 Council Office has also solicited feedback from city staff and partner agencies. AC Transit has emphasized their desire to strengthen interagency collaboration throughout this process and has highlighted our inclusion of language that specifically states that not every type of BRT improvement can work at every intersection along a route. The Fire and Public Works Departments have also voiced their support of being involved throughout the process, with Director Garland generously providing the updated language for Recommendation #3 in this report, regarding ADA improvements.

Responses to Feedback

The June 2023 revisions to this item incorporated significant additions to address concerns with respect to the Americans with Disabilities Act (ADA). Uniformity and consistency are key features of accessibility improvements. The Fire Department will also be closely integrated into the scoping and planning of any corridor study.

Feedback from some opponents illustrates that infrastructure upgrades, that are nevertheless consistent with already-existing City Council policy on Complete Streets, may modify motorist behavior in ways that are conspicuous and consciously involuntary rather than incentivized by reflex or instinct. It is important to underscore that certain notifications to motorist behavior, such as slower speeds, are an intentional outcome of street improvements to reduce serious injuries and fatalities.

For example, surveys on other commercial corridors in San Francisco¹¹ and Oakland¹² have shown initial overestimations of the share of corridor patrons who arrive by personal motor vehicle vs. transit, walking, or other modes. Additionally, research has demonstrated that demand-based pricing for parking can reduce Vehicle Miles Traveled by reducing time spent searching for parking.¹³ In Downtown Berkeley, the new Center Street Garage in particular has a surplus of vacant parking spaces throughout the day and has yet to regain pre-pandemic revenues. To the extent that public policy is concerned with convenience for motorists one way or another, it is important to focus on the availability or elasticity of vacant parking rather than its gross supply. This paradigm is compatible with the City's ongoing efforts to maximize the positive externalities of reduced VMT and pedestrian safety, as exemplified in the Climate Action Plan and Vision Zero Action Plan.

The community has been clear that a vibrant, mixed-use corridor such as University Avenue will need to carefully balance the need for loading zones and curbside management to accommodate commercial uses while ensuring safe access for all road users and improving public transit reliability. Neglecting this reality would risk illegally double-parked vehicles thwarting any traffic-calming efforts. Therefore, Staff's consultation with merchants and logistics experts will be critical for maintaining a safe and harmonious environment for the variety of uses along the corridor. Traffic fatalities and increasing automobile dependence are not only an unacceptable cost to pay for economic development; implementing evidence-based solutions for congestion and safety can and should foster a thriving environment for local commerce.

There is no empirical evidence showing that the business closures in downtown San Francisco were caused by public transit improvements. San Francisco retailers have blamed recent closures on a variety of factors ranging from crime to online shopping or remote work, but not public transit.¹⁴ To the contrary, as cited above, surveys have found that public transit is essential for a significant share of customers shopping in commercial corridors.

RATIONALE

City of Berkeley Plans

¹¹ https://sf.streetsblog.org/wp-content/uploads/sites/3/2013/08/Geary-Presentation-Mar-07_31_13.pdf

¹² https://www.ocf.berkeley.edu/~abroaddu/wp-content/uploads/2015/01/FINAL-REPORT.pdf

¹³ Shoup, D. C. (2006). Cruising for parking. Transport policy, 13(6), 479-486.

¹⁴Li, R. & Whiting, S. (2023). Westfield mall blamed 'rampant criminal activity' for Nordstrom closing in S.F. Here's what the data says. San Francisco Chronicle. Retrieved from

https://www.sfchronicle.com/sf/article/westfield-mall-blamed-nordstrom-closure-criminal-18076486.php

The City of Berkeley's Climate Action Plan,¹⁵ adopted in 2009, envisions public transit, walking, cycling, and other sustainable mobility modes as the primary means of transportation for residents and visitors. To do so, it lists various goals, such as increasing the safety, reliability, and frequency of public transit and managing parking effectively to minimize driving demand and encourage and support alternatives to driving. It also addresses the fact that transportation emissions are the largest source of greenhouse gas emissions, a trend that has continued as of the 2019 Greenhouse Gas Inventory.

The Berkeley Strategic Transportation Plan¹⁶, adopted in 2016, envisions the city's streets, sidewalks, and pathways as multimodal, serving people walking, bicycling, riding transit, driving, and moving goods. To do so, it lists various goals, such as encouraging people to walk, bicycle, and ride transit, improving transit efficiency, designing street networks that ensure comfortable, safe environments for users of all abilities, and prioritizing transit services along transit routes.

The City of Berkeley's Strategic Plan¹⁷, adopted in 2018, includes long-term goals such as providing state-of-the-art, well-maintained infrastructure, amenities, and facilities, creating a resilient, safe, connected, and prepared city, and fostering a dynamic, sustainable, and locally-based economy. That same year, the city declared a climate emergency and committed to mobilize to end greenhouse gas emissions swiftly.

The Berkeley Vision Zero Action Plan¹⁸, adopted in 2019, is a strategy to eliminate all traffic fatalities and severe injuries while increasing safe, healthy, and equitable mobility for all. To do so, it lists various goals, such as creating safer transportation options for people who walk, bike, and take transit, which would make these modes more attractive and reduce the number of car trips in Berkeley, which can mean fewer severe and fatal collisions.

AC Transit's Recovery

Supporting AC Transit's recovery enhances the mobility and safety of Berkeley residents while simultaneously improving the walkability and bikeability of the city as well as breathing life into the local economy.

Any successful transportation project that seeks to increase the speed and reliability of AC Transit service in Berkeley will need to serve a longer route than the single relatively short corridor segment within Berkeley. There are several transit corridors within Berkeley connecting to other cities that AC Transit has identified as needing upgraded types of service. It would be important for the city to work with AC Transit to identify the routings which would be the most productive.

Shattuck, University, and Telegraph Avenues

¹⁵https://berkeleyca.gov/sites/default/files/2022-01/Berkeley-Climate-Action-Plan.pdf

¹⁶https://berkeleyca.gov/your-government/our-work/adopted-plans/berkeley-strategic-transportation-best-plan

¹⁷https://berkeleyca.gov/sites/default/files/2022-01/Berkeley-Strategic-Plan.pdf

¹⁸https://berkeleyca.gov/sites/default/files/2022-02/Berkeley-Vision-Zero-Action-Plan.pdf

The central location of University Avenue and the variety of communities it connects makes this corridor an incredibly important focus for the city's housing and transportation planning for the coming decades. University Avenue has had a number of housing developments completed recently, with additional developments under construction. With University Avenue likely seeing a growth in new housing development under the forthcoming Housing Element, it is important for Berkeley's transportation infrastructure to keep up with the changing needs of its old and new residents. On top of the expected growth in Berkeley's population and thus its transportation needs, climate change and the urgency of pedestrian and cyclist safety require that the transportation system of the City's future be one that prioritizes public transit and bicycle travel over the use personal automobiles. With this in mind, the 2017 Bicycle Plan recommends a Complete Streets Corridor Study for University Avenue.¹⁹

Furthermore, these three avenues are each unique and each present their own problems when considering the addition of BRT. The application of BRT on the downtown stretch of Shattuck Avenue, which could improve the service of AC Transit's 18 and various other lines which briefly serve Shattuck Avenue at the start and end of their routes, will require careful consideration of the already congested conditions of the street. The construction of elevated platforms on University Avenue as a pilot for BRT while completion of Telegraph Avenue's project is underway and Shattuck Avenue rapid transit is being considered will allow for some near-term service improvements while giving staff the time necessary to study how to bring multimodal improvements to the rest of the corridors as fastidiously as possible.

Breakdown of Recommended Improvements

Dedicated bus lanes improve travel speeds and reliability by reducing delays caused by other traffic. Transit signal priority uses technology to reduce dwell time at traffic signals for transit vehicles, such as extending the duration of green lights or shortening that of red lights. Raised platforms make it easier and more accessible for passengers to board or alight from buses by decreasing the distance between the platform and the vehicle, therefore increasing route efficiency.

ADA Compliance

The recommended improvements also help advance the city's goal of increasing mobility access for transit riders and cyclists with disabilities. ADA Accessibility Standards for transportation facilities are issued by the US Department of Transportation and include guidance for bus boarding and alighting areas, shelters, signs, and more.²⁰

Impact to Local Businesses and Economy

In addition to advancing various climate and public safety goals of the city, investing in bus and bicycle infrastructure benefits local businesses and the economy. The League

¹⁹https://berkeleyca.gov/sites/default/files/2022-01/Berkeley-Bicycle-Plan-2017_AppendixH_Complete%20Streets%20Corridors.pdf

²⁰https://federalist-e3fba26d-2806-4f02-bf0e-89c97cfba93c.app.cloud.gov/preview/atbcb/usab-uswds/ada-alternative/ada/#ada-810

of American Bicyclists's report entitled "Bicycling Benefits Business" illustrates that the bicycle industry and its related transportation, tourism, and health benefits spur job creation, economic activity, and cost savings. The Outdoor Industry Association reported that outdoor recreation consumers spend \$887 billion annually and create 7.6 million jobs. 22

The National Institute for Transportation and Communities published a peer-reviewed study examining BRT lines and found that the areas within a half-mile of BRT corridors increased their share of new office space by one third from 2000-2007, and new multifamily apartment construction doubled in those half-mile areas since 2008.²³ PolicyLink released a report entitled "Business Impact Mitigations for Transit Projects" that address BRT projects, concluding that best practices include providing the right type of financial and technical assistance and proactive outreach to businesses built on constant communication, flexibility, and trust.

ENVIRONMENTAL IMPACTS

The City estimates that transportation-related emissions accounts for approximately 60% of our community's total annual greenhouse gas emissions.²⁵ By encouraging alternatives to car transportation by making public transportation options quicker and more appealing, policy stands to lower the emissions from our community's dominant source of carbon emissions.

The goal of any new public transportation initiative must be to increase the local mode share of residents choosing public transportation over personal automobiles for commuting and other trips.. BRT offers many advantages for this pursuit. The U.S. Government Accountability Office reviewed implemented BRT projects in 2012 and found that "13 of the 15 project sponsors...reported increases in ridership after 1 year of service and reduced average travel times of 10 to 35 percent over previous bus services." Additionally, a 2013 study of Fruitvale and Ashby BART stations found that improved bicycle facilities such as protected bike lanes and secure bike storage increased the bicycle mode share of BART commuters. Paired with the multimodal project along Telegraph Avenue, Berkeley has the potential for a large increase in transit ridership and thus a decline in greenhouse gas emissions if the City follows through on BRT in the coming years.

 $^{^{21}} https://bikeleague.org/sites/default/files/Bicycling\% 20 Benefits\% 20 Business.pdf$

²²https://outdoorindustry.org/resource/2017-outdoor-recreation-economy-report/

²³https://t4america.org/wp-content/uploads/2016/01/NATIONAL-STUDY-OF-BRT-DEVELOPMENT-OUTCOMES-11-30-15.pdf

²⁴https://www.policylink.org/sites/default/files/FINAL%20PolicyLink%20Business%20Impact%20Mitigation%20Strateg ies 0.pdf

²⁵https://www.cityofberkeley.info/Clerk/City_Council/2018/12_Dec/Documents/2018-12-06_WS_Item_01_Climate_Action_Plan_Update_pdf.aspx

²⁶ https://www.gao.gov/products/gao-12-811

²⁷ Cervero, R., Caldwell, B., & Cuellar, J. (2013). Bike-and-ride: build it and they will come. Journal of Public Transportation, 16(4), 83-105. https://www.sciencedirect.com/science/article/pii/S1077291X22017611

FISCAL IMPACTS

Staff and consultant costs. An estimated \$150,000 for consulting costs to conduct corridor studies, an estimated \$150,000 to increase the budget for the city's ADA Transition Plan capital project to prioritize and implement ADA improvements at the city's intersections, and costs associated with commencing a feasibility analysis and community engagement process for potential bus rapid transit improvements.

CONTACT

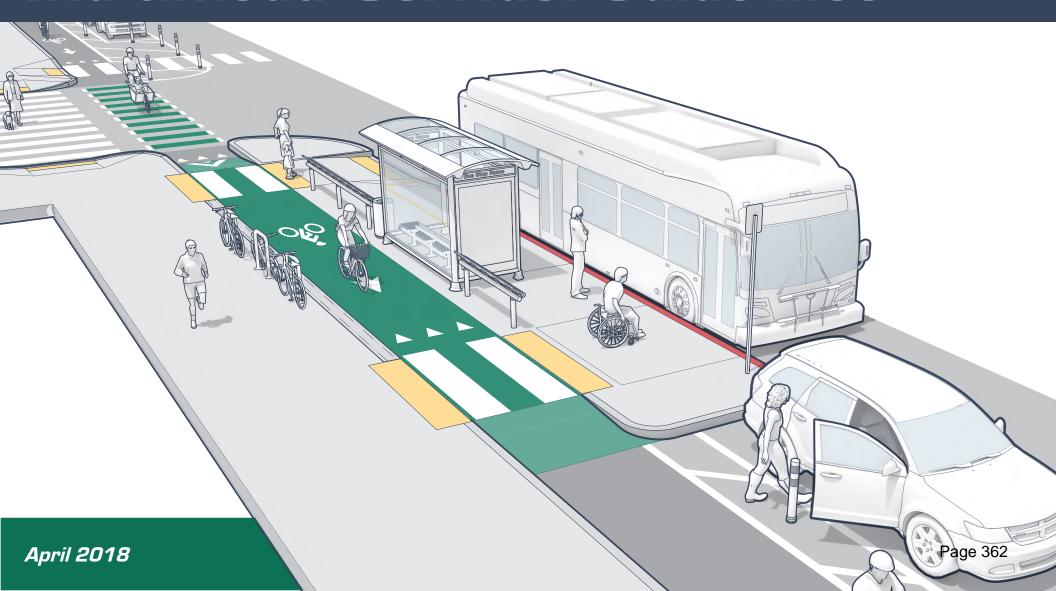
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ATTACHMENTS

- 1. AC Transit Multimodal Corridor Guidelines
- 2. Councilmember Kate Harrison's Budget Referral (11/12/19)



Multimodal Corridor Guidelines



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1.0 Guide Overview



Introduction

The AC Transit Multimodal Corridor Guidelines was developed to provide clear design standards for a range of typical roadway conditions to help ensure efficient transit operations, accommodate the needs of bicyclists, and facilitate safe access to and from bus stops for AC Transit passengers. This document offers guidance on design elements of bus stops adjacent to bicycle infrastructure. It is organized around five different typologies that vary based on the type of bicycle facility being considered and its location with respect to the curb, parking lane, and moving traffic. Ultimately, this guide will help create a more predictable, safe, and uniform experience for bus patrons, drivers, bicyclists, and pedestrians as they travel through the jurisdictions that comprise the Alameda-Contra Costa Transit District.

1.1 Goals of the Guide

A. Purpose

This guide has been developed to support the planning and design of bicycle facilities that will complement AC Transit's bus operations. AC Transit has set a goal to improve travel times and reliability on routes throughout its service area, especially on high-ridership corridors. The agency also seeks to promote safe pedestrian environments around its bus stops. This guide will help to establish a basis for collaboration on multimodal corridor projects with local jurisdiction staff and other stakeholders within the AC Transit service area. The guide draws from local, state, and national best practices guidance for multimodal corridor facilities while allowing for design flexibility to provide context-sensitive solutions.

The guide will address the following:

- Americans with Disabilities Act (ADA) requirements for bus stop access, bus boarding, and sidewalk clearance outlined in the Designing with Transit handbook
- Spacing needs at bus stops for buses entering/exiting and clearance from crosswalks outlined in the Designing with Transit handbook
- Complementary designs for transit and bicycle facilities to ensure projects are integrated from the outset
- AC Transit's preference for in-lane bus stops and far-side bus stops in most scenarios
- Corridor typologies that reflect the various types of places present in the AC Transit service area
- Best practices for transit operations and accommodations for transit customers and bicyclists in existing designs and for innovative facilities such as separated bike lanes
- Methods to reduce conflicts among bicyclists, buses, and pedestrians to ensure safety while maintaining efficient operations



 Guidance for designing bicycle facilities to increase bicyclist comfort and encourage more people of all ages and abilities to ride bicycles

The guide serves as AC Transit's official resource for planning and designing bus stops when accommodating bicycle facilities in transit corridors. The guide is intended to provide additional design guidance that supports existing planning and policy guidance published by the District. Therefore, this document should be used in conjunction with the Designing with Transit handbook and other approved policies or guidelines.

AC Transit hopes that this guide will serve as both an internal and external resource for local jurisdiction staff and developers when planning multimodal facilities and Complete Streets projects in the AC Transit service area. Complete Streets are generally defined as roadways built to enable safe travel for pedestrians, bicyclists, transit riders, and motorists. AC Transit will prioritize project support for projects that incorporate these design elements. These guidelines are a mechanism for AC Transit to clarify its roadway and curbside needs to stakeholders with the goal of streamlining the process of designing streets that support all modes.

B. Project Background

Multimodal corridors are major transportation facilities which accommodate auto, bus, bicycle and pedestrian travel. These corridors provide for travel across town and connect with the regional transportation system. Many cities and agencies in AC Transit's service area are expanding the reach of their multimodal corridors by designing and building innovative bicycle facilities along roadways. Many of these new bicycle facilities are built as Complete Streets projects which seek to enhance alternative modes of transportation, including bicycling, transit, and walking.

For cyclists, these new facilities can reduce the stress of riding a bicycle by providing physical separation from moving vehicles. However, there is an opportunity for Complete Streets designs to better address traditional bus transit operations. In the highly-constrained rights-of-way in Alameda and Contra Costa Counties, facilities such as separated bikeways, parking-protected bike lanes, or conventional bike lanes require reallocation of roadway space. This reallocation can be achieved by relocating or eliminating on-street parking and/or narrowing, realigning, or eliminating traffic lanes. In some cases, these changes have shifted the



travel lanes used by buses further from the curbside where bus stops are commonly located, creating challenging and time-consuming maneuvers for bus operators to pull in and out of traffic. Furthermore, the roadway configuration can induce buses to move in and out of bicyclists' path of travel, which affects both bicyclist safety and bus operations (often referred to as a "leap-frogging" effect). With rates of bicycling increasing and jurisdictions rapidly constructing bicycle infrastructure, minimizing conflicts between bicycle and bus operations is critical to the success of these bikeway facilities. Efficiently managing and reallocating roadway space for these specific users will benefit all people using the streets.

Among many considerations, a multimodal corridor should include bicycle facilities that do not impinge on overall bus travel speeds, ontime performance, or safety. Bus stop designs can separate bicyclists from buses by routing bicyclists behind bus stops to avoid bus-bicyclist conflicts. Also, restricting motor vehicle turning movements, a component of some bicycle facility designs, can reduce delay to buses by minimizing motor vehicle conflicts and queues. Bicycle facility projects may also restrict on-street parking in select locations or along entire blocks, which could reduce the likelihood of cars encroaching into bus stops.

AC Transit recognizes that healthy communities require safe pedestrian and bicycle facilities and effective bus services, often in the same corridors. The Bay Area needs regionally-focused guidance that reflects current best practices in reducing conflicts at bus stops and along corridors, promoting pedestrian and bicyclist safety in coordination with bus operations, maintaining or improving transit operations, providing travel time predictability, and recognizing the local context where bicyclists and buses share roadway space. AC Transit's Multimodal Corridor Guidelines addresses this gap in guidance in multimodal corridor design by offering templates for bicycle facilities that are compatible with high-quality bus transit service.

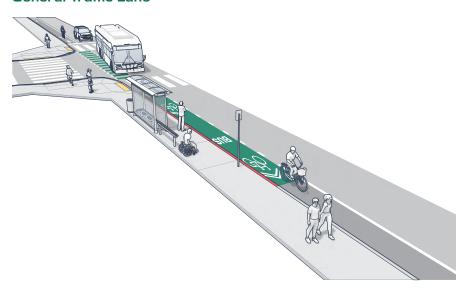
1.2 Guide Outline

The Multimodal Corridor Guidelines document is not a regulatory document. While much of the design guidance presented here represents best practices as published and endorsed by State and national agencies, the practices do not necessarily represent the adopted standards of these agencies. Therefore, users of these Guidelines should also consult regulatory standards such as the Caltrans Highway Design Manual¹ (for State facilities), the California Manual on Uniform Traffic Control Devices² (for State and local facilities), and any adopted local street design standards, to identify where design exceptions may apply.

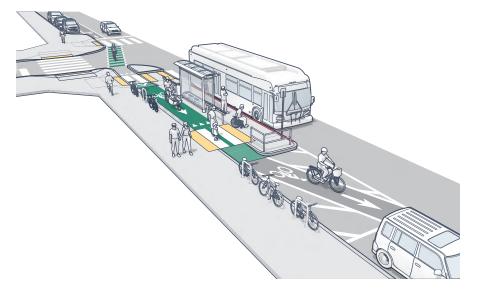
The guide begins with a discussion of general bus stop design elements related to stop spacing, location, design, and dimensions. A list of existing guidelines that may be referenced in conjunction with the Multimodal Corridor Guidelines is also presented.

Next, the guide presents five different bus stop typologies. These typologies vary based on the type of existing or proposed bicycle facility being located at the bus stop with respect to the curb, parking lane, and moving traffic. These bus stop typologies represent common contexts in the AC Transit service area. The five bus stop typologies are:

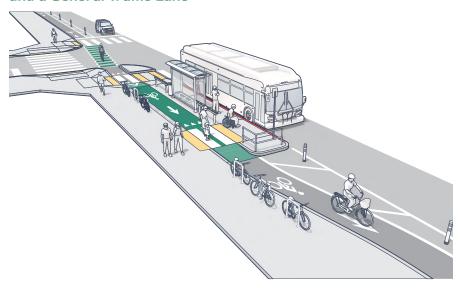
Typology 1 Class II Bicycle Facility between the Curb and a General Traffic Lane



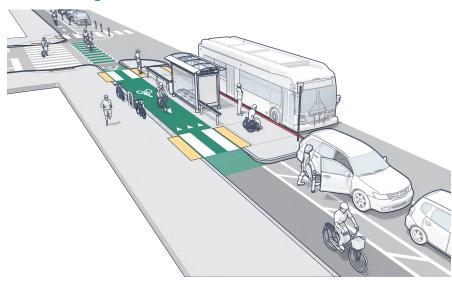
Typology 2 Class II Bicycle Facility between Curbside Parking Lane and General Traffic Lane



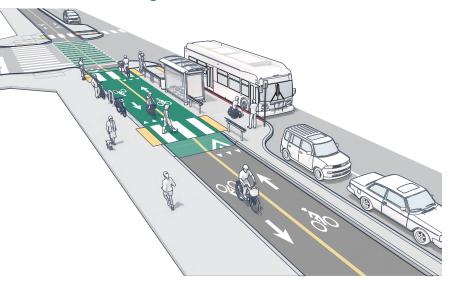
Typology 3 Class IV Bicycle Facility (Separated Bikeway) between the Curb and a General Traffic Lane



Typology 4 Class IV Bicycle Facility (Separated Bikeway) between the Curb and a Parking Lane



Typology 5 Class IV Bicycle Facility (Two-way Separated Bikeway) between the Curb and a Parking Lane



The guide concludes with a discussion on selecting the appropriate bus stop typology. Five guiding principles are presented to help jurisdictions understand the factors that should influence bus stop design and the relationships between these factors.

2.0 General Design Elements



The Guide supplements existing engineering practices and requirements to meet the goals of Complete Streets policies in the jurisdictions served by AC Transit. Design guidelines, standards, and other policies on Complete Streets, transit stops, and bikeways, have been published by local and national entities. In implementing the Guidelines, local agencies should consider any supporting documentation required to address existing local and State design standards. Ultimately, local agencies must evaluate, approve, and document design decisions.

Existing conditions in urban environments can be complex; design treatments must be tailored to the conditions present in individual contexts. Good engineering judgment based on comprehensive knowledge of multimodal transportation design, with special consideration to bicyclists, should be part of any multimodal design. Decisions should be thoroughly documented.

The following section (2.1) provides a summary of existing design guidelines that can be referenced when making planning and design decisions about local streets and roads. These resources provide a much wider breadth of information on designing Complete Streets, which fall outside the localized scope of this guidebook. Section 2.2 summarizes key elements of bus stop design, as they relate to the five bus stop typologies presented in this Guide.

2.1 Existing Guidelines

The following design guidelines, prepared by national and local bodies, are a selection of resources which closely relate to the Guide. These resources may be referenced in conjunction with the Guide when making planning and design decisions related to Complete Streets, bikeways, and transit.

AC Transit Bus Stop Policy

The AC Transit *Bus Stop Policy*³ outlines the District's standards for bus stop spacing, bus stop location, bus stop enforcement, and bus stop installation or removal. Some of these policies are reiterated in the Guide.

AC Transit Designing with Transit

The *Designing with Transit*⁴ handbook supports planning that is centered on transit access. The handbook is also intended to encourage multimodal transportation planning: planning and engineering which supports transit, walking, and bicycling, not just automobiles. The handbook is particularly focused on the often-overlooked needs and potential of bus transit, the most widely-used mode of transit. It outlines AC Transit's analysis of how the East Bay can be rebuilt in a more transit-friendly manner and aims to provide practical guidance about how these can be achieved through land use planning, development of pedestrian facilities, and traffic engineering.

DESIGNING WITH TRANSIT Making Transit Integral to East Bay Communities



Alameda CTC Central County Complete Streets Design Guidelines

The Alameda Central County Complete Streets Design Guidelines⁵ document helps ensure that Central Alameda County street designs consider the full range of users on every street and accommodate all users wherever possible. While the goal of these design guidelines is to help staff from the three Central Alameda County jurisdictions (San Leandro, Hayward, and Alameda County) clearly understand how to implement Complete Streets for each street type, for different modal priorities, and for varying contexts, the design guidance provided can be applied by jurisdictions throughout Alameda and Contra Costa counties. The Central County Complete Streets Design Guidelines build on the street typology developed as part of the Alameda County Transportation Commission (Alameda CTC) Multimodal Arterial Plan (MAP).



Caltrans Highway Design Manual

Caltrans encourages local agencies to develop designs that help ensure the needs of non-motorized users in all products and project development activities, including programming, planning, construction, maintenance, and operations.

Design guidance for bikeway projects is provided in Chapters 100, 200, 300, and 1000 of the Caltrans *Highway Design Manual*. Alternatives to bikeway design guidance must meet the criteria outlined in Section 891 of the California Streets and Highways Code.

Projects within State right-of-way must refer to Caltrans standards and guidance, including but not limited to:

- Caltrans Highway Design Manual
- Design Information Bulletin, Separated Bikeways
- · Design Information Bulletin, Caltrans ADA standards

AASHTO Guide for Development of Bicycle Facilities

The AASHTO *Guide for the Development of Bicycle Facilities*⁶ is the primary national reference for the planning and design of on-street bikeways and shared use paths. This guide represents AASHTO policy on bikeway planning and design, and addresses network planning principles, dimensions and treatments for bikeway design, and transitions between on-street bikeways and shared use paths. State DOTs and local jurisdictions often refer to this document when planning and designing bicycle facilities.

NACTO Urban Street Design Guide

A blueprint for designing 21st century streets, the NACTO *Urban Street Design Guide*⁷ provides a toolbox and tactics for cities to use to make streets safer, more livable, and more economically vibrant. The guide outlines both a clear vision for Complete Streets and a basic road map for how to bring them to fruition. The guide focuses on the design of city streets and public spaces, emphasizing city street design as a unique practice with its own set of design goals, parameters, and tools.

NACTO Transit Street Design Guide

The NACTO *Transit Street Design Guide*⁸ provides design guidance for the development of transit facilities on city streets, and for the design and engineering of city streets to prioritize transit, improve transit service quality, and support other goals related to transit. The guide sets a new vision for how cities can harness the immense potential of transit to create active and efficient streets in neighborhoods and downtowns alike.



NACTO Urban Bikeway Design Guide

The purpose of the NACTO *Urban Bikeway Design Guide*⁹ is to provide cities with state-of-the-practice solutions that can help create Complete Streets that are safe and comfortable for bicyclists. The *Urban Bikeway Design Guide* addresses treatments not directly referenced in the AASHTO *Guide for the Development of Bicycle Facilities*, although they are virtually all (with two exceptions) permitted under the *Manual on Uniform Traffic Control Devices* (MUTCD)¹⁰. The Federal Highway Administration has posted information regarding MUTCD approval status of all the bicycle-related treatments in this guide.

2.2 Bus Stop Design

It is AC Transit's policy to encourage counties, cities, and developers to coordinate with AC Transit when locating bus stops on roadways. However, AC Transit does not own or maintain the bus stop areas, and the local jurisdiction can make the ultimate decision to site the bus stop.

When properly located, adequately designed, and effectively enforced, bus stops can improve service without disrupting general traffic flow. Decisions regarding bus stop spacing and location call for a careful analysis of passenger service requirements (demand, convenience, and safety), the type of bus service provided (local, rapid, Transbay/express, or flexible service/community circulator), and the interaction of stopped buses with general traffic flow. The following sections summarize general bus stop design elements.

A. Bus Stop Spacing

Bus stops are designated locations for bus passengers to board and alight. Therefore, bus stops must be conveniently located to enable easy passenger access. Convenience and speed must be balanced in determining appropriate bus stop placement, as too many bus stops can slow down travel times. Outside of downtown areas, the ideal spacing of bus stops is 1,000 feet apart. This target has been established with the goal of increasing travel speed for AC Transit buses, and means that some existing stops may be eliminated. Passenger usage of bus stops is an important factor when considering bus stop placement or removal.

Bus stops should be close enough that passengers can walk to them easily, but far enough apart to help buses move quickly. Table 1 provides general guidelines for bus stop spacing. Some discretion may be applied when balancing AC Transit's interest in improving service and preserving traffic flow with consideration of passenger needs.

Service Type	Spacing (feet)	Explanation
Local (trunk, feeder, etc.)	800-1,300 feet	Stops may be located more closely than listed based on trip attractors, stop activity or demand, transfer points or other land uses that may warrant it.
Rapid	1,700-5,000 feet	Stops may be located more closely than listed based on trip attractors, stop activity or demand, transfer points or other land uses that may warrant it provided that the increased stops do not cause operational delays
Transbay/ Express	1,000-2,600 feet	Service may use local stops as necessary to provide geographic coverage and to minimize delay for longer-distance passengers.
Flexible or Community Circulator	TBD	Stops would be determined on a route by route basis and would consider trip attractors, transfer areas or other factors.

Table 1: AC Transit Bus Stop Spacing Guidelines (AC Transit Policy No. 508)

Table 1 lists AC Transit's intended bus stop spacing for the four different Service Types. It is AC Transit's preference to use the maximum bus stop spacing unless superseded by other determining factors such as topography (hills), limited access areas (freeways, bridges, airports), surrounding attractors, and transfer points. As a result, existing AC Transit routes may have stops that do not conform to the spacing criteria in this policy.

B. Bus Stop Siting

The optimal stop location should improve or minimize impact to bus travel times, maximize reliability and route efficiency, and be safe and accessible, while maintaining or enhancing bus passenger access to destinations and amenities. The siting of a bus stop not only impacts transit passengers, but also motorists, pedestrians, and bicyclists near the stop.

Multiple factors are used to determine the appropriate siting of a bus stop including:

Demographics and Land Use

Ridership – Assess both existing and projected boardings and alightings, as well as the ridership profile (for example, a large proportion of seniors or students) at the stop. Low-ridership stops, particularly those near higher-ridership stops, may be considered for consolidation or removal. The threshold for a low-ridership stop will be determined by comparing its ridership to that at other stops along the route, or by comparing with a similar bus route, while also considering the frequency of service provided at the stop.

Existing and Future Land Uses – Note sensitive land uses, including medical facilities, municipal buildings, senior housing, and major transit trip generators such as shopping malls, schools, and dense commercial or residential complexes. Stop locations may be adjusted or added to provide better access to passenger origins and destinations, although this determination will also be dependent on pedestrian connections and conditions.



Existing Service and Passenger Amenities

Bus Route Connections – Consideration should be given to maintaining and/or improving bus stops serving parallel or intersecting bus routes. Under certain circumstances, the relocation of an existing bus stop may be necessary, and doing so may increase the access distance for passengers transferring between intersecting routes. Priority should be given to relocating the stop in close proximity of its former location, thereby minimizing the additional distance a transferring passenger would have to walk between stops.

Passenger Amenities – Evaluate opportunities to add amenities to new or existing stops and maintain or upgrade amenities at existing stops. Many bus stop amenities are justified by high ridership and a desire to improve passenger comfort. Implementation of amenities such as lighting or real-time arrival displays may require a nearby power source or solar panels.

Pedestrian Environment

Connections and Condition – Sidewalks immediately at the stop and those providing access to the stop and surrounding area are an important consideration. When choosing a site to establish or relocate a stop, choose the widest, most level sidewalk near the desired location. Stops should also be located to maximize ridership. A designer will need to balance the demands of pedestrian connections and bus ridership.

Crossings – Where bus stops are located near pedestrian crossings, the crossing should be marked and preferably located behind the stop, so that passengers are encouraged to cross behind the bus. Ideally, crossings should be signalized, especially in high-traffic and high-speed environments. Intersections and at-grade driveway crossings should have ADA-compliant curb ramps.

Safety and Bus Stop Visibility

Lighting – Lighting should be provided at stops for the safety and security of bus patrons. Bus stop lighting simultaneously offers bus operators better visibility of waiting passengers. Lighting can be cast by pedestrian-scale light fixtures, lighted shelters, overhead street lights, or brightly-lit signs.

Sight Distance – Consider sight distance for transit passengers, bus operators, and other motorists. Avoid obstructions to sightlines between bus operators and passengers such as trees, signs, buildings, shelters, and topography.

For optimal sight distance between bus operators and other motorists, bus stops should not be located over the crest of a hill, immediately in or after a roadway curve to the right, or at locations that might reduce visibility between buses and other vehicles.

Speed Limit (MPH)	Sight Distance (feet)	
15	200	
20	265	
25	335	
30	400	
35	465	
40	530	
45	600	
50	665	

Table 2: Sight Distance for Siting Bus Stops

Adapted from AASHTO 2016 and AASHTO 2011.

Note: Assume a 9-second time gap is required for buses to re-enter traffic without undue interference to traffic flow.

Approaching vehicles need to have adequate visibility of stopped buses and buses entering or exiting a stop, particularly when stops are located in the travel lane. Similarly, bus drivers need to be able to see vehicles approaching from behind when exiting a stop. Table 2 provides the recommended sight distance for bus stops, given the posted speed limit. At a minimum, bus stops should be sited to meet the minimum stopping sight distance provided by AASHTO.

It is not recommended to place stops where there is inadequate sight distance, and existing stops with poor visibility should be considered for relocation or removal. In addition, stopped buses can impact sight distance for vehicles exiting side streets. Depending on the location of the stop relative to an intersection, different vehicular turn movements can be affected.

C. Spatial Location of Bus Stop

The specific location of a bus stop within the right-of-way is important for bus operations. A good bus stop location is one that is operationally safe and efficient for buses and is safe and convenient for passengers. The stop should be located where it causes minimal interference with pedestrian movements and other traffic, including bicycle traffic.

On-street bus stops are usually located along the street curb for direct safe passenger access to and from the sidewalk and waiting areas. Stops may be located on the far side of an intersection, the near side of the intersection, or at a point mid-block.

Far-side stops are stops located after an intersection in the direction of travel. They are generally preferred because they reduce conflicts between right-turning vehicles and stopped buses, eliminate sightdistance deficiencies on approaches to an intersection, and encourage

pedestrian crossing at the rear of the bus. Additionally, since Rapid and BRT routes use transit signal priority to expedite travel across an intersection, far-side stops are integral to Rapid and BRT route implementation. Also, far-side stops allow passengers to cross the street from multiple directions to access the bus boarding area, due to its location on the corner of the intersection.

Near-side stops are stops located before an intersection in the direction of travel. They are acceptable when a far-side stop is deemed unsafe or impractical. They may also be used when a stop serves multiple routes that go in different directions after the downstream intersection. Like far-side stops, the stop's location allows passengers multiple crossing locations to access the bus boarding area, due to the location on the intersection corner.



Mid-block stops are stops that are not located in the general vicinity of an intersection. They are typically considered in special cases and are to be used only when no alternative is available. AC Transit and the jurisdiction where the bus stop will be located must approve any mid-block bus stops. This stop location generally has poor access due to the lack of formal street crossings near the stop, sometimes inducing passengers to reach the bus boarding area by crossing at undesignated locations.

In the typologies presented in Section 3, the diagrams feature farside stops, as this is the stop location preferred by AC Transit. These typologies can be adapted to near-side or mid-block stops, if necessary.

D. Bus Stop Design

Floating bus stops are bus stops where the boarding platform is separated from the sidewalk by a bike lane. The bike lane is brought behind the bus stop to eliminate any potential conflict points between buses pulling into the stop and cyclists in the bike lane.

The appropriate width of a floating bus stop depends on many factors, including the width of travel lanes, width of bike lanes, and need for sidewalk space. A minimum width of eight feet is required for floating bus stops to ensure ADA-compliant access. However, where space permits, particularly for stops with large passenger volumes, a wider floating bus stop based on preferred dimensions may be designed.

The floating bus stop functions similarly to a bus bulb in that it allows the bus to stop in the travel lane. This design saves travel time for the bus by eliminating the need for the bus driver to merge in and out of traffic. The floating bus stop also provides a waiting area for passengers, and can relieve sidewalk congestion. This design may also save linear space compared to a traditional pull out bus stop, because when buses stop in the travel lane, pull-in or pull-out taper space is no longer required for buses to exit or enter the travel lane.



It is often a concern that buses stopping in traffic to serve a bus stop will slow traffic, but Federal Highway Administration studies show that stopping in the lane may actually increase traffic speeds on roadways with two travel lanes per direction (Kay Fitzpatrick, Kevin M. Hall, Stephen Farnsworth, and Melisa D. Finley: TCRP Report 65: Evaluation of Bus Bulbs (Washington, D.C.: Transportation Research Board, 2001), 2.). 12 Stopping in the travel lane reduces the phenomenon of bus drivers stopping with the bus protruding into traffic, thereby regularizing traffic flow. Typically, floating bus stops should not be installed on high-speed roads where the average travel speed is 35 miles per hour or greater, as stopping in the travel lane in such conditions may be unsafe.

On roadways with a single travel lane in one or both directions, local conditions, including vehicle volume and bus stop activity, should inform the use of floating bus stops. Floating bus stops may still cause the bus to partially block the travel lane when the bus boards and alights passengers. Therefore, motorists will need to wait for the bus to finish loading before they can progress. At a far-side stop, this wait time could cause cars to queue into the intersection and potentially block the intersection when the signal phase changes. Motorists may also try to divert around a stopped bus by entering the opposite-direction travel lane, which could be a safety concern.

AC Transit prefers that bus pullouts (turnouts) are avoided. Bus pullouts are generally detrimental to bus operations under most circumstances found in the AC Transit district and should be avoided. At a pullout, the roadway is widened just at the bus stop to channel the bus into a special curb lane. The bus then stops and serves the stop outside the travel lanes. Pullouts are generally not desirable for bus operations because they require the bus exit the traffic stream. Leaving the travel lanes can slow bus operations, particularly when the bus seeks to reenter traffic. Pullouts are generally designed for the convenience of other vehicles, not buses. Further, on Complete Street roadways with bicycle lanes, a bus pullout creates conflict with cyclists by requiring buses to fully cross the bike lane to pull in and out of the bus stop, as illustrated in the photo below.

Special cases where pullouts may be appropriate are unusually narrow roadways, such as those consisting of one very narrow travel lane (without a parking lane) in each direction. High-speed roadways without parking lanes may also be appropriate for pullouts. Further, there might be cases where bus pullouts could be useful for schedule adherence or layovers. However, these situations should be analyzed on a case by case basis. Finally, Transit Cooperative Research Program (TCRP) report 65 suggests pullouts for roads where traffic speeds are 40 mph and above.



E. Bus Stop Dimensions

The required length of a bus stop is made up of the following components. Depending on the configuration of the bus stop (i.e. in lane vs. pull-out stop, near-side stop vs. far-side stop), not all elements will be present. Therefore, the total space required for a bus stop will be informed by the design and placement of the stop.

Bus Stop – total distance/area required for a bus to safely and efficiently pull into a stop, stop and load/unload passengers, and pull away from the stop and return to the travel lane. (Pull-in Taper + Platform + Pull-out Taper)

Platform – the area where the bus comes to a complete stop against the curb and from/to which passengers board and alight.

Pull-in Taper – the distance/area required for a bus to decelerate and exit the travel lane to reach the bus platform.

Pull-out Taper – the distance/area required for a bus to leave the bus platform, accelerate, and reenter the traffic stream.

Clearance from Crosswalk – the distance/area required from the front or rear of the bus and the adjacent crosswalk to ensure pedestrians and drivers have adequate sightlines.

Bus Stop Length

In addition to the selection of an appropriate location, there are other important requirements for bus stops. The required length of a bus stop is determined by the type of stop, stop location, stop amenities, roadway speed limit, and the number and type of buses expected to use the stop. There must be enough curbside space to enable bus operators to pull the bus parallel to the curb, open the doors onto the sidewalk, and pull away from the stop into the travel lane. Providing bus stops with sufficient length also prevents buses from straddling crosswalks, which can block access for pedestrians.

Required bus stop lengths vary depending on several factors:

- Location of the stop relative to the intersection (far-side, near-side, or mid-block)
- Stop configuration
- Approach of bus turning movement
- Roadway speed, and thereby deceleration and acceleration space
- · Presence of crosswalks, on-street parking, and driveways
- Location of landscaping and street furniture along the sidewalk edge
- Number of buses serving and/or laying over at the stop

Because bus stop length will vary depending on the type and design of a specific bus stop, each typology presented in Chapter 4 includes a table detailing the dimensions required for that bus stop design. General design principles are described in the next subsections.

For buses that stop in the travel lane, the only consideration for the overall bus stop length is the platform itself, since no separate entering and exiting distance is required. The platform length is primarily determined by the size of the bus used on the route and the number of buses servicing the stop at peak hours.

At stops where the bus must pull out of the travel lane, the length required for a bus stop consists of three elements – the pull-in taper, platform/boarding length, and the pull-out taper. The stop must be long enough so that buses can not only stop there, but also get into and out of the stop easily. Adequate-length bus stops make it more likely that the bus driver will pull completely into the stop, rather than leave the back of the bus protruding into the travel lane. Because stopping flush with the curb is key for passengers with mobility impairments, providing a sufficiently long stop is an ADA issue.

Pull-In/Pull-Out Taper

Pull-in/pull-out taper applies only to curbside stops where the buses pull out of the travel lane. The length required for pull-in or pull-out taper is determined from the posted speed limit or prevailing speed, whichever is greater. If prevailing speed data cannot be collected, the posted speed limit should be used.

The stop location also affects the pull-in or pull-out taper distance required. Far-side stops do not require any additional pull-in taper because the bus can use the intersection to decelerate and pull into the stop. Conversely, for near-side stops, no pull-out taper is required because the intersection provides space to accelerate and merge back into the travel lane.

Platform Length

The length required for the platform is primarily a function of the type of bus the stop is designed to serve and the number of buses the stop must serve simultaneously. At a minimum, all AC Transit stops should

be designed to serve a 40-ft bus. On routes where articulated buses are used, stops should be designed to serve 60-ft buses. The length of a platform should increase if it is determined that the stop must accommodate multiple buses simultaneously. The Transportation Research Board provides guidance for determining when stops should be designed to accommodate multiple buses, based on the number of buses per hour, average dwell time, and adjacent intersection signal cycle times.

Stop Amenities

Stop amenities include bus shelters, benches/seating, wayfinding, fare vending machines, bike parking, trees/landscaping, trash cans, lighting, and other amenities that are located within the bus platform area. Stop amenities can help attract customers and increase passenger comfort, improve operational efficiencies, and foster local civic pride and economic development.

The presence of stop amenities, particularly bus shelters or other large amenities, may impact the required platform length. Bus shelters and other large stop amenities restrict the space available for passenger circulation and movement and may require that the platform length be increased. The ADA requires bus stop boarding and alighting areas at the front door landing area, and an accessible route between the landing area, sidewalk, and bus shelters. A clear zone at the first rear door is also required by AC Transit.

Crosswalk Clearance

For all far-side and near-side stops, clearance from the crosswalk is required for pedestrian safety. NACTO's guidelines recommend a minimum of 10 feet of clearance between the rear of the bus and the crosswalk at a far-side stop. With a near-side stop, a minimum of 10 feet of clearance between the front of the bus and the crosswalk is recommended.

F. Door Locations and ADA Access

AC Transit utilizes a variety of fleet types, including 30-ft, 40-ft, and 60-ft buses, which have two, three, or four doors, depending on the vehicle model. Landing areas and clear zones should be laid out to accommodate the bus fleet in operation. Landing areas and clear zones should be free of driveways, curb ramps, and obstructions such as utility poles, hydrants, and other street furniture. AC Transit's design guidelines recommend designing all stops with two door landing areas to accommodate the first two doors of all vehicles, regardless of vehicle length or model.

For the first door landing area, ADA guidelines require that a minimum width of 5 feet along the curb, and a minimum depth of 8 feet perpendicular to the curb, be provided at the landing area, to the extent feasible and within the control of the transit agency. The location of the landing area is primarily dependent on the siting of the stop relative to the intersection, and secondarily, on the availability of sidewalk space to accommodate an ADA-compliant landing area. The first door landing area should begin one foot behind the bus stop pole.

To accommodate rear door passenger activity, bus stops should also have a second door landing area. On AC Transit vehicles manufactured by Van Hool, the second door serves as the ADA-accessible ramp entrance. Therefore, providing a second landing zone is important to ensure that the stop is ADA-compliant. The second door landing area should be 11.5 feet wide along the curb, with a minimum depth of 8 feet perpendicular to the curb. The second door landing area should begin 12.5 feet behind the bus stop pole.

The critical path of travel for passengers at a bus stop is the connection between the landing area and the sidewalk and bus shelters. The ADA requires that there be an accessible route between these points. Sidewalks and bus shelters shall be connected to the landing area by an accessible route. This requirement means that a clear, unobstructed, ADA-compliant path of travel must be provided. AC Transit prefers a 4-foot wide path, although the ADA requires a minimum 3-foot wide path, which can be used in extenuating circumstances.

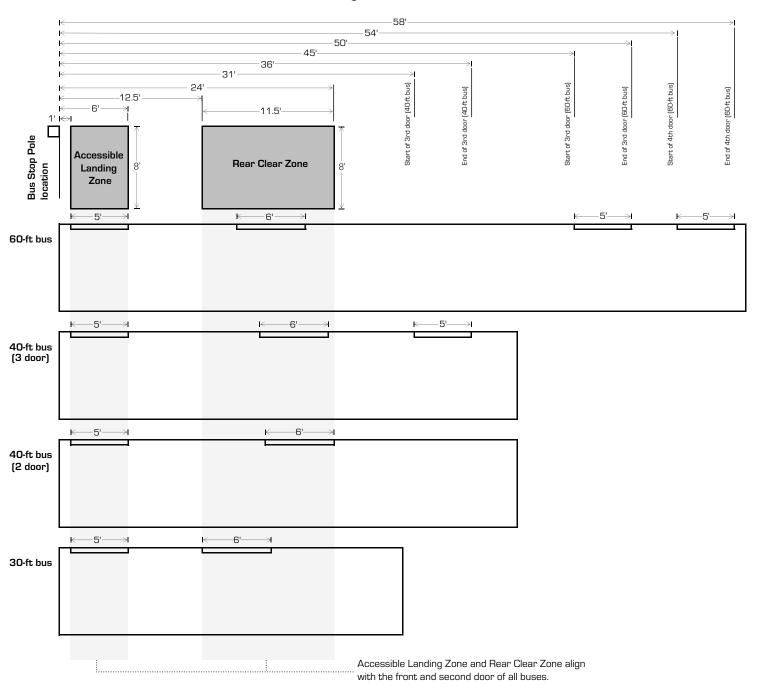


Exhibit 1: AC Transit Landing Area Dimensions of Common Bus Types

G. Bus Stop Pads

Bus pads are highly durable areas of the roadway surface at bus stops, usually constructed of concrete, that address the common issue of asphalt distortion at bus stops.

Conventional asphalt pavement is flexible, and can be moved by the force and heat generated by braking buses and trucks, leading to wave-shaped mounds along the length of a bus stop. This issue is pronounced at high-volume stops where dwelling buses further heat the roadway surface, as well as near-side stops in mixed-traffic lanes where trucks can add to wear.

Bus pads should be at least 8.5 feet wide to accommodate both wheels of a bus, but should be wider at locations without precision loading to provide consistent service when the bus does not pull fully to the curb. Bus pad length should be determined based on the length of the platform area.

At stops where the bus crosses a bike lane, the concrete bus pad should end at either the curbside edge of the bike lane or the outside edge of the bike lane (including its full width) to prevent the creation of a longitudinal joint within the bike lane. Bus pads should end before the crosswalk to prevent lateral or longitudinal pavement joints within the crosswalk. If a bus pad must be extended into the crosswalk, it should extend across the full width of the crosswalk to prevent joints between concrete and asphalt.

H. Curbs

The curb alongside the bus stop should be painted red to prevent cars from parking within the bus stop space or within the pull-in or pull-out zone that is required at traditional bus stops where buses must pull out of the travel lane. If cars are parked at a bus stop or within the pull-in or pull-out zone, then the bus will not be able to stop flush along the

boarding platform which is inconvenient and dangerous for passengers, and can prevent bus ramps from being deployed, resulting in ADA accessibility issues. Curb height and design should be informed by local conditions or design standards.

I. Service Type and Level of Service

Finally, the service type and level of service provided on a route and/or corridor should be considered when determining the design of bus stops and prioritizing capital improvements. AC Transit has identified eight primary service types operated by the District. These are outlined in AC Transit Board Policy No. 550.¹³

Trunk Routes and Major Corridors – These are the services operating on corridors where residential densities are at least 20,000 residents per square mile (or comparable commercial densities). Routes in these corridors provide the backbone of the transit system; operate along the arterial streets and provide a high level of local and limited stop service. These routes have the highest priority for capital improvements.

Rapid - Provides limited stop service along a Trunk Route or Major Corridor featuring wide stop spacing, headway based schedules, transit signal priority and passenger amenities. Underlying local service contributes to aggregate service frequency.

Urban Secondary, Crosstowns and Feeder Routes – These are the routes operating in medium density corridors (10,000 – 20,000 residents per square mile or comparable commercial densities). These routes complement the trunk route network, providing a high level of local stop service. These corridors also are candidates for capital improvements to assist in bus operations.

Suburban Crosstowns and Feeder Routes – These are the routes operating in low density corridors (5,000 – 10,000 residents per square mile). These routes feed BART, park and ride lots, or other AC

Transit routes, or serve neighborhood circulation functions with a high level of service.

Low Density Routes – These are primarily routes operating in areas of very low density (fewer than 5,000 residents per square mile).

Community Flex Services – These are primarily routes operating in areas of very low density, again, fewer than 5,000 residents per square mile, that provide a more flexible operation than traditional fixed route service.

All-Nighter (Owl) Routes – These are the routes providing service between 12 midnight and 6 am. All-Nighter routes operate as a lifeline service during the "owl gap" period.

Transbay Routes – These are the routes providing service to downtown San Francisco via the Bay Bridge Corridor.

These service types form a hierarchy of service both in terms of service investment (annual service hours) and ridership. Therefore, AC Transit's policy directs staff to prioritize capital investments for service types with the highest levels of service and highest ridership. Additionally, because the service type classifications closely correspond with service frequency and ridership, they can be used to inform the bus stop design, dimensions, and amenities.

Table 3 outlines AC Transit's service types, span of service standards, and weekday peak frequency standards.

Service Type	Span of Service Standard	Weekday Peak Frequency Standard	
Trunk and Major Corridors	19-24 hours daily	15-20 minutes	
Rapid	14-16 hours daily	10-14 minutes	
Urban Crosstown/ Feeder	14-16 hours daily	15-20 minutes	
Suburban Crosstown / Feeder	14-16 hours daily	21-30 minutes	
Very Low Density	14-16 hours daily	31-60 minutes	
All-Nighter (Owl)	Owl gap period	31-60 minutes	
Transbay	17-18 hours daily	21-30 minutes	

Table 3: Span of Service and Weekday Peak Frequency Standards

Adapted from AC Transit Board Policy No. 550

3.0 Typology Design Considerations



Properly-placed design elements are critical to a positive overall experience for transit users. When reviewing individual bus stops and their context, designers must consider a wide range of issues that are unique to each location. In many transit corridors, the adjacent streetscape design elements may also contribute to the bus stop design. Due to constrained right-of-way, it is not feasible or practical to include all design elements at each bus stop location. The placement and use of design elements at bus stops should maximize safety, visibility, and comfort for all users. Designers are encouraged to consult with AC Transit or local guidance for additional design considerations.

3.1 General Guidance for Context Zones

For the purposes of this guide, establishing context zones simplifies the process of defining the roadway cross section along a corridor. Zones establish a foundation for designers to appropriately locate design elements tailored to the different uses expected of a roadway user. Exhibit 2 illustrates each zone with subsequent text describing the relationship between the zones and the design elements that commonly contribute to multimodal bus stop design.

Pedestrian Zone - This zone is generally reserved for pedestrian mobility for users of all ages and abilities to access pedestrian oriented destinations.

Furnishing Zone - This zone is generally reserved for seating, bicycle racks, street lights, parking pay stations, stormwater infrastructure, street trees, transit shelters, trash receptacles, in addition various

utilities that support a multimodal environment. This zone can also be flexible and may vary between blocks and along a corridor.

Bus Stop Bypass Zone - This zone is generally reserved to route the bikeway around the rear of the bus stop between the furnishing zone and floating bus stop furnishing zone.

Bus Stop Furnishing Zone - This zone is generally reserved to function similar to the furnishing zone and may consist of seating, lean bar or railing, transit shelter, or vertical railings as space provides. The available width and length of the floating bus stop will determine the amount, type, and function of design elements placed in the floating bus stop furnishing zone.

Floating Bus Stop - This zone is generally reserved for users waiting in a dedicated space to access transit.

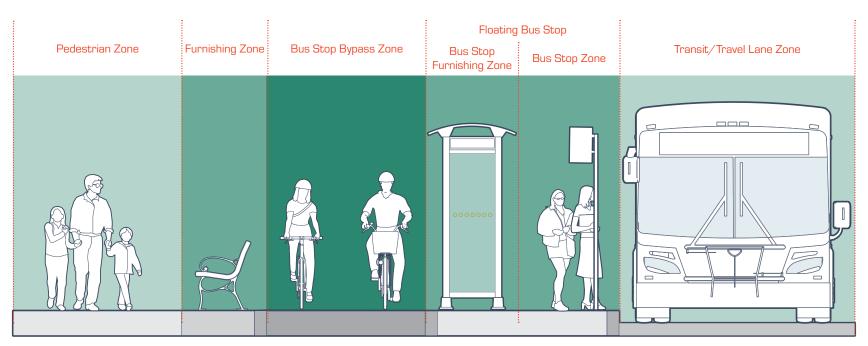


EXHIBIT 2: Context Zones

3.2 Design Elements

All bus stops should consider utilizing appropriate design elements to provide a safe, accessible, and high-quality transit experience. This section defines typical bus stop design elements either as standard, recommended, or optional. Standard design elements are typical of bus stops, bicycle facilities, pedestrian facilities, etc. Including recommended design elements should result in a high quality bus stop for all users. Design elements have been noted as optional to be sensitive to design preferences of jurisdictions.

Accessible Landing Pad (Furnishing/pedestrian zone or bus stop furnishing zone) - Standard

ADA guidelines require a minimum of 5 feet along the curb and a minimum depth of 8 feet perpendicular to the curb to be provided at the landing area. It should be a firm, stable surface, with a maximum 2% cross slope. The landing area should match the roadway running slope to the extent practicable and be parallel to the roadway.

Benches (Furnishing/pedestrian zone or bus stop furnishing zone) - Optional

Providing seating at bus stops is a pleasant amenity for transit users waiting for the bus. Benches may be stand-alone or integrated into a shelter. ADA does not provide guidance for outdoor benches, however the Proposed Guidelines for Pedestrian Facilities in the Public Right-of-Way (PROWAG) suggests that benches providing full back support and armrests better assist pedestrians with mobility impairments to sit and stand.



Bicycle Facility Elevation (Bus stop bypass zone) - Standard

Bicycle facilities may be provided at the same elevation with the sidewalk, at street level, or at an intermediate height with a 2- to 3-inch curb reveal between the sidewalk and street level. The appropriate elevation of the bicycle facility will often be based on known physical constraints or design feasibility. The advantages or disadvantages of these designs are discussed thoroughly in separated bike lane guidance. A designer should consult these references prior to choosing the appropriate bikeway elevation treatment.

Bicycle Racks (Furnishing zone or bus stop furnishing zone) -Recommended

Installing bicycle parking at bus stops increases a transit passenger's flexibility to park their bicycle and take transit. These decisions may be based on many external factors including distance, weather, convenience, and effort. This amenity improves first- and last-mile connections and can increase the desirability of combined bicycle and transit trips.

Furthermore, if the bus bicycle rack is at capacity, bicycle parking allows bicyclists to lock their bike if they choose. Bicycle racks should be placed outside of the path of travel at the bus stop and positioned so that no matter how a bicycle is locked, a one foot buffer from the bikeway and the edge of the locked bike will be maintained. Refer to the Association of Pedestrian and Bicycle Professionals (APBP) Bicycle Parking Guidelines for the appropriate type and placement of bike racks.

Essentials of Bike Parking: Selecting and Installing Bike Parking that Works. Association of Pedestrian & Bicycle Professionals. 2015.¹⁴

Bike Ramp (Bus stop bypass zone) - Standard

When the elevation of the bicycle facility changes at a floating bus stop, a smooth ramp transition should be provided to allow comfortable passage for bicyclists through the bus stop influence area.



Bus Shelters (Furnishing zone or bus stop furnishing zone) – Optional

Shelters provide a safe, secure, and comfortable space for users waiting for their bus. Shelters offer protection from inclement weather, and, in some cases, include lighting, heating, and opportunities for additional seating. Transit information, including route numbers, timetables, and, in some cases, maps, may also be provided at shelters.

The design of shelters should be simple, functional, and easy to maintain. The size of shelters will largely depend upon the amount of available space at a bus stop location.

Bus Stop Pole (Furnishing zone or bus stop furnishing zone) – Standard

Bus passengers need information to understand which bus routes will stop at their location. This pole and sign can also include information such as the route direction, schedule, etc.

Channelization (Bus stop bypass zone) - Recommended

Channelizing infrastructure can be designed to manage pedestrian and bicyclist movements between the travel lane, bikeway, and pedestrian facility. Pedestrians and bicyclists can be separately and effectively channelized by locating a vertical object (e.g., planter) to physically deflect and direct users to desired areas. For example, pedestrians could be channelized to designated crossings of the bikeway between sidewalk and floating bus stop. Effectively channelizing bicyclists and pedestrians through a bus stop can improve safety, provide maximum convenience, and enhance functionality.



Crosswalks (Pedestrian zone) - Standard

Crosswalks provide designated routes for pedestrians to cross another facility. Maintaining a pedestrian access route between the sidewalk, floating bus stop, and additional bus stop design elements is required. All crosswalks should be located to maximize visibility for pedestrians and of pedestrians by drivers and bicyclists. Bus stops should connect to a marked pedestrian crossing, preferably a crosswalk behind the stop, so that passengers are encouraged to cross behind the bus. Intersections and at-grade driveway crossings should have ADA-compliant curb ramps.

Detectable Warning Surface (Pedestrian zone) - Standard

The ADA requires that bus stop boarding and alighting areas shall be connected to streets, sidewalks, or pedestrian paths by an accessible route. Detectable warning surfaces provide a tactile and noticeable message that a change of environment will occur between these areas.

Green Colored Pavement (Bus stop bypass zone) - Optional

The consistent use of green colored pavement may be used to delineate the bicycle zone or to emphasize areas of potential conflict. An alternative option is to use contrast to mark the separate zones, such as different colored concrete, or using asphalt for the bikeway and concrete for the floating bus stop and sidewalk.

Green colored pavement may be considered for optional use in marked bicycle facilities and in extensions of bicycle facilities through intersections and other traffic conflict areas. The use of dashed green colored pavement indicates merging areas for the bicycle facility and vehicular traffic. Solid green colored pavement may be used to designate the bike lane zone

Lean Bar or Lean Rails (Pedestrian/Furnishing Zone or bus stop furnishing zone) – Optional

Lean rails may be used in place of traditional benches. These amenities establish a narrow barrier between the bus island and the bus stop bypass to deter transit passengers from crossing the bicycle facility in non-designated spots. They also invite passengers to use these amenities casually as they wait for their bus.

Lighting (Furnishing Zone or bus stop furnishing zone) – Recommended

Bus stop lighting provides safety and security for all users while also increasing visibility of waiting passengers for bus operators. Sufficient illumination can be achieved with pedestrian-scale fixtures, lighted shelters, and street lights. The Illuminating Engineering Society provides guidance on how much illuminance to provide. Refer to Illuminating Engineering Society (IES), Roadway Lighting RP-8-14. 2014.¹⁵

Railings (Bus stop furnishing zone) - Optional

Vertical railings may be useful at channelizations (bus stop bypasses), as they establish a barrier between the bus island and the bicycle facility routing behind it, deterring transit users from crossing the bicycle facility in non-designated locations.

Rear Landing Area (pedestrian/furnishing zone, bus stop furnishing zone) – Standard

The clear zone is the area where the back doors of the bus open onto the sidewalk or floating island. AC Transit requires bus stops to have a clear zone for the first rear door. The clear zone should be free of driveways, curb ramps, and obstructions such as utility poles, hydrants, and other street furniture. Although there is no requirement for the clear zone to be ADA-compliant, it is desirable, and at a minimum should be a level surface area. The clear zone should be 11.5 feet wide by 8 feet deep.

Street Trees and Stormwater Infrastructure (furnishing zone or bus stop zone) – Optional

Properly selected and maintained landscaping helps enhance passenger comfort at a bus stop and may improve the overall aesthetic of transit service. Street trees at bus stops can help provide shade and protection from adverse weather. Placement of street trees or stormwater infrastructure should not disrupt safety, visibility, or service at the bus stop location. Street trees, landscaping, and stormwater infrastructure should be selected based on environmental performance, maintenance, and aesthetic goals of the jurisdiction.

Trash receptacles (furnishing zone) - Optional

Trash and recycling receptacles or solar compactors are desirable at higher-ridership stops, stops in commercial areas and retail centers, and stops with shelters. AC transit recommends locating trash and recycling receptacles on the sidewalk to clarify that maintenance is a City responsibility, which may assist with keeping the overall buildup of debris to a minimum.



4.0 Bus Stop Design Typologies



Designing a safe, comfortable, and functional bus stop for all users with special consideration to bicycle users is a primary purpose of this guide. Local jurisdictions are implementing more separated bike lanes on transit corridors and need design guidance to safely and seamlessly maintain bikeways through the bus stop. Based on common roadway and bikeway configurations, transit operations, and other considerations, five bus stop design typologies have been identified:

- Typology 1: Class II Bicycle Facility between the Curb and a General Traffic Lane
- Typology 2: Class II Bicycle Facility between Curbside Parking Lane and a General Traffic Lane
- Typology 3: Class IV Bicycle Facility (Separated Bikeway)
 between the Curb and a General Traffic Lane
- Typology 4: Class IV Bicycle Facility (Separated Bikeway) between the Curb and a Parking Lane
- Typology 5: Class IV Bicycle Facility (Two-way Separated Bikeway) between the Curb and a Parking Lane

Each design typology contains design elements reflecting the context of the roadway environment. Required and optional design elements are specified within the typologies, but the designer should use engineering judgment when selecting and locating design elements for a bus stop design. These bus stop typologies are intended to illustrate how and why design elements are included to provide a safe, comfortable, and functional bus stop.

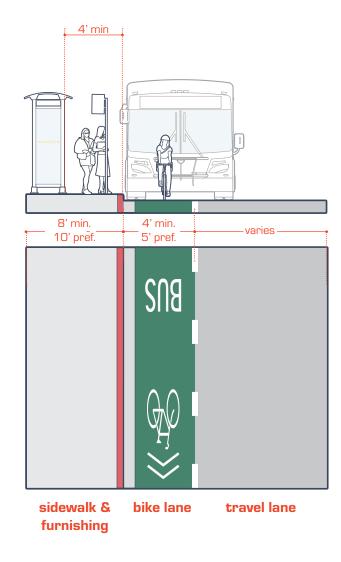
Bus stops should be provided curbside (against a curb) in most instances, as this is the most functional location for a bus stop. In the typologies, the bus stop curb is located either along the sidewalk (Typology 1) or along a floating bus stop (Typologies 2-5).

Four of the five typologies utilize floating bus stops, which are sidewalk-level platforms built between the bicycle lane and the roadway travel lane. When using floating bus stops, bicyclists are directed behind the bus stop, reducing or eliminating most conflicts between buses and bicyclists. By eliminating the need for buses and bicycles to interact, floating bus stops have large safety benefits for bicyclists. They can also benefit pedestrians, as the floating bus stop doubles as a pedestrian refuge, which if designed efficiently, can shorten crossing distances and enable shorter signal cycles.

4.1 Typology 1 Class II Bicycle Facility between Curb and a General Traffic Lane

The first Typology illustrates locations where the bike lane is located adjacent to the curb on a roadway. This typology more likely pertains to transit routes outside of a priority bicycle network. The section view illustrates that the bus will position itself on top of the bike lane to board and alight passengers. This means the bus may block motorists and bicyclists. These roadway users may have to wait or move around a bus during boarding/alighting operations.

A. Typology 1: Section View



If a transit corridor consistently implements Typology 1, normal bus operations may cause a "leap-frogging" effect for bicyclists. Leap-frogging is described as: A) a bus will pass a bicyclist between bus stops, B) the bus boards/alights passengers, C) the bicyclist passes the dwelling bus, and D) then the bus passes the bicyclist between the bus stops again. The leap-frogging process could repeat several times, especially if the average bus speed is similar to a bicyclist's riding speed. This effect is uncomfortable for bicyclists and increases the likelihood they will exit the bike lane into mixed traffic to pass a dwelling bus, which increases their crash risk with automobiles. ¹⁶ Leap-frogging is a known operational issue and is usually mitigated by implementing more separation between the vehicle lane and the bike lane, which may then necessitate the use of the subsequent design typologies described in this document.

Several design elements have been explicitly called out for Typology 1. A bus stop has minimum design constraints so that an accessible landing zone and a rear clear zone are provided. The location of these zones at the bus platform varies depending on the prevailing bus size. Also, this typology includes design elements typically employed at roadways and bus stops such as a furnishing zone, bus stop pole, and detectable warning surfaces on the sidewalk ramps. Lastly, note the optional design elements such as the bus shelter, green pavement markings, and red curb zone. The exact location and scale of these design elements may vary based on the constraints and context of the bus stop.

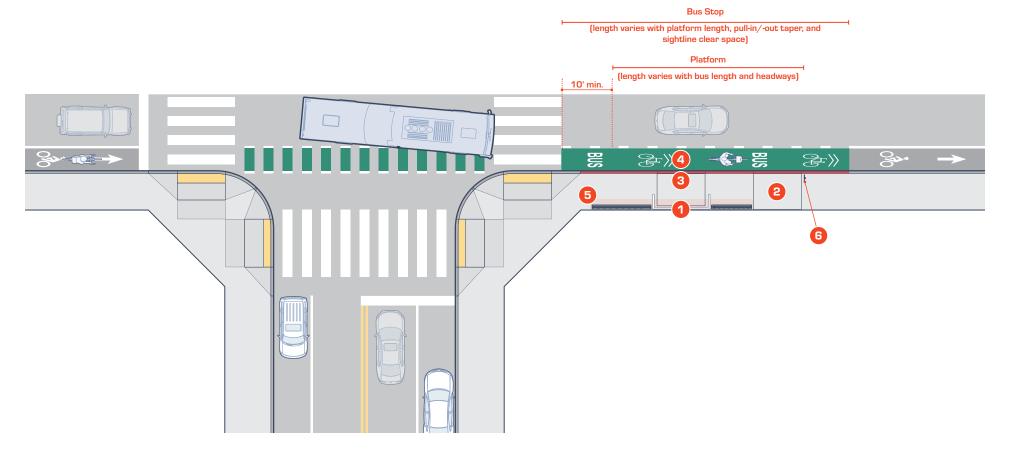
The bus stop and platform length will vary based on many factors including the pull-in/-out taper, sight distance, physical bus dimensions, and headways. Table 4 provides guidance for these dimensions on Typology 1, but the designer should use engineering judgment based on the roadway context and design constraints.

	Arterial Speed Limit			
	< 20 MPH	20-35 MPH	>35 MPH	
Platform				
40' Bus	40'	40'	40'	
60' Bus	60'	60'	60'	
Two 40' Buses	120'	120'	120'	
One 40' Bus and One 60' Bus	140'	140'	140'	
Two 60' Buses	180'	180'	180'	
Pull-in Taper				
Far-side Bus Stop	N/A	N/A	N/A	
Near-side Bus Stop	10'	15'	20'	
Mid-block Bus Stop	10'	15'	20'	
Pull-out Taper				
Far-side Bus Stop	10'	15'	20'	
Near-side Bus Stop	N/A	N/A	N/A	
Mid-block Bus Stop	10'	15'	20'	
Clearance from Crosswalk				
Far-side Bus Stop	10'	10'	10'	
Near-side Bus Stop	10'	10'	10'	
Mid-block Bus Stop	N/A	N/A	N/A	

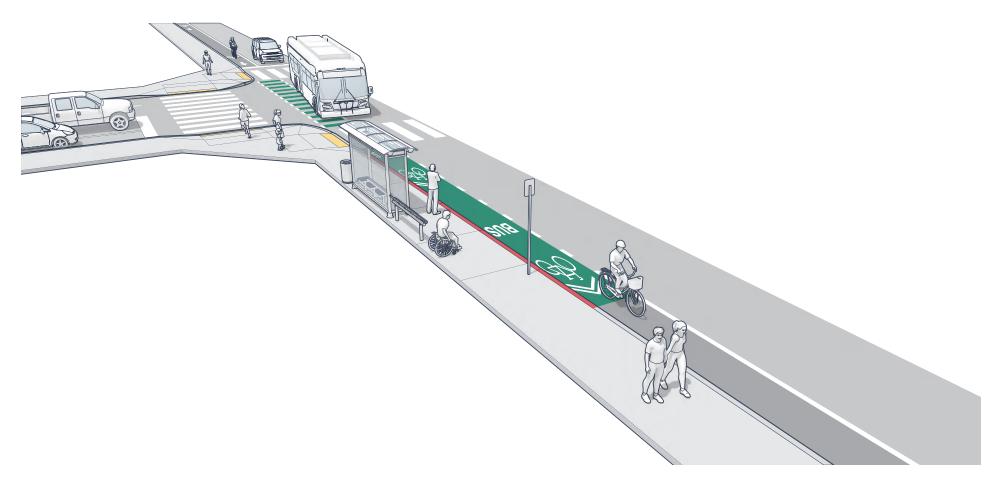
Table 4: Typology 1 Influence Area Minimum Dimensions

B. Typology 1: Plan View

1 Bus shelter (optional)
2 Accessible landing zone (min. 5' x 8')
3 Rear clear zone (11.5' x 8')
4 Green pavement (optional)
5 Furnishing zone
6 Bus stop pole



C. Typology 1: Perspective View



4.2 Typology 2 Class II Bicycle Facility between Curbside Parking Lane and a General Traffic Lane

A. Stop Placement and Bike Facility Alignment

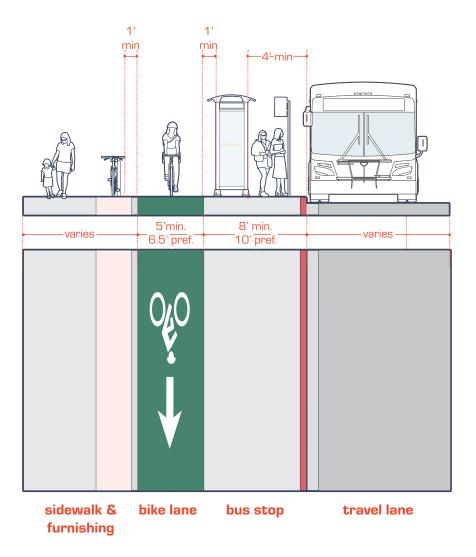
Adding parking to the roadway influences the spatial relationship between the bus boarding/alighting operation and the bike lane. Parking operations may cause conflicts with bus operations, and the door zone of parked vehicles can be a hazard for bicyclists. However, implementing a floating bus stop is an improvement for bicycle and transit operations, because the bus boarding/alighting operations can be performed independently of through bicycle movements.

AC Transit prefers far-side bus stops for a variety of bus-related operational reasons (AC Transit Policy No. 508); however, the designer can consider using near-side or mid-block bus stops. Note that conventional mid-block bus islands are illustrated but are not a preferred design because they create a potential conflict with bicyclists by requiring buses to fully cross the bike lane to pull in and out of the bus stop.

The key design characteristic of Typology 2 is the routing of the bike lane behind the bus stop, which minimizes conflicts between the bicycle movement and the bus boarding/alighting operation. The design elements at the floating bus stop and the furnishing zone should be located at least one foot from the edge of the bike facility. If a bicycle rack is located in the furnishing zone, the edge of a parked bicycle should be at least one foot from the edge of the bike facility, which may necessitate moving the bike rack further toward the building frontage. This shy distance improves bike operations and minimizes safety hazards from handlebar or pedal strikes.

Bus passengers have two designated bike lane crossings from the sidewalk to the floating bus stop, which helps manage pedestrian/bicycle interactions. Importantly, bicyclists are required to yield to pedestrians

B. Typology 2: Section View



at these designated crossings with the use of yield markings and an optional "Bike Yield to Pedestrians" MUTCD R9-6 sign. The furnishing zone and/or detectable edge assists with managing bus passenger crossings at those two locations.

Furnishing elements could include bicycle racks, trash receptacles, etc. Alternatively, detectable longitudinal panels can be embedded along the bike lane to guide visually impaired pedestrians to the designated bike lane crossing, as shown in exhibit 3 and in the photo to the right. These directional indicators are in accordance with International Standard 23599 and their color should contrast with adjoining concrete or asphalt pavement.

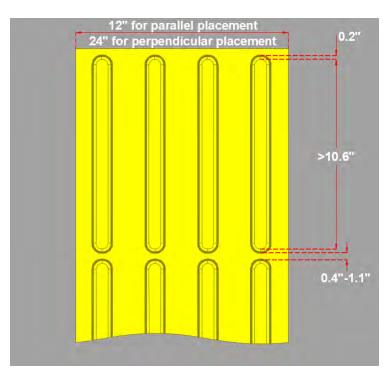
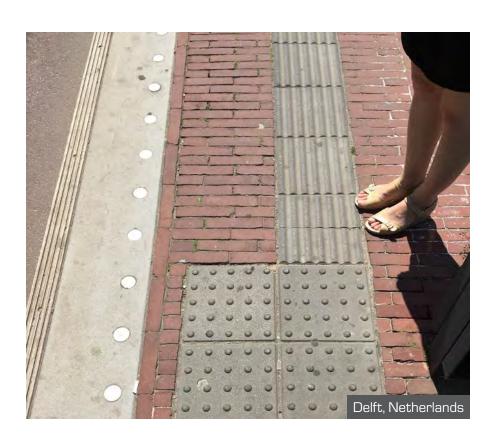


Exhibit 3: Longitudinal detectable edge



Arterial Speed Limit

There are several bike lane-specific design elements which should be included when designing a bus stop based on Typology 2.

6 The bicyclist yield area provides space for bicyclists to stop for crossing pedestrians while also being protected from traffic.

7 The maximum bicycle ramp slope should be 1:12 from street to sidewalk level.

The bike lane transition taper of 1:10 is preferred, with a maximum of 1:5.¹⁷

Providing more space for bicyclists to yield for pedestrians and/or constructing a gentler slope or taper for the bike lane will improve comfort for bicyclists.

Lastly, vertical railings or lean rails may be optionally employed in Typology 2.

Table 5 provides guidance for these dimensions on Typology 2.

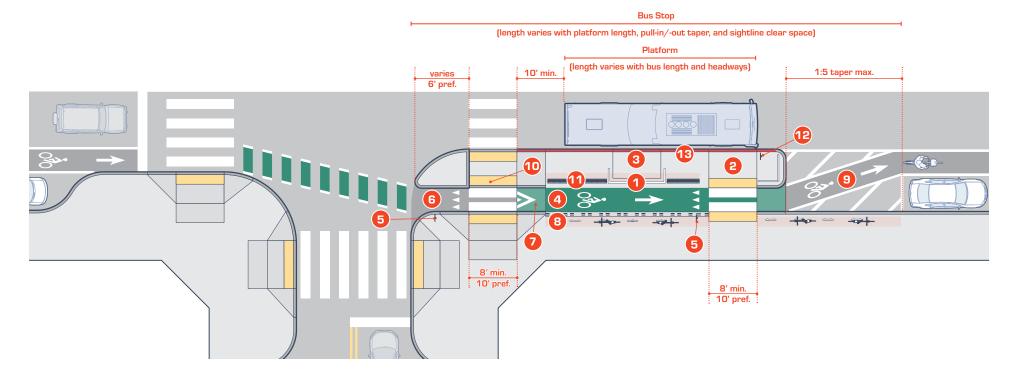
	All Speeds			
Bus Stop Island				
40' Bus	40'			
60' Bus	60'			
Two 40' Buses	120'			
One 40' Bus and One 60' Bus	140'			
Two 60' Buses	180'			
Entering Bike Lane Taper Distance				
Far-side Bus Stop	N/A			
Near-side Bus Stop	24'			
Mid-block Bus Stop	24'			
Exiting Bike Lane Taper Distance				
Far-side Bus Stop	24'			
Near-side Bus Stop	N/A			
Mid-block Bus Stop	24'			
Clearance from Crosswalk				
Far-side Bus Stop	10'			
Near-side Bus Stop	10'			
Mid-block Bus Stop	N/A			

Table 5: Typology 2 Influence Area Minimum Dimensions

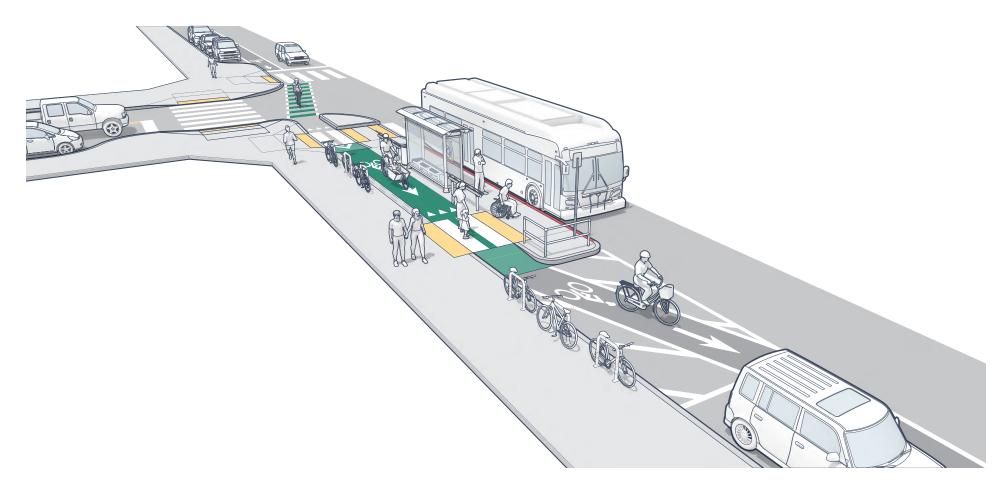
C. Typology 2: Plan View

1 Bus shelter (optional)
2 Accessible landing zone (min. 5' x 8')
3 Rear clear zone (11.5' x 8')
4 Green pavement (optional)
5 Bikes yield to peds sign (optional)
6 Bicyclist yield area
7 Bicycle ramp (max 1:12 slope)

8 Furnishing zone/Detectable edge
9 Bike lane taper (preferred 1:10 / max. 1:5)
10 Detectable warning surface
11 Vertical railing (optional)
12 Bus stop pole
13 Red curb zone (optional)



D. Typology 2: Perspective View



4.3 Typology 3 Class IV Bicycle Facility (Separated Bikeway) between the Curb and a General Traffic Lane

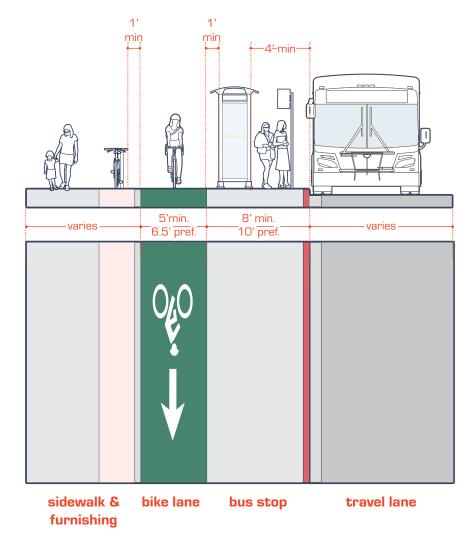
Typology 3 contains the same elements and dimensions in the crosssectional view as Typology 2. Both designs route the bike lane behind the floating bus stop platform with a 1-foot shy distance between the bike lane and any furnishing or bus stop elements.

The difference between Typologies 2 and 3 is the presence of parking. In Typology 2, a parking lane is located to the inside of the bicycle lane; in Typology 3, there is no parking lane. Parked vehicles influence the bike lane taper lengths through intersections and exiting the bus platform area.

Typology 3 illustrates vertical separation with white plastic flexposts between the travel lane and the bikeway. There are many different forms of vertical separation that can be employed and there are several guidebooks discussing their benefits and drawbacks. In general, choosing any form of approved vertical separation will be appropriate in conjunction with a floating bus stop design.

Table 6 provides guidance for these dimensions on Typology 3.

A. Typology 3: Section View



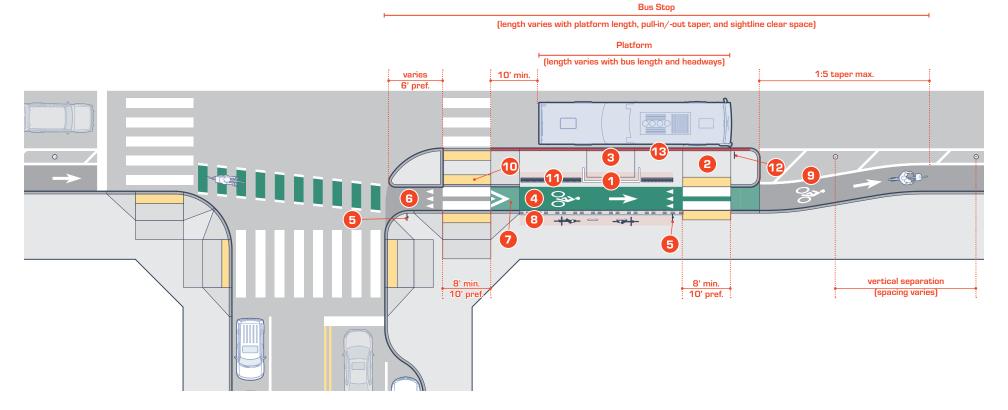
Arterial Speed Limit

	<u>' </u>			
	All Speeds			
Bus Stop Island				
40' Bus	40'			
60' Bus	60'			
Two 40' Buses	120'			
One 40' Bus and One 60' Bus	140'			
Two 60' Buses	180'			
Entering Bike Lane Taper Distance				
Far-side Bus Stop	N/A			
Near-side Bus Stop	18'			
Mid-block Bus Stop	18'			
Exiting Bike Lane Taper Distance				
Far-side Bus Stop	18'			
Near-side Bus Stop	N/A			
Mid-block Bus Stop	18'			
Clearance from Crosswalk				
Far-side Bus Stop	10'			
Near-side Bus Stop	10'			
Mid-block Bus Stop	N/A			

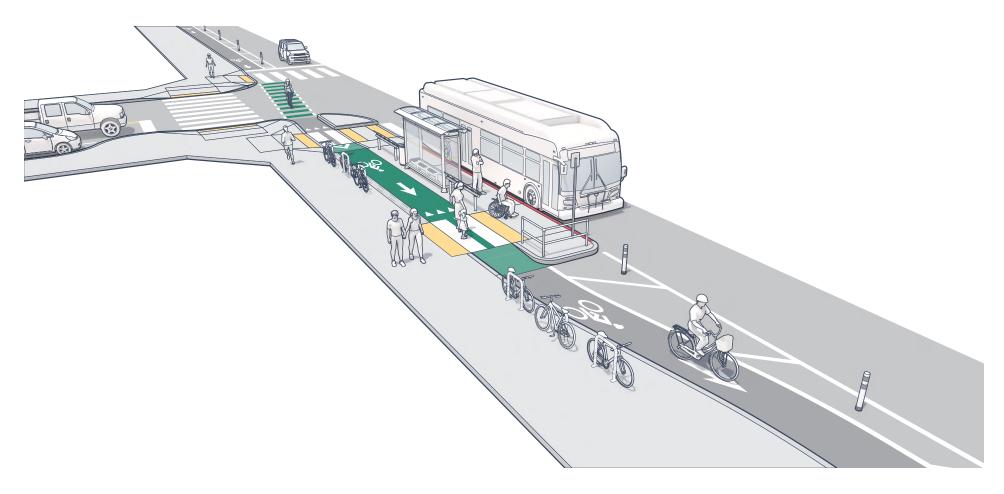
Table 6: Typology 3 Influence Area Minimum Dimensions

B. Typology 3: Plan View

Bus shelter (optional) Furnishing zone/Detectable edge Accessible landing zone Bike lane taper (min. 5' x 8') (preferred 1:10 / max. 1:5) Rear clear zone (11.5 x 8') 10 Detectable warning surface Green pavement (optional) Vertical railing (optional) **5** Bikes yield to peds sign Bus stop pole (optional) Bicyclist yield area Red curb zone (optional) Bicycle ramp (max 1:12 slope)



C. Typology 3: Perspective View



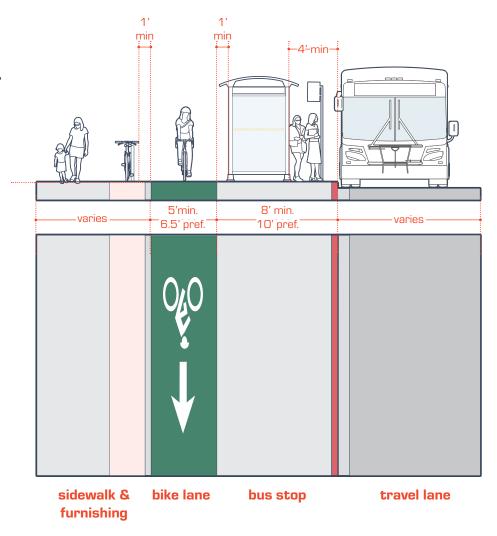
4.4 Typology 4 Class IV Bicycle Facility (Separated Bikeway) between the Curb and a Parking Lane

Typology 4's section view is also the same as the section views shown in Typologies 2 and 3.

A separated bikeway adjacent to parking can create a geometric cross section eliminating bikeway tapers through the intersection and exiting the floating bus platform area. Like Typologies 2 and 3, required, preferred, and optional design elements are annotated. The designer should consider the context of the area when including or excluding these design elements.

Table 7 provides guidance for these dimensions on Typology 4.

A. Typology 4: Section View

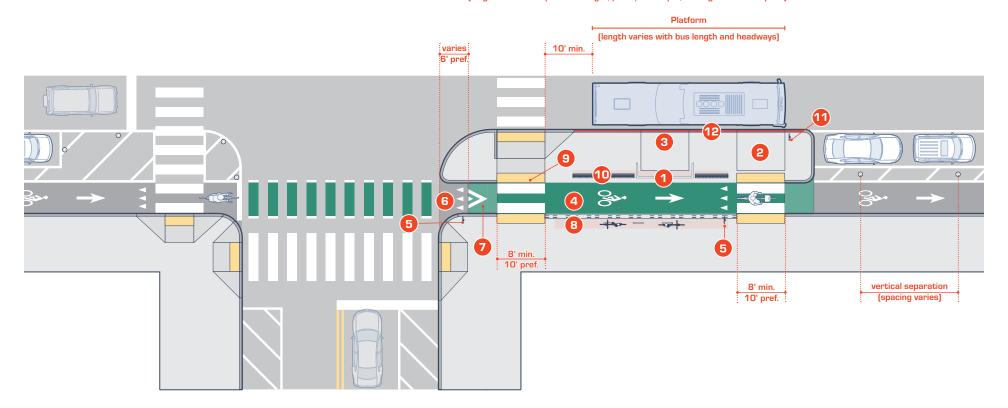


B. Typology 4: Plan View

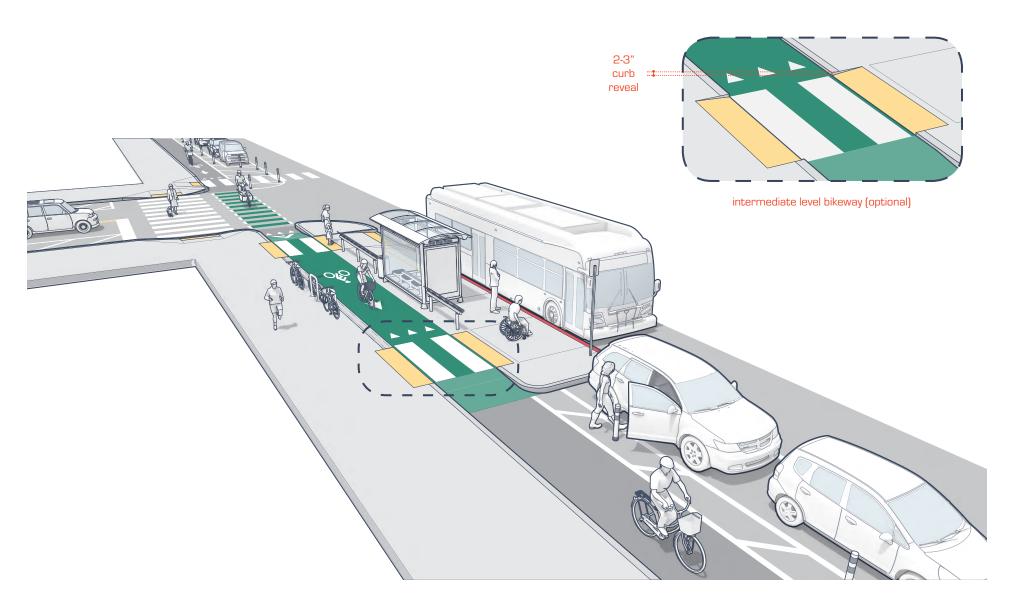
1 Bus shelter (optional)
2 Accessible landing zone (min. 5' x 8')
3 Rear clear zone (11.5' x 8')
4 Green pavement (optional)
5 Bikes yield to peds sign (optional)
6 Bicyclist yield area
7 Bicycle ramp (max 1:12 slope)
8 Furnishing zone/Detectable edge
9 Detectable warning surface
10 Vertical railing (optional)
11 Bus stop pole (optional)
12 Red curb zone (optional)

Bus Stop

(length varies with platform length, pull-in/-out taper, and sightline clear space)



C. Typology 4: Perspective View



Arterial Speed Limit		
All Speeds		

Bus Stop Island				
40' Bus	40'			
60' Bus	60'			
Two 40' Buses	120'			
One 40' Bus and One 60' Bus	140'			
Two 60' Buses	180'			
Clearance from Crosswalk				
Far-side Bus Stop	10'			
Near-side Bus Stop	10'			
Mid-block Bus Stop	N/A			

Table 7: Typology 4 Influence Area Minimum Dimensions

The perspective view of Typology 4 on the previous page features a callout diagram of an intermediate level bikeway design. A 2- to 3-inch curb reveal can be used to create an intermediate-level bikeway in lieu of a sidewalk-level bikeway adjacent to the floating bus stop island. There are several benefits and drawbacks of this optional design:

Benefits of Intermediate-level Bikeway Design

- Vertical separation helps define the pedestrian and bicycle operating space. Cities with mature bicycling infrastructure regularly construct vertical separation between bicycle and pedestrian facilities.
- Decreased bike ramp length is needed between the street and bus platform level.
- The curb reveal provides a detectable edge between the sidewalk and the bikeway, eliminating the need for other longitudinal detectable elements. However, ADA-compliant ramps including detectable elements are required at pedestrian crossings of the bikeway.

Drawbacks of Intermediate-level Bikeway Design

- · This design increases construction complexity.
- Drainage and maintenance of the bikeway in the bus stop platform area will require extra attention due to water pooling, leaf and debris buildup, etc.

Importantly, curbs 4 inches or greater increase the risk of bicycle pedal strikes, so a 2- to 3-inch curb reveal is critical. Lastly, the 2- to 3-inch curb can be used in Typologies 2 through 5.

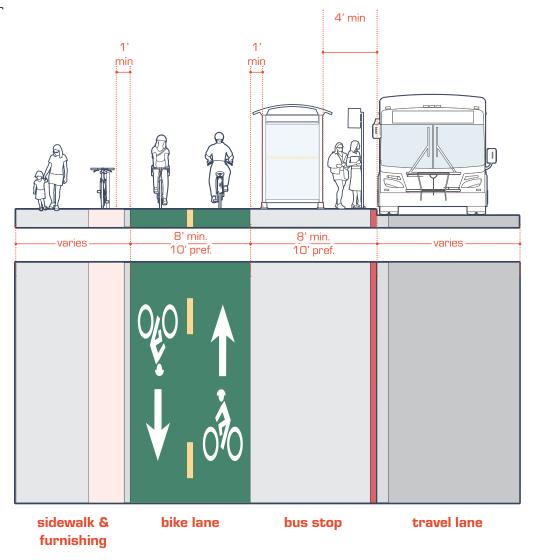
4.5 Typology 5 Class IV Bicycle Facility (Two-way Separated Bikeway) between the Curb and a Parking Lane

The cross section of Typology 5 uses the basic form of Typologies 2-4 where the bikeway is routed behind the floating bus stop platform and adjacent the sidewalk. Unique to Typology 5, the bikeway is designed for two-way travel, which necessitates increased minimum and preferred bikeway widths.

The plan view in Typology 5 illustrates fully curbed separated bikeway designs adjacent to parking. Again, there are many different vertical buffer treatments available to the designer, who should consider the context and constraints. When implementing Typology 5, special consideration should be given to increasing awareness of two-way bikeway travel at the floating bus stop platform. Signs, pavement markings, and other visual cues should be employed near the bus stop consistent with design guidance for two-way separated bike lanes.

Table 8 provides guidance for these dimensions on Typology 5.

A. Typology 5: Section View

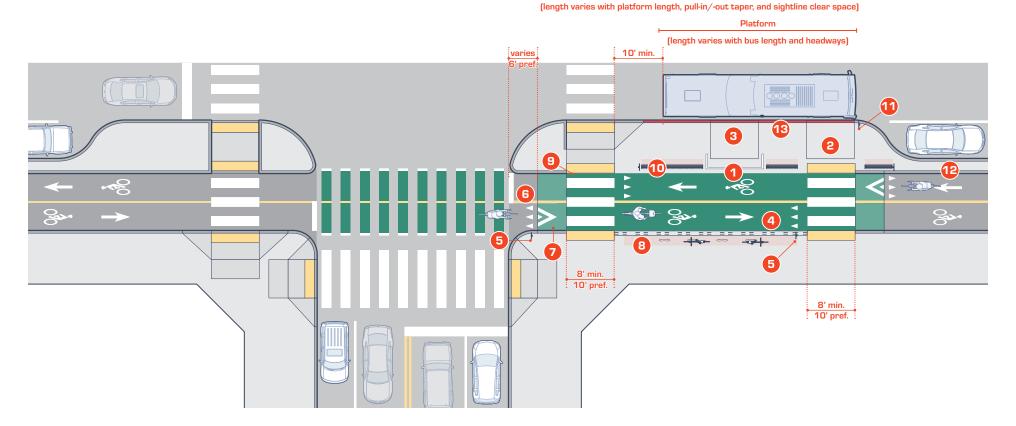


Arterial Speed Limit				
	All Speeds			
Bus Stop Island				
40' Bus	40'			
60' Bus	60'			
Two 40' Buses	120'			
One 40' Bus and One 60' Bus	140'			
Two 60' Buses	180'			
Clearance from Crosswalk				
Far-side Bus Stop	10'			
Near-side Bus Stop	10'			
Mid-block Bus Stop	N/A			

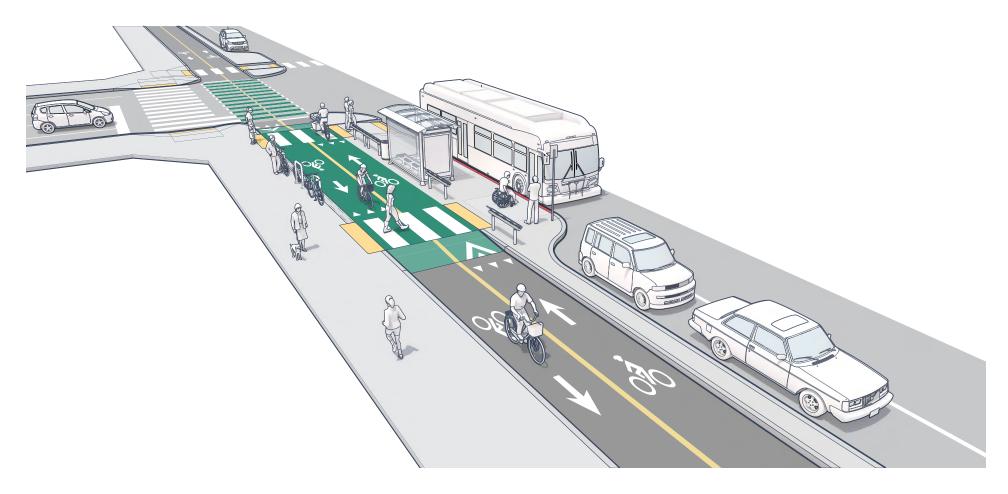
Table 8: Typology 5 Influence Area Minimum Dimensions

B. Typology 5: Plan View

Bus shelter (optional)
 Accessible landing zone (min. 5' x 8')
 Rear clear zone (11.5' x 8')
 Green pavement (optional)
 Bikes yield to peds sign (optional)
 Bicycle ramp (max 1:12 slope)
 Furnishing zone/Detectable edge
 Detectable warning surface
 Vertical railing (optional)
 Bus stop pole
 Buffer treatment varies
 Red curb zone (optional)



C. Typology 5: Perspective View



5.0 Typology Selection



Designing an appropriate bus stop depends on many factors including but not limited to the roadway configuration, posted/actual vehicle speeds, and bus passenger activity. Due to this contextual variability, it is possible to select multiple typologies on a single transit corridor. Subsequently, tailoring design elements for each bus stop will depend on site constraints, context, and local jurisdictional preference. While designers should strive for consistency, being flexible with the final design could result in a safer, more comfortable, and better-functioning bus stop for all users

5.1 Typology Selection Guidance

Selecting a typology is influenced by several factors:

- · Roadway classification
- Roadway constraints
- Traffic posted/actual speeds
- Vehicle volumes
- · Bike volumes
- Bus volumes
- · Passenger activity

Choosing a bus stop typology based on the relationship between these factors is challenging because a local jurisdiction may prioritize some roadway uses over others. AC Transit is sensitive to these local priorities and encourages designers to consider these alongside the guiding principles presented in this Guide when selecting a typology and eventual bus stop design.

Guiding Principle 1 – The proposed roadway configuration should be the primary determinant in the choice of a typology.

The presence of vehicle lanes, parking, buffers, bike lanes, and other roadway elements may be the more static elements of a roadway configuration as compared with dynamic roadway characteristics such as posted speeds, user volumes, and passenger activity. The presence of a bike lane, separated bike lane, or two-way separated bike lane provides one filter of typology choice. The presence of parking is another important consideration in choosing a typology.

Also, some static objects within the roadway configuration are less permanent than others. Vehicle lanes, parking and design elements of

the furnishing zone are commonly removed, rearranged, or re-sized to accommodate other uses. Removing or resizing vehicle lanes and/or parking spaces may be needed to provide appropriate entering/exiting tapers for the bikeway. If there are existing design elements such as bus shelters, they could be too large to fit into a new floating bus stop location based on the typology dimensions. The local jurisdiction should work with AC Transit to develop solutions to design issues considering the range of roadway users.

However, there are several unique roadway configurations which could make selecting a typology difficult:

- Suburban/rural locations with no sidewalks
- · Roadway configurations with mixed-traffic bicycle facilities
- Locations with exclusive bus lanes
- · Roadways with angled parking
- · Shared street
- · Other roadway configurations

In these cases, the stop location should be examined in detail and engineering judgment should be applied to develop a design solution that balances the needs of all roadway users.

Guiding Principle 2 – Floating bus islands are preferred for bus routes with headways of 15 minutes or less.

Floating bus islands have two types of bus operational benefits. When a bus approaches a floating bus stop, it does not need to exit and re-enter the vehicle lane to serve each request for boarding or alighting. Merging back into the travel lane can be challenging for bus operators due to motorists failing to yield to the merging movement. Eliminating this issue can lead to travel time savings, which translates into operational cost savings and improved travel experience for customers. The other operational benefit includes a designated area for passengers to wait for their bus. This additional space allows AC Transit, and potentially

the local jurisdiction, to add further bus stop amenities to improve the passenger transit experience. Given a bus route with 15-minute headways, the operational and passenger benefits of floating bus islands may accumulate over a typical day and beyond.

Guiding Principle 3 - Floating bus islands are not preferred for roadways with posted speeds of 35 mph or higher.

Implementing a floating bus island means that a bus will stop in traffic and subsequently block traffic. With posted speeds of 35 mph or higher, a boarding/alighting event may create a safety issue between vehicles and bus operations. In these situations, a bus pull-out may be a more appropriate bus stop design treatment.

Consideration should be given to how bicyclists travel through a bus pullout. Bus pullouts may remove the bus completely from the vehicle and bike lane, allowing an unobstructed bicycle through movement. Designers should consider routing the bikeway behind the bus stop pullout, especially on higher speed roads and where bicycle through movements may be blocked by a stopped bus.

Where roadways have posted speeds of 35 mph or higher, separated bike lanes are recommended due to the increased risk bicyclists face on these types of roads. If separated bike lanes are implemented, their separation should be continued through a bus stop and potential bus pullout. In this situation, Typologies 3 to 5 may be appropriate to reference when designing the bus stop.

Guiding Principle 4 - A typology choice should incorporate future curbside use and future roadway configurations.

Choosing a typology could involve planning for future transit and/ or roadway projects. AC Transit may make route enhancements or modifications in a corridor, and there could be changes to land use or other transit demand-related contexts. When these transit-related changes are being planned, changes to bus frequency could justify a floating bus stop at certain locations along the new route. Integrating an appropriate typology corresponding to the planned change may be especially important given the presence of bikeways and parking.

Local jurisdictions should consider floating bus stops when redesigning a corridor that carries an existing transit route and has existing bicycle facilities. Even if the transit route is low-frequency, designing the corridor with floating bus stops will allow for higher-quality bikeways and result in a safer, more balanced, comfortable, and functional corridor.



6.0 Maintenance Considerations



Bus stop locations are typically on the edge of the roadway corridor and located in densely populated environments which accumulate debris during all seasons. Providing and implementing an effective maintenance program ensures continuity throughout the system.

Bus stops require routine maintenance to ensure functionality and provide a pleasant environment for all users. Litter can accumulate at bus stops and trees or other vegetation may drop foliage regularly or seasonally. Vandalism can also occur and should be remedied. Regular, seasonal, and as-needed maintenance agreements should be established with local jurisdictions or property owners. Some of these maintenance costs can be offset with bus stop and bus-related advertising.

Floating bus stops have special maintenance considerations because of the channelization created for the bikeway route. Bikeways may catch debris, dirt, and leaves, which should be swept on a regular or seasonally. Leaves, especially when wet, are very slippery and can create hazards for bicyclists passing through the area. Bus stop maintenance workers can use a variety of techniques to keep these areas clean, including hand sweeping, pressure washing, small hand-operated machines, or narrow maintenance vehicles.

Lastly, bus stops should be regularly inspected and the quality of design elements should be noted over time as they slowly deteriorate and lose their colorful luster. Inspecting and inventorying design elements could yield valuable information on longevity, replacement, and cost expectations. The information could then be used to investigate more robust design elements to be installed for existing or future bus stops.



7.0 Reference Endnotes



Reference Endnotes

- ¹ Highway Design Manual, 6th Edition. Caltrans. 2017
- ² California Manual on Uniform Traffic Control Devices. State of California. Caltrans. California State Transportation Agency. 2014.
- ³ Bus Stop Policy. AC Transit. Policy No. 508 Board Policy. Adopted 1989, Amended 2005.
- ⁴ Designing with Transit: Making Transit Integral to East Bay Communities. AC Transit. 2004.
- ⁵ Central County Complete Streets Design Guidelines. Alameda County Transportation Commission. 2016.
- ⁶ Guide for the Development of Bicycle Facilities, 4th edition. American Association of State Highway Transportation Officials. 2012.
- ⁷ Urban Street Design Guide. National Association of City Transportation Officials. 2013.
- ⁸ Transit Street Design Guide. National Association of City Transportation Officials. 2016.
- ⁹ Urban Bikeway Design Guide. National Association of City Transportation Officials. 2014.

- ¹⁰ Manual on Uniform Traffic Control Devices. Federal Highway Administration. 2009 Edition.
- ¹¹ Rhode Island Bus Stop Design Guide. Rhode Island Public Transit Authority. 2017.
- ¹² Transit Cooperative Research Program Report 65: Evaluation of Bus Bulbs. Fitzpatrick, et al. Transportation Research Board, Washington DC. 2001.
- ¹³ Service Standards and Design Policy. AC Transit. Policy No. 550 Board Policy. Adopted 1994, Amended 2004, 2008.
- ¹⁴ Essentials of Bike Parking: Selecting and Installing Bike Parking that Works. Association of Pedestrian & Bicycle Professionals. 2015.
- $^{15}\,\mbox{Roadway}$ Lighting RP-8-14. Illuminating Engineering Society. 2014.
- ¹⁶ A Summary of Design, Policies, and Operational Characteristics for Shared Bicycle/Bus Lanes. Florida Department of Transportation Research Center. 2012.
- ¹⁷ Design Information Bulletin Number 89. Class IV Bikeway Guidance (Separated Bikeways/Cycle Tracks). California Department of Transportation (Caltrans). 2015.





CONSENT CALENDAR November 12, 2019

To: Honorable Mayor and Members of the City Council

From: Councilmember Kate Harrison

Subject: Budget Referral: Evaluation and Implementation of Pedestrian and Bicycle

Safety Along Oxford Street

RECOMMENDATION

Refer \$75,000 to the FY20 2019 AAO Process for the purpose of assessing, identifying, and implementing improvements to pedestrian and bicycle safety across Oxford Street, particularly between University Avenue and Bancroft Street.

BACKGROUND

Oxford Street connects the University to Downtown Berkeley, and hundreds of pedestrians and cyclists cross it every day. As a four-lane street with a curve at Kittredge Street, drivers approach at high speeds and limited visibility, and there are frequent collisions (see Attachment 2).

Pedestrian safety measures were installed at Addison and Oxford; there have not been collisions involving a pedestrian or cyclist since 2013. Similar measures should be considered for other intersections along this stretch, particularly at Kittredge and/or Allston.

A similar budget referral was passed by the Council in 2017 but not funded (see Attachment 1). Since 2017 the street continues to pose a threat to the safety of pedestrians and cyclists.

FISCAL IMPLICATIONS

\$75,000 from excess equity.

ENVIRONMENTAL SUSTAINABILITY

Protecting the safety of pedestrians and bicyclists is directly in line with the Climate Action Plan and subsequent plans as it has the potential to lower greenhouse gas emissions by encouraging residents to use bicycles and other low-carbon methods of transportation.

Budget Referral: Evaluation and Implementation of Pedestrian and Bicycle Safety Measures Along Oxford St

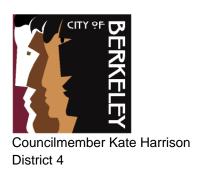
Consent Calendar November 12, 2019

CONTACT PERSON

Councilmember Kate Harrison, Council District 4, (510) 981-7140

ATTACHMENTS

- 1: Item 32, "Budget Referral: Evaluation and Implementation of Pedestrian Safety Features at Oxford Street and Kittredge Street." May 30, 2017 Berkeley City Council Meeting
- 2: Collision data along Oxford Street. Organized by cross-street, then date. Data gathered from TIMS (Transportation Injury Mapping System).



CONSENT CALENDAR May 30, 2017

To: Honorable Mayor and Members of the City

From: Councilmember Harrison

SUBJECT: Budget Referral: Evaluation and Implementation of Pedestrian Safety Features at Oxford Street and Kittredge Street

RECOMMENDATION

Refer to the City Manager to assess, identify, fund, and implement improvements to pedestrian safety for the crosswalk across Oxford St. at Kittredge St. Our office requests that the Department evaluate the installation of pedestrian activated beacons, such as those at Oxford and Addison, or a similarly effective improvement for the Oxford and Kittredge intersection.

FISCAL IMPACTS OF RECOMMENDATION

Cost of improvements to be determined.

ENVIRONMENTAL SUSTAINABILITY

No ecological impact.

BACKGROUND

This pedestrian intersection at across Oxford at Kittredge is adjacent to a parking garage, a carwash, an affordable housing development, and a bus stop for the 6 and the F bus lines. At the intersection, Oxford is a four-lane street with limited visibility for drivers, who often approach the crosswalk at high speeds from around a curve. No significant pedestrian safety features currently exist at this crossing.



CONTACT PERSON Kathryn Harrison, Councilmember District 4, 510-981-7140

Collision Data on Oxford/Fulton

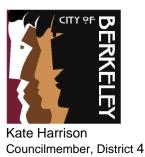
Between University and Durant

(Organized by Intersection, then by date)

Highlights represent collisions involving pedestrians and/or bicyclists.

Cross Street	Month, Year	Kind of Collision	How many injured?	How many killed?
University	January 2011	Broadside: 2 cars	4	0
	August 2012	Broadside: 1 car	<mark>1</mark>	0
		and 1 bicycle		
	October 2014	<mark>Vehicle-</mark>	<mark>1</mark>	<mark>0</mark>
		<mark>Pedestrian</mark>		_
Addison	January 2013	<mark>Vehicle-</mark>	<mark>1</mark>	<mark>0</mark>
		Pedestrian Pedestrian		
	November 2013	Sideswipe: 2 cars	1	0
	April 2016	Rear End: 2 cars	1	0
	June 2017	Read End: 2 cars	1	0
Center	September 2011	Rear End: 2 cars	1	0
	September 2012	<mark>Vehicle-</mark>	<mark>1</mark>	<mark>0</mark>
		Pedestrian Pedestrian Pedestrian		
	July 2013	Rear End: 1 car	<mark>1</mark>	<mark>0</mark>
		and 1 bicycle		
	September 2015	<mark>Vehicle-</mark>	<mark>1</mark>	<mark>0</mark>
		Pedestrian Pedestrian		
Oxford Lane	December 2011	<mark>Sideswipe: 1 car</mark>	<mark>1</mark>	<mark>0</mark>
		and 1 bicycle		
	April 2015	<mark>Sideswipe: 1 car</mark>	<mark>1</mark>	<mark>0</mark>
		and 1 bicycle		
	July 2016	Vehicle hit a fixed	3	0
		object		
Allston	January 2011	<mark>Sideswipe: 1 car</mark>	<mark>1</mark>	<mark>0</mark>
		and 1 bicycle		
	April 2013	Rear End: 2 cars	1	0
	April 2016	Vehicle hit a fixed	1	0
		object		
	November 2016	Vehicle hit a fixed	1	0
		object		
	September 2017	Head-on Collision:	1	0
		2 cars		
Kittredge	July 2012	Rear End: 1	1	0
		moving car and 1		
		parked car		
	December 2012	<mark>Vehicle-</mark>	<mark>1</mark>	<mark>0</mark>
		Pedestrian Pedestrian Pedestrian		
	June 2013	Sideswipe: 2 cars	1	0

	February 2016	Vehicle hit a fixed	1	0
	1 651 441 y 2010	object	_	
Bancroft	September 2011	Broadside: 1 car		0
Bancroit	September 2011	and 1 bicycle	_	<u> </u>
	July 2012	Broadside: 1 truck	0	1
	July 2012	and 1 bicycle	<u> </u>	<u>-</u>
	October 2013	Vehicle-	4	0
	October 2015		<mark>1</mark>	<mark>0</mark>
	_	<u>Pedestrian</u>		
	December 2017	Rear End: 2 cars	1	0
	July 2017	Vehicle hit a fixed	1	0
		object		
Durant	May 2013	Broadside: 2 cars	1	0
	February 2014	Rear End: 1	1	0
		moving car and 1		
		parked car		
	August 2014	Broadside: 2 cars	1	0
	September 2014	Broadside: 2 cars	1	0
	January 2017	Vehicle-	1	0
		<mark>Pedestrian</mark>	_	_
	August 2017	Vehicle-	<u>1</u>	0
		<mark>Pedestrian</mark>	_	_
	September 2017	Sideswipe: 2 cars	1	0



CONSENT CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Councilmember Harrison

Subject: Budget Referral: Refer \$100,000 to the FY 23 and FY 24 AAO #1 to beautify

Vacant Storefronts in Berkeley Commercial Districts

RECOMMENDATION

Refer \$100,000 to the FY 23 and FY 24 AAO #1 to help fund art or district branding vinyl window graphics on vacant storefronts in Berkeley Commercial Districts to beautify our Commercial Districts. The fund would be administered by the Downtown Berkeley Association on behalf of all Commercial Districts, and would reimburse property owners for 50% of the entire cost of the project:

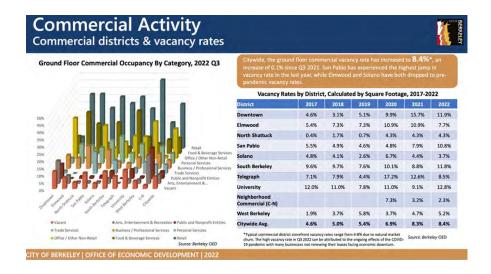
- 1. Artist fee
- 2. Costs associated with non-commercial printed material that is ideally non-plastic (may be vinyl if no alternative exists)
- 3. Installation of non-commercial window graphics

CURRENT SITUATION AND RATIONALE FOR RECOMMENDATION

As seen below, retail vacancy rates remain high in many of Berkeley's commercial districts¹ due to the lingering impact of the COVID-19 pandemic and the rise in internet sales:

⁻

 $^{{}^{1}\,\}underline{\text{https://berkeleyca.gov/doing-business/economic-development/economic-dashboards-and-reports}}$



While new retail is slowly returning, closures continue; for example Missing Link Bikes in the Downtown and Annapurna on Telegraph, two Berkeley mainstays, have shuttered in the past year. Not only does the community suffer when foundational businesses are lost, the remaining vacant storefronts are a visual blight to pedestrians visiting and patronizing our commercial districts and discourage new businesses from opening.

Window graphics with district branding and/or artwork are an excellent way to positively engage pedestrians and discourage graffiti and debris. These would be similar to the work shown on banners throughout the Downtown. Cost of window graphics however is quite high, ranging from \$9 to \$20 per square foot installed. Because of the expense, property owners have been reluctant to install graphics on their own.

The Downtown Berkeley Association (DBA), property owners, and the City of Berkeley are invested in the development and stimulation of Berkeley's economy and have devised innovative and creative ways to address blight. Building on the success for the retail damage repair fund introduced during the height of COVID-19, this referral proposes that the City cover half of the installation cost, giving property owners an incentive to install graphics on vacant properties, with the fund administered by the Downtown Berkeley Association although the funds would be available for commercial districts citywide.

Case Examples:



2200 Block Shattuck Ave:

737sqft vacant window spaces

Total Estimate: \$6,663 to \$14,750 (\$9-\$20/sqft)

50% Share: \$3,331 to \$7,370



2300 Shattuck Ave:

561sqft vacant window spaces

Total Estimate: \$5,049 to \$11,220 (\$9-\$20/sqft)

50% Share: \$2,525 to \$5,610

Other Examples of Blighted Vacant Storefronts:



2524 Shattuck Ave.



2333 Telegraph Ave



2522A Telegraph Ave.



2480 Telegraph Ave

FISCAL IMPACTS OF RECOMMENDATION

Impact on General Fund of \$100,000. However, the benefit of beautifying formerly blighted buildings could generate budgetary efficiencies, economic stimulation, and better outcomes for Berkeley residents.

ENVIRONMENTAL SUSTAINABILITY

Pedestrian-oriented design can encourage residents to walk and bike more.

Budget Referral: Refer \$100,000 to the FY 23 and FY 24 AAO #1 to beautify Vacant Storefronts in Berkeley Commercial Districts

CONSENT CALENDAR September 12, 2023

<u>CONTACT PERSON</u> Councilmember Kate Harrison, (510) 981-7140

CONSENT CALENDAR SEPTEMBER 12, 2023



Councilmember Sophie Hahn City of Berkeley, District 5

To: Honorable Mayor and Members of the City Council

From: Councilmember Sophie Hahn (Author); Councilmember Terry Taplin

(Co-Sponsor)

Subject: Budget Referral: Miyawaki "Pocket Forest" Pilot Program to Support Carbon

Sequestration, Biodiversity, Cooling, Noise Reduction, Health, and Equity

RECOMMENDATION

Refer to the November 2023 Budget Process \$140,000 to fund staffing, materials, and consultants for a Miyawaki Pocket Forest Pilot Project, including the planting of two pocket forests on City of Berkeley sites, preferably in areas most impacted by poor air quality, and a report to Council on opportunities and funding for a broader Citywide Miyawaki Forest program. Should November 2023 funding not be available, refer to subsequent budget processes for consideration.



SUMMARY STATEMENT

Climate change is one of the greatest challenges of our time. Greenhouse gas emissions have led to catastrophic heatwaves, wildfires, loss of biodiversity, and instability. Large scale deforestation has further escalated the crisis. As carbon dioxide is one of the most commonly emitted greenhouse gasses, carbon sequestration - the removal of carbon dioxide from the Earth's atmosphere - is an important tool to fight global warming.

Miyawaki Forests - small, fast growing "pocket forests" densely planted with native shrubs, bushes and trees. They are a quick and effective method of achieving carbon sequestration, and offer numerous additional environmental benefits, both local and global. Under the leadership of Berkeley Unified School District (BUSD) science teacher Neelam Patil and head of sustainability Steven Collins, with the partnership of BUSD, students and community members

have already successfully planted four Miyawaki forests in Berkeley at Cragmont Elementary, King Middle School, Malcolm X and most recently the Berkeley Technology Academy.¹

The City of Berkeley can also benefit from the establishment of Miyawaki Forests, especially in areas prone to excessive air pollution and heat. Funding a pilot Miyawaki Forest project with two sites on City property provides the opportunity for the City's Parks/Forestry Division to learn from BUSD's facilities staff and Miyawaki Forest specialists and to establish protocols for the potential establishment of pocket forests in appropriate locations citywide.

Grant funding, including from the State of California as well as via federal Inflation Reduction Act funding, is already available and may become more abundant soon. With the experience of a successful pilot, Berkeley will be better positioned to apply for outside funds, and may decide to allocate future one-time City funds for additional projects, which can likely be delivered at lower cost than the two initial pilot locations. As established Miyawaki forests require only minimal maintenance, ongoing costs for the City will be insignificant, while generating significant environmental, health, and other community benefits.

BACKGROUND

Miyawaki Pocket Forests (also called micro forests, mini forests, and tiny forests) are densely-planted, multilayered indigenous forests planted in urban spaces that act as self-sustaining ecosystems, reconnecting fragmented habitat and restoring biodiversity. Named after Akira Miyawaki, a Japanese botanist and plant ecologist who had a particular interest in phytosociology, i.e. how plant species interact with each other within communities, the Miyawaki method is an innovative approach to growing forests.

The density of a Miyawaki forest doesn't merely support the growth of biodiversity; it also increases carbon capture, enhances air pollution filtration, and produces an area more resilient to flooding, landslides, and wildfires. In addition, increased canopy cover reduces the amount of rainfall that hits the ground, increases shade, and promotes cooling - as well as providing a sound barrier to reduce ambient noise.

The 40 year old forest at Yokohama National University in Yokohama, Japan, pictured on the following page, was formerly a golf course. It is now a thriving ecosystem that mimics the positive impacts of old growth forests.

2

¹ Ally Markovich, "Berkeley Schools' 'pocket Forests' Are Taking Root," Berkeleyside, December 8, 2022, https://www.berkeleyside.org/2022/12/08/miyawaki-pocket-forests-berkeley-unified-school-district.



Yokohama National University

Miyawaki Forest after 40 years



Miyawaki forests do not require significant space. They can be planted almost anywhere in sites as small as 60 square feet. Even at this size they quickly become habitat for species and offer multiple ecosystem services. Pocket Forests planted using the Miyawaki method are an excellent tool for rapid regeneration of urban areas, and have been used across the globe to transform school playgrounds, city parks and curtilage, and urban rivers. Even in the most crowded urban environment, a Miyawaki forest can have an important impact, providing greenery, shade, and cooling the environment.

The Miyawaki method is community-based and people-centered, using volunteers for planting and early maintenance, and providing social and health benefits for both people and the planet.

Dr. Miyawaki, who first developed the method, asserts that "[o]ne of our fundamental tasks is to restore 'native forests of native trees' that will be the main component of ecosystems that will also encompass human beings. That is something each of us can do immediately, wherever we are, no matter what our position; it is the most realistic way to secure the scenery for playing out our future."

According to SUGi, an NGO devoted to restoring biodiversity that plants Miyawaki "Pocket Forests" across the globe, the Miyawaki method of afforestation draws inspiration from nature's ecosystems to create 100% organic, dense and diverse pioneer forests in as little as 20-30 years. ² They're quick to establish and relatively maintenance-free after the first two-to-three years. As such, Miyawaki pocket forests are viable solutions for cities looking to rapidly build climate resilience.

² "The Miyawaki Method for Creating Forests," SUGi, accessed August 1, 2023, https://www.sugiproject.com/blog/the-miyawaki-method-for-creating-forests.



Multi-faceted benefits of urban forests

The Miyawaki forest planting method mimics the way natural habitat would recolonize an area if humans - and their transplanted invasive plants - disappeared. Naturally-occurring native species that have spent thousands of years adapting to their environment would be reestablished, increasing biodiversity and responsiveness to climate change.

The Miyawaki method's afforestation principles are based on the understanding of how local species interact in a natural forest. A diverse mixture of trees is planted close together to maximize density and create balance. As closely planted saplings have to compete for light, they shoot upwards very quickly, creating rapid growth not experienced when trees are planted individually or in more widely spaced configurations.

In addition to fostering extremely rapid growth, planting a wide variety of native trees and other plants close together results in increased biodiversity, providing forage for pollinators and refuge for birds. More dense canopy cover shades weeds, creating a cool home for insects and increased leaf litter enhances soil fertility.

Planting densely provides multiple additional benefits. Mature multi-strata pocket forests create their own precipitation on top of annual rainfall - reducing the need for watering and recycling water through a natural system. This is partly due to the cooling effects of shade and photosynthesis that produce humidity and precipitation - particularly at the upper canopy layer. The lower layers of the forest then cycle the cooler moist air as it naturally sinks down to the forest floor where it is absorbed. This effect doesn't happen within single strata mono plantations where cooler air and moisture are blown away by the wind and lost to evaporation. (see below, a 3-year old Miyawaki Forest)



According to James Godfrey-Faussett, lead SUGi Forest Maker, "Within a forest, biodiversity means balance, birds control pests, insects pollinate plants, and beneficial fungi keep the trees healthy. Every organism has a role to play, and all these roles interact. And if you build a healthy, biodiverse habitat that can look after itself, it becomes self-sustaining. You can step away and let nature get to work."

Miyawaki Pocket Forests support the creation of flourishing forest habitats with a range of social, environmental and ecological benefits, including air purification, water management, climate regulation, oxygen creation, biodiversity, soil health, species habitat, sound mitigation, and shelter. Green spaces have even been found to increase joy and reduce violence.

The Miyawaki Method:

Planting a Miyawaki Pocket Forest is a four-step process:

- 1. Species Identification and procurement: Identify local native vegetation best suited to the area being planted, and coordinate with local plant nurseries to grow saplings of the target species. Plants should be grown from locally-collected seeds; in some cases locally-collected cuttings may be used but seeds provide greater genetic diversity to support climate resilience. It is important to arrange for procurement of enough saplings to plant the forest all at once. Forests are multi-layered, and as the Miyawaki method mirrors nature, layers of vegetation build a resilient green assemblage of canopy trees, shrubs, subshrubs, and forbs. A variety of species are used in each forest, maximizing density.
- 2. Soil preparation. In urban areas soil is often degraded, compacted, waterlogged or otherwise impaired. However, freshly planted saplings and other plants need soft, porous, crumbly soil so their roots can establish faster and have better access to nutrients. Forest makers till the soil to add amendments to restore the missing biology, and put it on the path to becoming fertile and self-sustaining. Compost tea is also added as the soil is turned; this contains strains of beneficial fungi (known to interact with the specific tree species) and a stimulant, such as molasses or liquid seaweed, to give the fungi fuel to grow.
- 3. Planting: Plant multiple layers of forest, with the help of community volunteers: canopy tree, tree, sub-tree, and shrub. The Miyawaki method requires randomized planting of small saplings of various indigenous shrubs and trees (grown from local, regionally adapted seeds) in very close proximity together, where no two trees or shrubs of the same height are planted side by side. This complex layering ensures that the trees are able to grow to their ideal sizes without directly competing with a neighboring tree of the same height, while at the same time, maximizing every bit of space in the forest. Planting can often be achieved over just one weekend with the assistance of volunteers, creating an opportunity for community members to learn about and invest in climate resilience.
- 4. Apply a layer of mulch. Once planted, mulching protects the soil and retains moisture. Species such as earthworms, beetles, and other insects feed from the top-down, building soil fertility by pulling the mulch into the ground to be broken down by microbes. As mulching helps soil retain moisture and enhances the ability for soil biology to improve, Miyawaki Pocket Forests require limited watering and only need to be

maintained for the first two-to-three years. Once established, weeding, watering, and mulching are no longer required.

5. Maintenance: A temporary irrigation system is installed to ensure adequate water for young saplings. This will only be necessary for the first 18 months to 3 years. Other than watering during these early months and years, the Miyawaki Forest requires very low to no ongoing maintenance. Weeding can be beneficial in the first year as well, but is not required on an ongoing basis. Community "weeding parties" have brought together volunteers of all ages and offer a much-appreciated opportunity to take action to address climate change and to expose children and families to nature.

Benefits of Miyawaki Forests: Environmental, Human Health, and Community

1. Climate Change and Carbon Sequestration: According to the United Nations, climate change refers to long-term shifts in temperatures and weather patterns.³ Since the 1800s, human activity has been the main driver of climate change, primarily due to burning fossil fuels such as coal, oil and gas, and the release of methane. Energy, industry, transport, buildings, agriculture and land use are among the main emitters of greenhouse gasses (GHGs) including gasoline, coal, animal husbandry, clearing of land and forests, and landfills.

According to the City of Berkeley's 2022 Climate Action Plan and Resilience update, Berkeley's GHG emissions are down 31% since the year 2000, with transportation and buildings accounting for the largest share of emissions.⁴ While the city works to create a fossil fuel-free transportation system and benefits from transitioning to the East Bay Community Energy's 100% renewable energy plan, if it is to meet its goal of reducing emissions by 80% below 2000s levels by 2050, more progress must be made.

One method for reducing the impacts of climate change is carbon sequestration. Carbon sequestration is the capturing, removal, and storage of atmospheric carbon. Biological carbon sequestration is when carbon is stored in trees, woodlands, grasslands, and other natural environments. Nature-based solutions such as pocket forests are considered one of the more efficient "carbon sinks," and as such are specifically promoted by State policy and funding. Miyawaki forests are an efficient mechanism of carbon sequestration, helping to mitigate the effects of the climate crisis both locally and globally.

2. **Mitigating the effects of biodiversity loss**: California is a biodiversity hotspot and home to more than 6,500 species of native plant. Roughly 40% of these plant species are found nowhere else and more than 2,000 of California plant species are ranked as

³ "What Is Climate Change?," United Nations, accessed August 1, 2023, https://www.un.org/en/climatechange/what-is-climate-change#.

⁴ Jesse Arreguin, "Progress on the Climate Action Plan," Mayor Jesse Arreguín, December 7, 2022, https://www.jessearreguin.com/newsletters-2/2022/12/6/progress-on-the-climate-action-plan.

rare, threatened, or endangered.⁵⁶ While not specifically including rare or protected plant species, the diversity of native plants used makes Miyawaki forests far more biodiverse than other planting methods. They help bring wildlife to the area by introducing new habitat, reducing existing habitat fragmentation, increasing landscape-scale connectivity, and attracting a diversity of species.

- 3. **Reducing the urban heat island effect**: The urban heat island effect occurs when cities replace natural land cover with dense concentrations of pavement, buildings, and other surfaces that absorb and retain heat. This effect increases energy costs (e.g. air conditioning), air pollution levels, and heat-related illness and mortality. Climate change will likely lead to more frequent, more severe, and longer heat waves. Miyawaki forests can help mitigate urban heat islands by shading building surfaces, deflecting radiation from the sun, and releasing moisture into the atmosphere.⁷
- 4. Making our air cleaner: Trees remove air pollution by the interception of particulate matter on plant surfaces and the absorption of gaseous pollutants through the leaf stomata.⁸ Poor air quality is a critical issue that damages ecosystems and negatively impacts human health and wellbeing. Poor air quality can lead to a myriad of health issues, including bronchitis symptoms, increased risk for glaucoma, heart attacks, changes in vascular function, autism, high blood pressure, cognitive development problems in children, heart failure, and increased mortality. ⁹ Air quality in Berkeley is especially low in areas close to the freeway and downwind from the Chevron facility in Richmond. Berkeley's health report shows that asthma and other respiratory illnesses are more prevalent in African American and other communities of color. Due to historical redlining, these communities are clustered in areas with poor air quality. Improving air quality is thus a health and equity issue.
- 5. **Reduction in violent crime**: Researchers in South Africa found that, controlling for socio-demographic confounders (such as unemployment, education, income, etc.), for every 1% increase in green space, violent crime decreased by 1.3%. ¹⁰ A 2021 study conducted at Michigan State University found that nature can help reduce violence by

⁵ Soumya Karlamangla, "What Makes California the Most Biodiverse State in the Nation," The New York Times, April 17, 2023, https://www.nytimes.com/2023/04/17/us/california-biodiversity-conservation.html ⁶ Irene Gutierrez, "California's Role Fighting the Global Biodiversity Crisis" (Natural Resource Defense Council, February 3, 2023), https://www.nrdc.org/bio/irene-gutierrez/californias-role-fighting-global-biodiversity-crisis.

⁷ "Reduce Urban Heat Island Effect," EPA, July 17, 2023, https://www.epa.gov/green-infrastructure/reduce-urban-heat-island-effect.

⁸ Nowak, David, Hirabayashi, Satoshi, Bodine, Allison, Greenfield, Eric, "Tree and forest effects on air quality and human health in the United States," Environmental Pollution, Volume 193 (October 2014), pgs 119-129, https://www.fs.usda.gov/research/treesearch/46102#.

⁹ Meaghan Weeden, "How Trees Clean the Air," One Tree Planted, June 22, 2023, https://onetreeplanted.org/blogs/stories/how-trees-clean-air.

¹⁰ Venter, Zander, Shackleton, Charlie, Faull, Andrew et al., "Is green space associated with reduced crime? A national-scale study from the Global South," Science of the Total Environment, Volume 825, June 2022, https://www.sciencedirect.com/science/article/pii/S004896972201097X.

lowering stress and bolstering mental and physical health.¹¹ Furthermore, a literature review published in the International Journal of Environmental Research and Public Health found, across the peer-reviewed scientific literature on the subject of the relationship between green spaces and crime, that an increase in green space leads to a statistically significant reduction in crime.¹²

Additional Benefits of Miyawaki Forests:

In addition to carbon sequestration, reduced temperatures, cleaner air, and biodiversity enhancement, reforestation is healing for the community and brings people together. Previous Miyawaki forest plantings in Berkeley were honored by involvement of local and out-of-state Native American participants, who spoke to the meaning of this restoration. It is a way we can honor Indigenous knowledge and bring in Indigenous communities. Caring for the forest uplifts people through service, increases neighborly connections, and helps address eco-anxiety and eco-grief.

Maintenance of Miyawaki forests requires work and attention in their first three years, typically mulching and weeding. During the first two-to-three years they require watering only every ten days, as the plants are native and once established are able to thrive in the local environment, saving water, time, and money. Once mature they become autonomous.



¹¹ Katherine Cullen, "Can Green Spaces Reduce Violence?," Psychology Today, September 23, 2021, https://www.psychologytoday.com/us/blog/the-truth-about-exercise-addiction/202109/can-green-spaces-reduce-violence.

¹² Shepley, Mardelle, Sachs, Naomi, Sadatsafavi, Hessam et al, "The Impact of Green Space on Violent Crime in Urban Environments: An Evidence Synthesis," Int J Environ Res Public Health (December 2019), https://www.ncbi.nlm.nih.gov/pmc/articles/PMC6950486/.

¹³ Sullivan, Kelly. Posing for a photo as part of the Miyawaki forest project are, top row from left: Vernon Medicine Cloud of the Assiniboine and Turtle Mountain Chippewa nations, Alisha Graves, Marlene Hunt of the Yakama Nation, Tamsin Smith of SUGi, Joelle Jones of the Yakama Nation, Jeff Smith, Mary Lee Jones of the Yakama Nation, Ethan Bryson of Natural Urban Forests, Monica Arellano of the Muwekma

THE PILOT PROJECT PROPOSAL - TWO MIYAWAKI FORESTS

Refer to the November 2023 Budget Process \$140,000 to fund staffing, materials, and consultants for a Miyawaki Pocket Forest Pilot Project. These will allow City Staff, working with consultants, to plan, organize, and plant two approximately 10,000 square foot pilot Miyawaki forests on City of Berkeley property, preferably in an area in West Berkeley where the tree canopy is less dense and air pollution and its health impacts are more prevalent.

Carrying out a pilot project with two sites will allow the City to establish protocols appropriate for City locations (conditions at City sites are significantly different from BUSD sites) and to better understand how the City can more broadly disseminate this uniquely powerful carbon sequestration, biodiversity, shade, and air quality intervention to support our climate action, health, and equity goals. Once completed and evaluated, the City Council may consider seeking and allocating additional funds, including state and/or private funds, for a larger rollout of Miyawake forests throughout Berkeley.

Due to the accelerated carbon sequestration, cooling, habitat provisions, and other benefits of Miyawaki forests, this pilot program is likely to offer a valuable complement to the city's existing efforts. Staff should report back to the City Council on progress and outcomes of the Pilot Project and may use existing tree-planting funds, grant funds, or additional one-time City of Berkeley funds to roll out a broader program of Miyawaki forests citywide.

REVIEW OF EXISTING PLANS, PROGRAMS, POLICIES AND LAWS

- The City of Berkeley has recognized the benefits of planting trees and has taken on tree planting initiatives over the past few years:
 - The city has planted over 200 trees in industrial areas in West Berkeley, courtesy
 of a \$725,000 grant awarded by the state in 2020.¹⁴
 - In March of 2022, the City was awarded a further \$500,000 grant from the California Transportation Commission to continue its work planting trees, especially in underserved neighborhoods in Berkeley.
 - Berkeley's Climate Action Plan calls for "a healthy urban forest" that will be able to reduce energy consumption, reduce temperatures, intercept stormwater, improve quality of life, and serve as a carbon sequestration mechanism.¹⁵
 - Berkeley has plans to plant significantly more trees. There have been pledges to plant over 1000 trees in residential neighborhoods, as well as a "wall of trees" along the I-580 to reduce freeway noise.

Ohlone Tribe, Elise Van Middelem of SUGi, Kat Livingston, science teacher Neelam Patil, Sofia Peltz of BUSD, Travis Andy of National Urban Forests. Bottom row: Principal Candy Cannon, Grounds Supervisor Genaro Macchiavello, and Stephen Collins, December 8, 2022, Berkeleyside.

 ¹⁴Jesse Kathan, "Berkeley Residents Can Request Free Saplings to Combat Tree Inequity,"
 Berkeleyside, August 4, 2022, https://www.berkeleyside.org/2022/03/08/trees-make-life-better-berkeley.
 ¹⁵ Climate Action Plan, City of Berkeley, 2009. https://berkeleyca.gov/sites/default/files/2022-01/Berkeley-Climate-Action-Plan.pdf

- Through the Trees Make Life Better program, residents can apply to have a tree planted in front of their residence.¹⁶
- BUSD has already planted several thriving Miyawaki forests. Miyawaki forests have been planted on the Cragmont Elementary, Martin Luther King Jr. Middle School, Berkeley Technology Academy, and Malcolm X campuses (see photos below). Through this process, Indigenous groups, BUSD students, and other members of the community have joined efforts to solve the climate crisis. Community members and BUSD Staff have expertise in planting, growing, and maintaining these forests and are committed to supporting the city in pursuing and expanding Miyawaki Forests.



- The State of California is encouraging tree-planting programs around the state:
 - California allocated \$74.8 million in 2022 for urban forestry, via the California Department of Forestry and Fire Protection Urban Forestry Program, and has recently allocated additional amounts.¹⁸

¹⁶ "Get a Tree in Front of Your Home or Business – or Help Plant One," City of Berkeley, April 7, 2022, https://berkeleyca.gov/community-recreation/news/get-tree-front-your-home-or-business-or-help-plant-one.

¹⁷ Sullivan, Kelly. *Students plant saplings in the Miyawaki forest at Cragmont Elementary*, November 15, 2021, Berkeleyside. https://www.berkeleyside.org/2022/12/08/miyawaki-pocket-forests-berkeley-unified-school-district

¹⁸ "Urban and Community Forestry Program," California Climate Investments, November 30, 2022, https://www.caclimateinvestments.ca.gov/urban-forestry.

- In the 2022 budget, the state appropriated a total of \$292 million for Resilient Forests and Landscapes, including \$20 million for urban forestry.
- In the 2023-2024 budget, the Governor proposed an additional \$290 million for Resilient Forests and Landscapes, with \$10 million earmarked to support urban forestry.¹⁹
- In 2022 the Governor signed into law AB 2251, requiring the creation of a plan to increase urban tree canopy cover by 10% by 2035.
- CA Assembly Bill No. 57, introduced by Assemblymember Ash Kalra and coauthored by Assemblymember Buffy Wicks, would establish a Pocket Forest program through CAL FIRE for "pocket forests" initiatives rooted in the Miyawaki method. It was originally introduced during the 2021-2022 legislative session, and reintroduced in 2023.²⁰ AB 57 has passed through the Assembly and is nearing passage in the Senate.
- The Inflation Reduction Act of 2022 made funding available for conservation and forestry through the Urban and Community Forestry Program.
 - This includes \$1 billion in grants available to increase equitable access to trees and green spaces in urban and community forests.

The Miyawaki Forest pilot program will be an extension of these existing efforts, bringing greenery to the City while also combating poor air quality, loss of biodiversity, and climate change. Even this small proposed investment would give the City a significant advantage in applying for these and other funds.

ACTIONS/ALTERNATIVES CONSIDERED

The City of Berkeley could forgo exploring Miyawaki forests and continue with only traditional tree planting methods that yield less environmental, health, community, and other benefits, and whose benefits accrue more slowly. California lost 2.65 million hectares of tree cover from 2001 to 2021, leading the nation in tree loss.²¹ Given these circumstances, and the acceleration of Global Warming, the City will be well-served by piloting this proven method of rapid urban reforestation, at very low initial and long-term cost, and considering the addition of a broader Miyawaki forest initiative to the City's reforestation programs.

CONSULTATION/OUTREACH OVERVIEW AND RESULTS

Councilmember Hahn and her office have consulted with City Staff, BUSD, and Miyawaki Forest experts, as well as undertaking an extensive literature review. Throughout the planning, planting, and growth of King Middle School's Miyawaki forest in District 5, Councilmember Hahn met and worked with BUSD Miyawaki Forest project sponsor Science Teacher Neelam Patil,

¹⁹ Legislative Analyst's Office, *Wildfire and Forest Resilience Package*, January 22, 2022, https://lao.ca.gov/Publications/Report/4495

²⁰California Pocket Forests Initiative, AB-57, California State Assembly (2023-2024), https://leginfo.legislature.ca.gov/faces/billTextClient.xhtml?bill id=202320240AB57

²¹ Sabrina Toppa, "Neelam Patil: Time Innovative Teachers 2022," Time, June 8, 2022, https://time.com/6181167/neelam-patil-innovative-teachers-2022.

BUSD facilities staff, Foundations providing funds for BUSD's projects, community volunteers, and students. She also participated in planting events at other BUSD locations.

Councilmember Hahn invited City Parks and Forestry staff to visit the King Middle School forest site and meet with BUSD facilities staff to examine the forest and learn about the school's processes. City Staff has expressed support for a pilot for the City of Berkeley, as the reforestation method has been successful at BUSD, and can offer significant environmental benefits more quickly than traditional plantings. There are factors around siting of forests on City vs. BUSD property which are best addressed via a pilot program, prior to moving forward to incorporate Miyawaki Forests citywide.

IMPLEMENTATION, ADMINISTRATION AND ENFORCEMENT

The Parks Department has expressed interest in taking on this pilot, and BUSD has generously offered to provide technical support and guidance. Hiring of a consulting group with expertise in Miyawaki forests will further ensure that the pilot is successfully implemented, documented, and evaluated. Once established, Miyawaki Forests require little, if any, maintenance, which can be carried out by existing City of Berkeley Forestry staff. As more trees are planted citywide via a variety of programs, it is expected that additional staffing may be needed to maintain those trees; the Miyawaki Forests are likely to have less costs and staffing impacts than traditionally planted trees and greenery while providing more rapid and concentrated benefits.

ENVIRONMENTAL SUSTAINABILITY AND CLIMATE CHANGE

See above.

FISCAL IMPACTS

\$140,000 for the pilot project, including two sites. In the future, existing City tree planting funds, grant funding, federal funding, and funds from the State of California may be used to roll-out a citywide Miyawaki Forest program.

OUTCOMES AND EVALUATION

City Parks and Forestry staff, with the support of the Miyawaki Forest consultant, should evaluate outcomes on an ongoing basis and report back to the City Council on benefits, challenges, costs, and savings associated with a potential expansion of the Miyawaki Forest program. Suggested evaluation metrics could include: ease/difficulty of implementation, environmental benefits/costs, community benefits/challenges, and cost/savings/benefits to implement and maintain Miyawaki Forests, with comparisons to alternative reforestation programs and a "no program" alternative. Speed of deployment and regeneration and other measurable benefits (average tree height after 12 months and 24 months, air and surface temperatures within and next to the forest, amount of water used per square foot, amount of volunteers engaged, amount of hours people are exposed to nature in areas typically starved of nature, increase in tree equity scores, air quality, sound reduction, species return, level of volunteer involvement, etc.) can provide useful metrics to form the basis of the evaluation.

If the experience is deemed positive and public or private grant funding becomes available during the Pilot Project implementation period, staff should apply for funding, even if no report has yet been issued to the City Council.

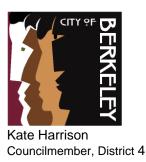
CONTACT PERSON

Councilmember Sophie Hahn, (510) 981-7150





Students at Cragmont Elementary School in approx. 1 year's growth



ACTION CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Councilmember Harrison

Subject: Designating Open Space Adjacent to and in Front of Old Berkeley City Hall as

a Linear City Park Pursuant to BMC 6.42

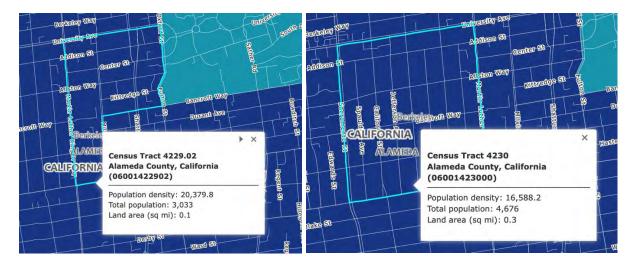
RECOMMENDATION

Adopt a resolution designating open space in front of Old City Hall as linear City park space and formally dedicate this site for permanent recreational use pursuant to BMC 6.42.

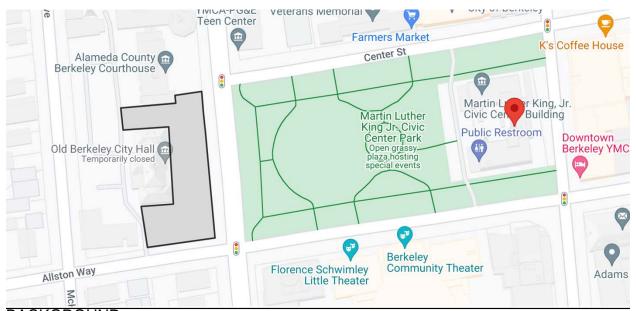
CURRENT SITUATION, EFFECTS, AND RATIONALE FOR RECOMMENDATION
The built environment of Downtown Berkeley lacks an abundance of open space and recreational facilities. Parks and open space are critical for the well-being of residents.

Measure 'L', the *Berkeley Public Parks and Open Space Preservation Ordinance*, adopted by the City of Berkeley in 1986 and codified as Berkeley Municipal Code (BMC) Section 6.42, designates "census tracts containing less than the master plan provision of two acres of parks and open space per one thousand population shall be singled out as having a high priority for funding the acquisition, development and maintenance of parks and recreational facilities."

The Downtown Census tracts 4229.02 and 4230 with respective populations of 3,033 and 4,676 fall short of this threshold and should be prioritized for additional open space. The only park in Census tract 4229.02 is Civic Center Park with 3.46 acres of open space, nearly half the amount of space recommended by Measure L. Similarly, tract 4230 in Central Berkeley has a mere .63 acres of open space, when according to Measure L it should have approximately just under 10 acres.



Pursuant to BMC 6.42, this item would contribute approximately an additional .68 acres of Parks and Open space for use by residents and visitors to these two Central/Downtown census tracts by converting the open space in front of Old City Hall.



BACKGROUND

The District 4 Council District, where Old City Hall is located, contains nearly 14,082 residents according to the 2020 census but only contains roughly 4.02 acres of open space and park land. This means that, according to Measure L, District 4 has a high priority for funding, acquisition, development, and maintenance of new open space.

The open space and landscaping along the western side of MLK and in front of and to the sides of Old City Hall is currently designated a landscaping associated with civic buildings. The space does not currently enjoy the same status of a City park, which would

confer additional maintenance and protection benefits via the Parks, Recreation & Waterfront Department.

The open space in front of these three public buildings is already often used for variety of civic events and as a lunch spot for residents, workers, and Berkeley High students.

Within Berkeley's Open Space and Recreational Element of the General Plan, adopted April 3, 2002, the objectives are stated as follows and are consistent with the goals of this item:

- preserving, maintaining, and repairing the city's existing open space and recreational resources and facilities;
- expanding open space and recreational resources to meet the evolving open space and recreational needs of all segments of this community through land acquisitions and improvements;
- increasing funding for parkland, recreational facilities, and open space maintenance, improvement, and expansion; and

In addition, designating this area as an official public park would help achieve the goals ED-2 and OS-1 of the Berkeley Downtown Area Plan, to "maintain a safe and inviting streets, parks and plazas that contribute to the success of businesses and the wellbeing of residents" and "create new public gathering places that support nearby uses and Downtown as a destination."

In 2019, Council previously designated Berkeley's portion of Ohlone Greenway and the West Street Bike Path as linear City parks pursuant to BMC 6.42. It is the public interest to similarly designate the Berkeley-owned open space and land included in this item as an official part of Berkeley park infrastructure.

FISCAL IMPACTS OF RECOMMENDATION

This area is already owned and maintained by the City of Berkeley so the fiscal impacts of making it an official park would be small. A minimal use of staff time would be required to dedicate the area as a park and add park signage.

ENVIRONMENTAL SUSTAINABILITY

Designating the open space adjacent to and in front of Old City Hall will enable the City to better maintain these dedicated these spaces as safe and enjoyable low-carbon and carbon sequestering recreation areas.

CONTACT PERSON

Councilmember Kate Harrison, (510) 981-7140

<u>ATTACHMENTS</u>

- 1. Resolution
- 2. Voter Information Pamphlet Text of Measure L

RESOLUTION ##,###-N.S.

DESIGNATING THE BERKELEY-OWNED OPEN SPACE ADJACENT TO AND IN FRONT OF OLD CITY HALL AS AN OFFICIAL PART OF CITY PARK INFRASTRUCTURE

WHEREAS, in Berkeley's Open Space and Recreational Element of the General Plan, adopted April 3rd, 2002, the objectives are stated as:

- preserving, maintaining, and repairing the city's existing open space and recreational resources and facilities;
- expanding open space and recreational resources to meet the evolving open space and recreational needs of all segments of this community through land acquisitions and improvements;
- increasing funding for parkland, recreational facilities, and open space maintenance, improvement, and expansion; and

WHEREAS, in Berkeley's Downtown Area Plan, adopted March 20th, 2012, the objectives are stated as:

- maintaining a safe and inviting streets, parks and plazas that contribute to the success of businesses and the wellbeing of residents;
- creating new public gathering places that support nearby uses and Downtown as a destination; and

WHEREAS, Measure L, the *Berkeley Public Parks and Open Space Preservation Ordinance* adopted by the City of Berkeley in 1986 requires the Council "To preserve and maintain the public parks and open space which exist in Berkeley, as well as To acquire and maintain public parks and open space in the census tracts and Neighborhoods of Berkeley having less than the minimum amount of open Space relative to population (2 acres per 1,000)"; and

WHEREAS, District 4 and the census tracts therein adjacent to Old City Hall contains less than 2 acres of public parks and open space per 1,000 residents and therefore has a high priority for funding, acquisition, development, and maintenance of open space; and

WHEREAS, the above goals and ordinances establish the protection of open space and the establishment of public parks as an important City priority; and

WHEREAS, the open space and land along the western side of MLK and in front of Old City Hall are already being used for civic and recreational activities and are comparable to existing Park Space in the adjacent Civic Center Park.

NOW THERFORE, BE IT RESOLVED by the Council of the City of Berkeley that the Berkeley-owned open space and land adjacent to and in front of Old City Hall is designated as an official part of City park land and infrastructure.

TITY OF BERKELEY INITIATIVE ORDINANCE MEASURE L: Shall an ordinance be adopted to require voter approval of non-recreational uses of parks or open space and require acquisition of open space controlled or leased by the City if acquisition is the only means of preserving the open space? Financial Implication: Increase in landscape assessment fees; acquisition costs unknown.

FULL TEXT OF MEASURE L

LET IT HEREBY BE ORDAINED that an Ordinance shall be passed which shall provide:

THE BERKELEY PUBLIC PARKS AND OPEN SPACE PRESERVATION ORDINANCE: PROPOSAL FOR AN ORDINANCE TO REQUIRE THE BERKELEY CITY COUNCIL TO PRESERVE AND MAINTAIN THE PUBLIC PARKS AND OPEN SPACE WHICH EXIST IN BERKELEY, AS WELL AS TO ACQUIRE AND MAINTAIN PUBLIC PARKS AND OPEN SPACE IN THE CENSUS TRACTS AND NEIGHBORHOODS OF BERKELEY HAVING LESS THAN THE MINIMUM AMOUNT OF OPEN SPACE RELATIVE TO POPULATION (2 ACRES PER 1,000) IDENTIFIED IN THE BERKELEY MASTER PLAN OF 1977; AND TO REQUIRE THE CITY TO SUBMIT TO A POPULAR VOTE ALL PROPOSALS TO WITHDRAW FROM RECREATIONAL USE PUBLIC PARKS OR PUBLIC OPEN SPACE.

FINDINGS:

WHEREAS the Berkeley Master Plan of 1977 (hereinafter Master Plan) provides for a minimum standard of two acres of public open space per 1,000 persons and identifies specific Berkeley census tracts as having high population density and high open space demands, and attainment of the minimum standard is jeopardized by continued loss of Public open spaces.

WHEREAS the City of Berkeley is the second most densely populated city in California, undeveloped land is at a high premium in Berkeley, there are significant pressures to convert City owned or controlled open space to permanent or long-term non-park, non-open space uses and there exists a clear and present emergency in that the threatened loss of open space, parks and recreational opportunities in the neighborhoods in Berkeley will cause irreparable damage to the health and welfare of Berkeley residents.

WHEREAS the Berkeley City Council has failed to provide and fund the Master Plan minimum standard of public parks and open space in every Berkeley neighborhood, and in particular in those census tracts having high park and open space requirements.

WHEREAS, specific procedures and directives to the Berkeley City Council are necessary to insure that the Master Plan's minimum park and open space goals are not rendered impossible through the continued loss of public open spaces;

VOTER AUTHORIZATION PROCEDURE

Section 1: That no public parks (hereinafter defined) or public open space (hereinafter defined) owned or controlled or leased by the City of Berkeley or agency thereof, shall be used for any other purpose than public parks and open space, without The Berkeley City Council first having submitted such use to the citizens for approval by a majority of registered Berkeley voters voting at the next occurring general election.

FUNDING LEVELS TO ALLOW FULL USE

Section 2(a): That wherever public parks and open space currently exist in Berkeley, such use shall continue and be funded at least to allow the maintenance of the present condition and services. (b) That all undedicated or unimproved open space owned or controlled by the City of Berkeley (including land held by the City in trust) shall be retained and funded by the Berkeley City Council to enable public recreational use of those lands. (c) That those census tracts containing less than the Master Plan provision of two acres of parks and open space per 1,000 population shall be singled out as having a high priority for funding the acquisition, development and maintenance of parks and recreational facilities.

Page of DeFinitions

Section 3(a): Public parks shall be defined as City of Berkeley parks, public school playgrounds or lands held in trust by a public entity, which have been formally dedicated to permanent recreational use by the City of Berkeley, and funded for recreational use by City of Berkeley public funds.

Section 3(b) Public open space shall be defined as all City of Berkeley parks, public school playgrounds, and vacant public land, whether dedicated formally to park use or being used de facto as open space with recreational use or potential use on or after January 1, 1985.

ADOPTION OF THIS ORDINANCE

Section 4(a): If the petition accompanying this proposed ordinance is signed by the number of voters required by the Berkeley City Charter, Article XIII, Section (3) or (4) or (5), the Berkeley City Council is hereby directed to submit this ordinance forthwith to the vote of the people pursuant to the appropriate Charter Section that applies to the highest number of voter signatures certified by the City Clerk, unless the Council passes this ordinance pursuant to the Charter, Article XIII, Section (3)(a).

RETROACTIVITY

Section 5(a): Upon passage of this initiative, all actions taken on or after January 1, 1985, by the Berkeley City Council, Housing Authority, or any agency of the City of Berkeley which contravane the provisions herein shall be declared null and void.

Section 5(b): Upon passage of this initiative, all actions, even administrative, taken by the Berkeley City Council, or Housing Authority or agency of the City of Berkeley occurring after the date this initiative is certified for placement on the next occurring general election ballot, which actions are not in full conformity with this Ordinance, shall be declared null and void.

SEVERABILITY

Section 6: If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application and, to this and, the provisions of this Ordinance are severable.

BERKELEY CITY ATTORNEY ANALYSIS OF MEASURE L

The initiative ordinance would have the following effect:

- 1. Require that all existing public parks and vacant public land, either formally or informally devoted to recreational use after January 1, 1985, be retained and maintained at their present level of service. This requirement would only apply to land owned or controlled by the City of Berkeley, since the City does not have the authority to regulate land owned by other public entities such as the school district or the University of California. The Berkeley Redevelopment Agency and the Berkeley Housing Authority are independent state agencies and thus would be immune from regulation in this manner.
- 2. Require prior voter approval if such City of Berkeley public parks or open space are to be used for any other purpose. This measure requires the City to acquire land it does not presently own, if acquisition is the only means to retain the land as open space or public park. As of the date this analysis was prepared, several City parks are owned by others, including: sections of Ohlone Park, leased from Bay Area Rapid Transit District; six school parks owned by the Berkeley Unified School District and maintained, in part, by the City; and Douglas Park on Dwight Way which is owned by the University. The City has plans underway to acquire the remaining section of Ohlone Park.
- Census tracts that do not meet the Master Plan open space requirements will have priority for the funding, acquisition, development and maintenance of parks and recreational facilities.

Financial Implications

Currently park maintenance is funded by fees through the Landscape Assessment District. Increase in fees will be required to maintain additional land. Costs to acquire land owned by others is unknown at this time, but may be significant.

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ARGUMENT IN FAVOR OF MEASURE L

Approval of this citizen's initiative ordinance will allow Berkeley Voters to directly participate in decisions to change the use of Public Parks and Open Space.

Berkeley's parks and public open spaces are highly used and valued by all parts of the community. They help provide for the health, fitness, children's play, entertainment, and recreational needs of all citizens. Decisions to reduce our presently insufficient number of parks belong on the ballot where all citizens can express their opinion with their vote.

This initiative ordinance requires that the voters must approve new uses for city lands held in public trust. It does not limit or prohibit any potential new uses approved by the majority of the voters.

Approval of this ordinance would certify that Berkeley Census tracts that presently contain less public open space than the Master Plan standard of two acres per 1,000 residents be given priority funding in acquisition, development and maintenance of parks/recreational facilities. It will help make distribution of parks more equitable throughout Berkeley. This is a minimal standard, since Berkeley has fewer parks than state and national averages.

The provisions of the Master Plan combined with the approval of Measure Y (1974) park funding, strongly suggests that the Citizens of Berkeley believe that Public Parks and Open Space need expansion. Since there is no indication that Berkeley has changed its opinion, it is all the more appropriate to require voter approval when potential development removes parks and open space called for in the Berkeley Master Plan. You can help Preserve Berkeley's parks and open space by voting YES on Measure L.

s/Martha Nicoloff, Co-Author, Neighborhood Preservation Ordinance s/Clifford Fred s/Dorothy Bryant s/Carroll B. Williams, Former Berkeley School Director s/John G. Cecil, Chair, Preservation Initiatives Committee

REBUTTAL TO ARGUMENT IN FAVOR OF MEASURE L

The need for parks is a serious issue which should not be the subject of the scare tactics employed by the proponents of Measure L.

City parks are designated in the Master Plan for recreational use. Contrary to implications made by the proponents of this measure, no one can recall any City plan—past, present, or future—to reduce the number of parks serving Berkeley's recreational needs. Open space, sometimes a vacant lot, on the other hand, is usually held by owners other than the City. They may, or may not, have plans for future use of their property.

The real reason for Measure L is the Housing Authority's plan to build 12 single-family townhouses for low income families on a small portion of School District property at Savo Island (MLK, Jr. Way between Derby and Ward). The remaining piece of land is large enough to accommodate a football field. The neighborhood will still be able to enjoy the use of this open space.

Measure L does more than require a vote for new uses for City lands held in public trust. It requires the City to acquire land. But where will the money come from? Given the tremendous federal budget cuts to municipalities and the demands on the City's budget, from what other City services will the trade-off come? And given the pressure of Measure L on the City, property owners would be foolish to negotiate.

If we want additional parks, someone has to pay. And since we will ultimately pay, we should know the cost before we make such an important decision.

Don't let the proponents of this measure scare you into believing that our parks will disappear. Quite honestly, they won't.

VOTE NO ON MEASURE L

s/Wesley E. Hester, Chair, Council Committee on Revenue and Finance s/Arlene Irlando, Member, Berkeley Chicano/Latino Network s/Maudelle Miller Shirek, Berkeley City Council s/Stacy Wilson, Chair, Citizens Budget Review Commission s/Carole K. Davis, Former Vice-Mayor

ARGUMENT AGAINST MEASURE L

On its face as a statement of community values, Measure L seems harmless. What could be wrong with wanting additional parks? However, the difference between the outcome of Measure L and the kind of program which can come from a thoughtful parks proposal such as Measure Y (1974) is a budget—a specific amount dedicated to acquiring and maintaining parks and open space.

In 1974 voters passed a park acquisition, renovation and development ordinance: Measure Y. It raised more than \$5 million. As a result, the City was able to create 9 new parks and 8 parks on school grounds. That measure was a direct result of the recognition that Berkeley was deficient in park space and was able to accomplish what it did because it included a budget.

As a community we are stretched thin in trying to fund a variety of City Services ranging from police services to sidewalk repair. New parks and additional open space cost money (if and when the City can get title to the property. In fact, this measure may well prejudice City negotiations with landowners who will use this measure in their bargaining. The proponents of Measure L are irresponsible in offering this proposal without including the means by which to finance it. They have made promises but have not provided any way of keeping them. The citizens deserve to know how the money will be obtained, and what the price tag will be.

s/Hynetha Hewitt, Parks and Recreation Commissioner s/Carole Davis, Former Vice-Mayor s/Maudelle Shirek, Berkeley City Council s/Carole Lewis, Social Services Director s/Rich Illgen, President, Planning Commission

REBUTTAL TO ARGUMENT AGAINST MEASURE L

The opponents of Measure L have missed its major provision.

Measure L prevents the City Council from using the existing public parks and open spaces for any new use without the approval of the community.

If the Council wants to remove/develop existing public parks and open space, prior voter approval is required.

At this time, no law prevents our elected officials from placing such decisions on the ballot.

Measure L also requires that the minimal standard for parks already in existence be observed in areas that presently have less than their "fair share" of parks called for in the Berkeley Master Plan of 1977.

We do not agree with the opponents financial argument.



Despite the implication of the opponent's argument, responsibility for implementing and financing the Master Page Plan has not shifted from Council and Staff to individual community members. It should be noted that determined citizens who believe in the importance of parks and recreational facilities in everyone's quality of life, have and will continue to assist in the search for sources of new and additional funding.

Measure L ensures the **community** will be **directly involved** in decisions to re-use existing Public Parks and Open Space by placing every proposed development plan on the ballot and **letting the voters decide** between parks and development.

Vote YES on Measure L.

s/Michael Winter, Executive Director, Center for Independent Living s/Pamela J. Ferguson s/Gloria A. Belsky s/John G. Cecil, Chair, Preservation Initiatives Committee s/Janet M. Maestre

CITY OF BERKELEY INITIATIVE ORDINANCE				
M	MEASURE M: Shall an ordinance be adopted requiring voter approval for non-educational and/or non-recreational uses of Berkeley Unified School District	YES		
Financia	property? al Implications: Unknown.	NO		

FULL TEXT OF MEASURE M

BE IT ORDAINED BY THE PEOPLE OF THE CITY OF BERKELEY: FINDINGS:

WHEREAS the Berkeley City Council and Berkeley Housing Authority have attempted to acquire, develop, use or approve Berkeley Unified School District property for non-educational purposes.

WHEREAS the Berkeley Unified School District (hereinafter School District) has been given a public trust in real property to use for the educational benefit of the Citizens of Berkeley.

WHEREAS the School District has purchased and developed real property with monies received in trust and intended to be expended for the educational benefit of the citizens of Berkeley, which property if lost to the originally intended and dedicated educational and related recreational uses, will be unavailable or irreplaceable when needed for those uses.

WHEREAS there is a potential that use or development of School District property for non-educational uses will ultimately act to the detriment of the Citizens of Berkeley and will violate the wishes of a majority of the Citizens of Berkeley regarding the use of that property.

WHEREAS these actions have been proposed and are being undertaken without the approval of the voters of Berkeley.

WHEREAS there exists a clear and present emergency in that the threatened sale or long-term lease of School District real property and buildings for non-educational or non-recreational use will cause irreparable damage to the health and welfare of Berkeley residents.

OFF IT HEREBY BE ORDAINED that an Ordinance shall be passed which shall prov

VOTER AUTHORIZATION PROCEDURE

Section 1: That should the Berkeley City Council, Housing Authority or any other agency of the City of Berkeley propose to acquire, or approve the use of, School District property (hereinafter defined) for other than educational or existing recreational purposes, and should that approval or use require the purchase, sale or long-term encumbrance (hereinafter defined) of that property, the Berkeley City Council shall first submit that specific proposal, detailing the specific use, transaction sought, and the site involved, after being approved officially by the appropriate City agency and the Berkeley City Council, to the Citizens for approval by a majority of registered Berkeley voters voting at the next occurring general election.

DEFINITIONS

Section 2(a): School District property shall be defined to include the land and buildings which have been used by the Berkeley Unified School District for educational purposes, child-care, recreation or School District support services (including maintenance) at any time since January 1980.

Section 2(b): A long-term encumbrance shall include a lease whose term is greater than five years or where options are granted such that the term may be extended beyond five years by option of the lessee. In addition, a long-term encumbrance shall include any mortgage transaction which pledges the property as security.

ADOPTION OF THIS ORDINANCE

Section 3(a): If the petition accompanying this proposed ordinance is signed by the number of voters required by the Berkeley City Charter, Article XIII, Section (3) or (4) or (5), the Berkeley City Council is hereby directed to submit this ordinance forthwith to the vote of the people pursuant to the appropriate Charter Section that applies to the highest number of voter signatures certified by the City Clerk, unless the Council passes this ordinance pursuant to the Charter, Article XIII, Section (3) (a).

RETROACTIVITY

Section 4(a): Upon passage of this initiative, all actions taken on or after January 1, 1985, by the Berkeley City Council, Housing Authority or any agency of the City of Berkeley which contravene the provisions herein shall be declared null and void.

Section 4(b): Upon passage of this initiative, all actions, even administrative, taken by the Berkeley City Council, Housing Authority or agency of the City of Berkeley occurring after the date this initiative is certified for placement on the next occurring general election ballot, which actions are not in full conformity with this Ordinance, shall be declared null and void.

SEVERABILITY

Section 5: If any provision of this Ordinance or the application thereof to any person or circumstances is held invalid, such invalidity shall not affect other provisions or applications of the Ordinance which can be given effect without the invalid provision or application and, to this end, the provisions of this Ordinance are severable.

BERKELEY CITY ATTORNEY ANALYSIS OF MEASURE M

The initiative ordinance would have the following effect:

- 1. Require the City Council to submit to the voters for prior approval any proposal to acquire, encumber or lease for a period longer than five years, or approve the use of property owned by the Berkeley Unified School District, if the property is not intended to be devoted to educational or recreational uses. Under current law, voter approval of such a proposal would be required only if the property was to be used for specified kinds of public housing and the City had exhausted its current voter approved authority to construct such units. The Housing Authority is an independent state agency implementing statewide laws and is not subject to this ordinance. Zoning or other City land use approvals of projects proposed by other private or public persons or entities would not be subject to prior voter approval under current case law.
- Provide that any actions taken by the City Council or the Berkeley Housing Authority or other City agency after January 1, 1985, which contravene the ordinance in the above respect, are null and void. The Berkeley Housing Authority has entered into a long-term lease with the Berkeley Unified School District



INFORMATION CALENDAR SEPTEMBER 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Jordan Klein, Director, Planning and Development Department

Subject: LPO NOD: 60 Panoramic Way, #LMIN2023-0001

INTRODUCTION

The attached Notice of Decision (NOD) for the Landmarks Designation is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.160, which requires that "a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting."

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPO/Commission) has designated the subject property as a City Landmark.

BACKGROUND

BMC/LPO Section 3.24.190 allows the Council to review any action of the Commission in granting or denying Landmark, Structure of Merit or Historic District status. In order for Council to review the decision on its merits, Council must appeal the NOD. To do so, a Councilmember must move this Information Item to Action and then move to "certify" the decision. Such action must be taken within 15 days from the mailing of the NOD or by September 12, 2023. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set within 25 days pursuant to BMC/LPO Section 3.24.300. The Council must then rule on the designation within 30 days from the date that the public hearing is opened or the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than

LPO NOD: 60 Panoramic Way/#LMIN2023-0001

their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to certify or appeal the decision to grant designation status, setting the matter for public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this designation action.

CONTACT PERSON

Reina Kapadia, AICP, Senior Planner, Planning and Development, 510-981-7410

Attachments:

1: Notice of Decision – 60 Panoramic Way, #LMIN2023-0001

Attachment 1, Part 1



Notice of Decision

DATE OF BOARD DECISION: June 1, 2023

DATE NOTICE MAILED: August 28, 2023

APPEAL PERIOD EXPIRATION: September 12, 2023

EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): September 13, 2023¹

60 Panoramic Way – William J. Moore House

Landmark application #LMIN2023-0001 for the consideration of City Landmark or Structure of Merit designation status for a residential building constructed in 1913 that is a Contributing Property to the Panoramic Hill National Register Historic District – APN 55-1853-15

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following request:

Structure of Merit designation

APPLICANT: Jordan Kanarek and Gabrielle Goldstein

60 Panoramic Way Berkeley, CA 94704

¹ Pursuant to BMC Chapter 3.24, the City Council may "certify" any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMIN2023-0001 60 Panoramic Way Mailed: August 28, 2023 Page 2 of 5

ZONING DISTRICT: Environmental Safety-Residential (ES-R)

ENVIRONMENTAL REVIEW STATUS: Categorically exempt under the California Environmental Quality Act Guidelines, Section 15061(b)(3).

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMIN2023-0001 60 Panoramic Way Mailed: August 28, 2023

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The application materials for this project is available online at:

https://berkeleyca.gov/construction-development/land-use-development/zoning-projects or https://permits.cityofberkeley.info/CitizenAccess/Default.aspx

FINDINGS FOR FINAL ACTION AND APPLICATION ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 8-0-0-1

YES: ADAMS, CRANDALL, ENCHILL, FINACOM, LEUSCHNER, MONTGOMERY,

SCHWARTZ, TWU

NO: NONE

ABSTAIN: NONE

ABSENT: LINVILL

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

- 1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
 - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
- 2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMIN2023-0001 60 Panoramic Way Mailed: August 28, 2023

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- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$2500.
- 3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the Structure of Merit designation will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

- If you challenge this decision in court, you may be limited to raising only those issues you
 or someone else raised at the public hearing described in this notice, or in written
 correspondence delivered to the Landmarks Preservation Commission at, or prior to, the
 public hearing.
- You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
- 3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
- 4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
- 5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
 - A. That this belief is a basis of your appeal.
 - B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMIN2023-0001 60 Panoramic Way Mailed: August 28, 2023 Page 5 of 5

C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record. If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Reina Kapadia, at (510) 981-7410 or rkapadia@berkeleyca.gov. All project application materials may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3rd Fl., during regular business hours.

ATTACHMENTS:

1. Findings for Final Action

2. Landmark Application for 60 Panoramic Way, prepared by Jordan Kanarek (property owner); received March 9, 2023

ATTEST:

Fatema Crane, Secretary Landmarks Preservation Commission

cc: City Clerk

Applicant and Property Owner: Jordan Kanarek and Gabrielle Goldstein,

60 Panoramic Way, Berkeley, CA 94704

Findings

JULY 6, 2023

60 Panoramic Way – William J. Moore House

Landmark application #LMIN2023-0001 for the consideration of City Landmark or Structure of Merit designation status for a residential building constructed in 1913 that is a Contributing Property to the Panoramic Hill National Register Historic District – APN 55-1853-15

PROJECT DESCRIPTION

Structure of Merit designation of the property at 60 Panoramic Way, William J. Moore House.

CEQA FINDINGS

 The project is found to be exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq.) pursuant to Section 15061.b.3 of the CEQA Guidelines (activities that can be seen with certainty to have no significant effect on the environment).

LANDMARK PRESERVATION ORIDNANCE FINDINGS

2. Pursuant to Berkeley Municipal Code (BMC) Section 3.24.110.B.2(d) of the Landmarks Preservation Ordinance, the Commission finds that the subject property meets the designation criteria for Structure of Merit (SOM) status because the structure has historical significance to the City and/or to the structure's neighborhood, block, street frontage, or group of buildings as a good example of the First Bay Tradition style of architecture, and as a contributor to the Panoramic Hill National Register Historic District. The building retains integrity of location, materials, feeling, association, setting, workmanship, and design throughout its street-facing (primary) elevation, despite some exterior alterations on the side and rear elevations. Through these qualities, it conveys its associations with its period of construction (1913) and has historic significance to the City, neighborhood (Panoramic Hill), block, and group of buildings in the historic district in which it is located.

FEATURES TO BE PRESERVED

1. This Structure of Merit designation shall apply to the subject property and the following distinguishing features of the main building and site shall be preserved:

Setting

 Its location in the Panoramic Hill residential neighborhood amongst the grouping of single-family residences built between 1901 – 1950 in various examples of the First Bay Tradition of architecture (National Register Historic District)

Overall Visual Aspects

- Two-and-a-half story over basement height of structure
- Natural, unpainted, wood-shingled exterior wall cladding throughout
- Those aspects of its design and materials associated with its First Bay Tradition style of architecture

West Elevation (Primary/Front)

Floor 1

- Inset entry porch
- Wooden entry door with inset panel and two flanking sidelights
- Wooden French doors with divided light panels
- A square bay covered with wood shingle cladding and:
 - Two double-hung wooden sash windows (8/1)
 - One center double-hung wooden sash window (10/1)

Floor 2

- Two secondary hip roof overhangs between each floor with exposed rafter tails
- Two three-part projecting bay windows with three double-hung wood sash windows in each:
 - Two 1/1 windows in the central bays
 - Four 6/1 windows on side bays
- Two casement windows with valance grid mullions (4/1)

Floor 3 (Attic)

Single double-hung wood sash window (1/0)

Basement

East Elevation (Rear)

- Wooden double undivided casement window
- Wooden French doors with divided light panels

North Elevation (Side)

Floor 1

- One double-hung wood sash window (10/1)
- Three double-hung wood sash bay windows (1/1) underneath a hip roof overhang
- Two double-hung wood sash windows (towards the rear)

Floor 2

Two double-hung wood sash windows (10/1)

South Elevation (Side)

Floor 2

- Four divided (3/1) picture windows
- Two divided (5/1) picture windows

Roof

- Front-facing gable roofline with exposed wooden roof beams with pyramidal rafter tail end
- Clinker brick chimney
- Beadboard soffits

Site Features

- Rhyolite (local volcanic) stone retaining walls and pilasters along the front property line and the south side property line as it returns into the sloped front yard
- Rhyolite (local volcanic) stone staircase (single flight) at the front property line leading up to the residence
- Rhyolite (local volcanic) stone planter beds in the sloped front yard



Planning and Development Department Land Use Planning Division

City of Berkeley Ordinance #4694 N.S. LANDMARK APPLICATION

1. Street Address
City
County
Zip

60 Panoramic Way
Alameda
Alameda

2. Assessor's Parcel Number: 55-1853-15

Block and Lot: Lot 13, "University Terrace", filed August 14, 1999 in Book 10

Tract: of Maps, Page 30 Alameda County

Dimensions: Lot size:9,752 Sq. Ft.

Cross Streets: Panoramic Way near Orchard Ln

3. Is property on the State Historic Resource Inventory? No Form #

Is property on the Berkeley Urban Conservation Survey? No Form #

4. Application for Landmark includes:

a. Building:
Garden: Other features:

b. Landscape or Open Space: Natural Designed Other

c. Historic Site:

d. District:

e. Other: Stone Retaining wall

5. Historic Name: 60 Panoramic Way
Commonly Known Name: 60 Panoramic Way

6. Date of Construction:

a. Factual: 1913 b. Approximate:

Source of Information: National Register Designation #05000424

7. Architect:

8. Builder: Henry Rowe

9. Style: First Bay Tradition

10. Original Owners: William J. Moore

Original Use: Residential Single Family

11. Present Owners: Gabrielle Goldstein and Jordan Kanarek

12. Present Use:

Residential: Single Family Duplex

Multiple

Commercial: Office Store Industrial Hotel Institutional: School Hospital Other

Current Zoning:

Adjacent Property Zoning: ES-R

13. Present Condition of Property:

Exterior: Excellent Good Fair Poor Interior: Excellent Good Fair Poor Grounds: Excellent Good Fair Poor

Has the property's exterior been altered?

Structural support piers were added in the front, north, and rear sides of the home.

Non-original stained glass windows at the front and north sides of the home.

Windows at the front and rear of the attic not original.

Windows and door at the rear of the home on the first floor are not original

Gutters and drains are of modern materials

Basement was built in 1962 and windows are not original

Sleeping porch and bay on the north side of the home appear to be non original but pre 1962 additions

Bridge and door at the rear of the home don't appear to be original

14. Description: See site features and description in attached document.

15. History:

This property is a contributor to the Panoramic Hill Historic District. This District is historically significant in the area of architecture as a neighborhood that represents the

Bay Area Tradition, period of significance 1901-1950.

16. Significance:

The significance of 60 Panoramic Way is evident in its exemplary architectural design and listing on the National Register. Pursuant to Berkeley Municipal Code 3.24.110.A.5, the Commission shall use listing on the NR as a criterion for City Landmark designation.

Historic Value:
National State County City Neighborhood

Architectural Value:
National State County City Neighborhood

17. Is the property endangered?

18. Photographs: Date: 12/15/22 Repository: N/A

Photographer: Jordan Kanarek

19. Bibliography: National Register Designation #05000424 for the Panoramic Hill District, March 28 2005

20. Recorder: Janice Thomas & Fredrica Drotes **Date:** 2005

Organization: Berkeley Architectural Heritage Association, submitted and

certified by the National Register of Historic Places

60 Panoramic Way Description + Building/Site Features

Description

In 2005 this home, and several other neighboring homes, was placed on the National Register of Historic Places (National Register Designation #05000424). The house at 60 Panoramic Way was designed and built by Henry Rowe, who purchased several contiguous lots on the hill and built five houses, including this one. The five houses, all Craftsman-styled, are distinct from each other, and this particular house was built in 1913.

The two and a half story single-family dwelling is situated on the uphill side of Panoramic Way, close to the first hairpin turn. The exterior of the house is covered in natural wood shingles, with a front gabled roof that has overhanging eaves supported by exposed roof beams. The chimney is constructed of clinker brick. The first story of the western facade includes a square bay with three double-hung windows and an inset entry porch. The front door has a vertical inset panel flanked by side lites of non-original diamond-paned leaded glass. The second story features a pair of three-sided bay windows under a secondary hip-roof overhang. A stone retaining wall, made of local volcanic rhyolite and about four feet in height, wraps around the property line at the street, adjoining the retaining wall at 62 Panoramic Way. A flight of steep stone steps leads to the wooden entry porch.

Over the years, this house has undergone several renovations and additions. In 1962, a basement apartment and bathroom were added, and it appears that this is when structural support piers and casement windows were installed at the front of the home. In 1980, a kitchen addition extended the rear first floor into a roughly 5'x5' portion of the rear patio to make room for a breakfast nook. In 1984, a multilevel garden designed by Jonathan Plant was constructed, and a redwood bridge was installed to create access to the garden from the second floor of the house. This design further enhances the house's connection to nature. Jonathan's work demonstrates the power of thoughtful landscape design in creating a harmonious living environment with this historic home.

In 2004, an attic conversion was completed, and skylights were added to the home, further enhancing its charm and livability.

Overall, this house is an excellent example of the Craftsman style and has undergone several renovations and additions that have enhanced its livability without compromising its historic character.

Site features

- * = historic feature to be preserved
 - Rhyolite stone retaining walls and staircase*
 - Rhyolite stone planter beds*
 - Decorative hand railing on stairs
 - Timber retaining wall street-level at 58 Panoramic Way
 - Fence and retaining wall at the south side of the property
 - Terraced garden and patio at the rear of property

General building features

- Two Clinker brick chimneys*
- Blue painted window trim
- Wood shingles*

Western facade / Front features

Floor 1:

- A square bay consisting of
 - Two double-hung divided windows (8/0)*
 - One double-hung divided window (10/0) *
- Inset entry porch*
- Handrails
- Stained glass sidelight panels at both sides of door at entry porch
- French doors with divided panels*
- Two medium sized divided (4/1) picture windows*

Floor 2:

- Two double hung windows*
- Four divided (6/0) double hung windows*
- Secondary hip-roof overhang *

Floor 3/Attic:

• Double hung window*

Basement:

- Two sets of casement windows
- Structural support piers

Eastern facade/ Rear features

Floor 1:

- Exterior utility/storage closet with double doors.*
- Glass door
- Double hung window
- French doors with divided panels*
- One casement window*

Floor 2:

- Bridge connecting bedroom to second level of backyard
- Double hung window
- Door with divided windows
- Two divided sidelights (5) on either side of the patio door

Floor 3/Attic:

• Double hung window

Northern facade features

Floor 1:

- One large double hung divided window (10/0)*
- Three double-hung window bay underneath a hip-roof overhang*
- Two double hung windows at rear*

Floor 2:

- Two large, double hung windows *
- One small, frosted, double hung divided (4/0) window
- One small, frosted, double hung window

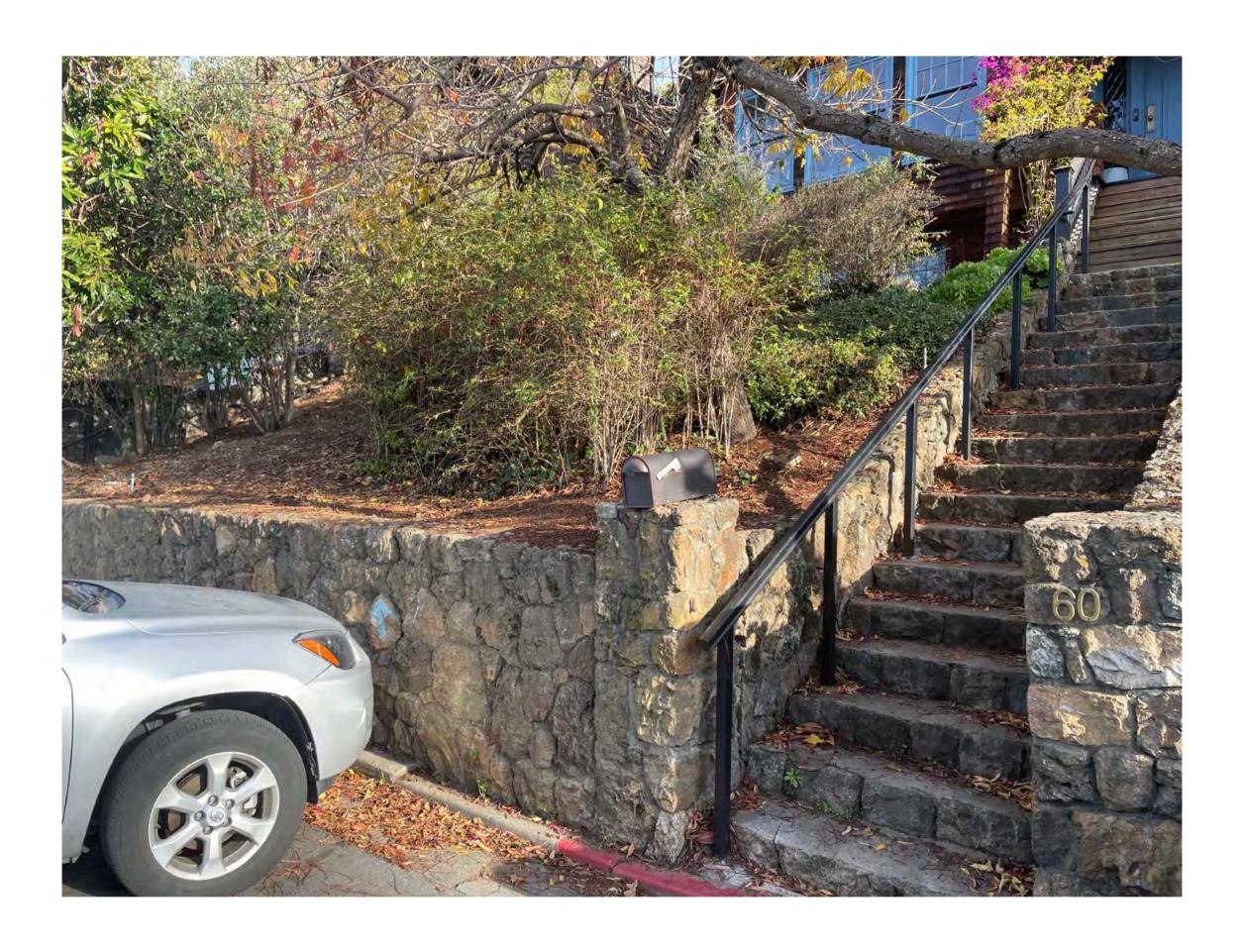
Southern Facade features

Floor 1:

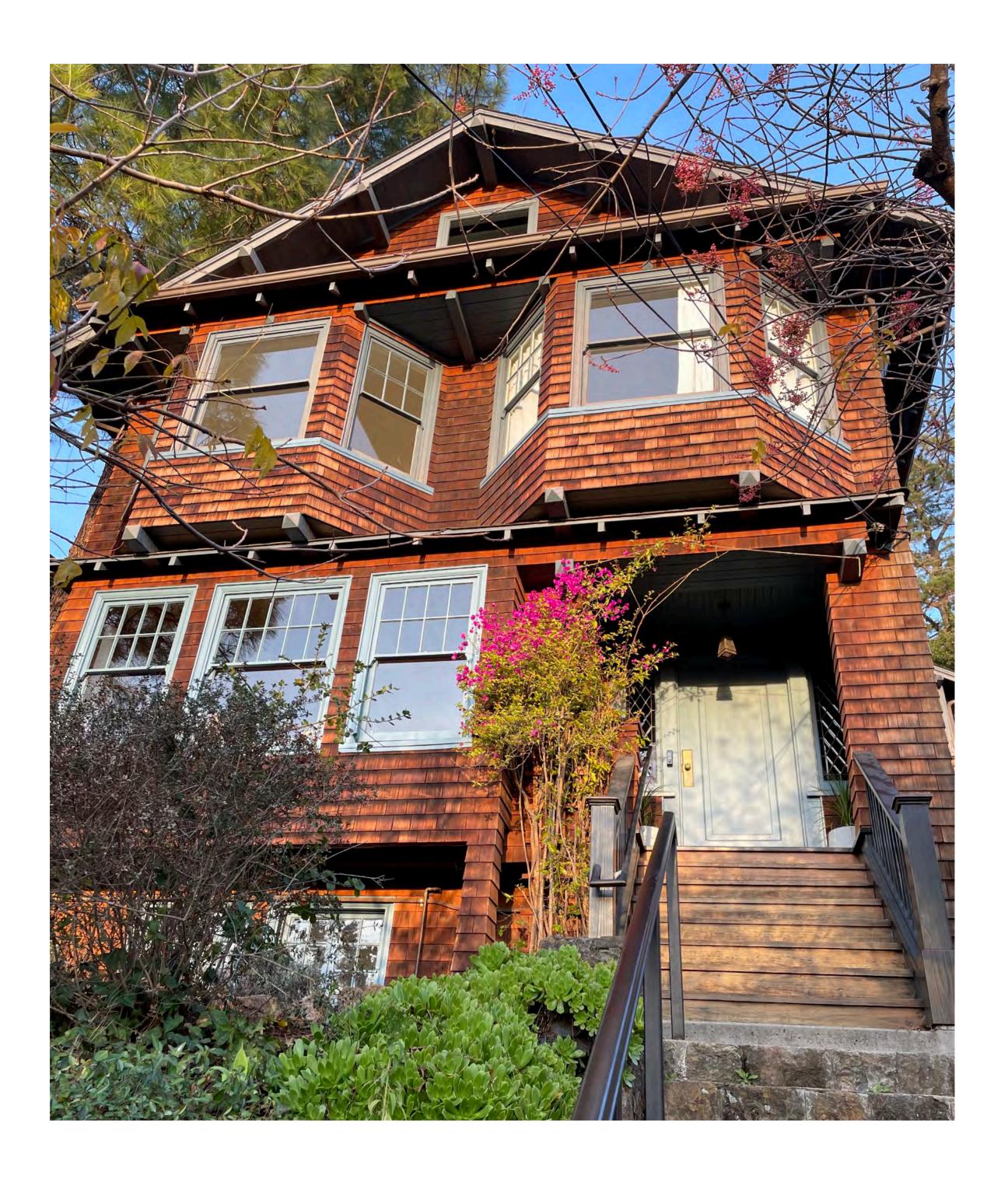
- Three double casement windows in a bay with divided panels under hip-roof overhang
- Two single casement windows with divided panels

Floor 2:

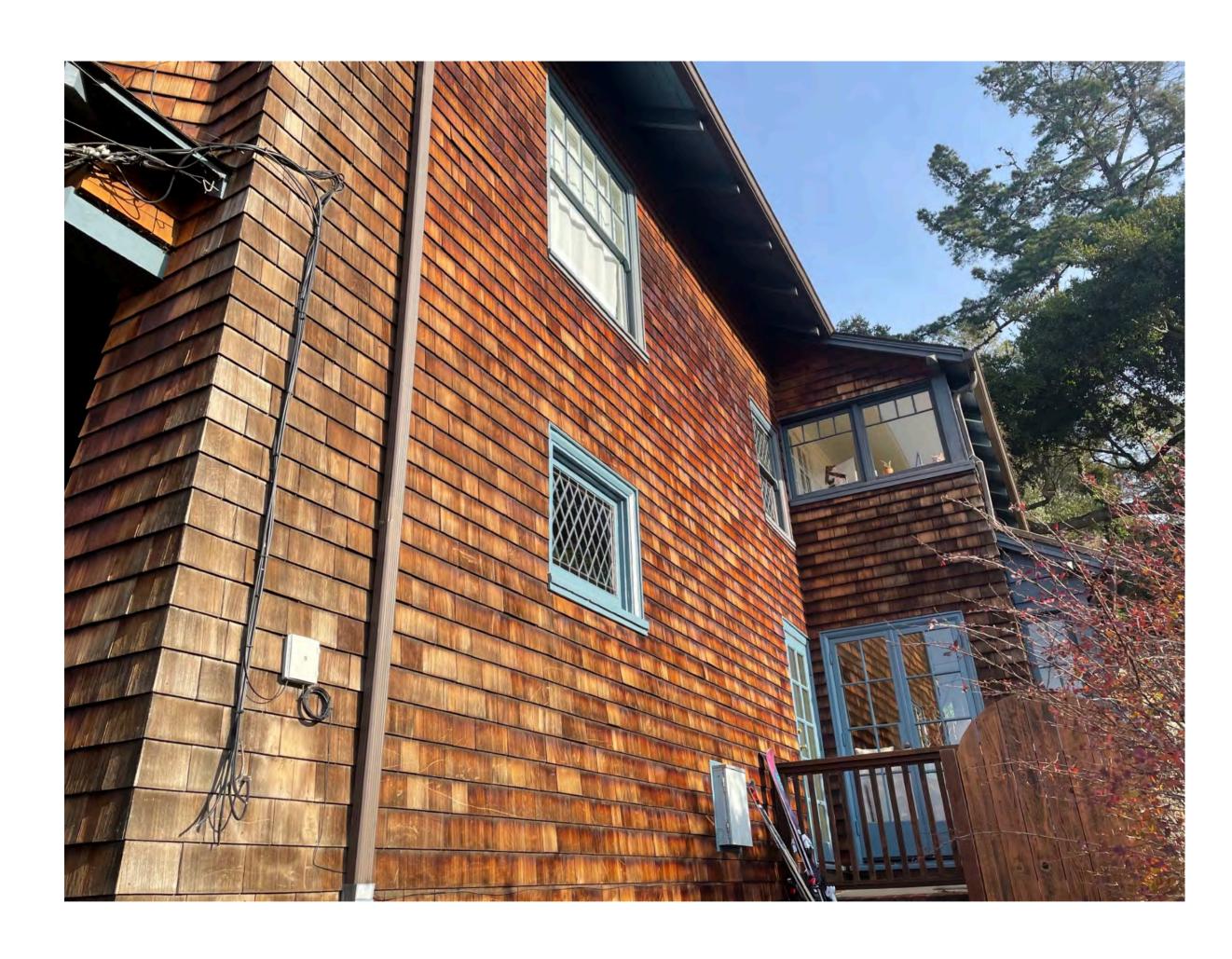
- Four divided (3/0) picture windows*
- Two divided (5/0) picture windows*



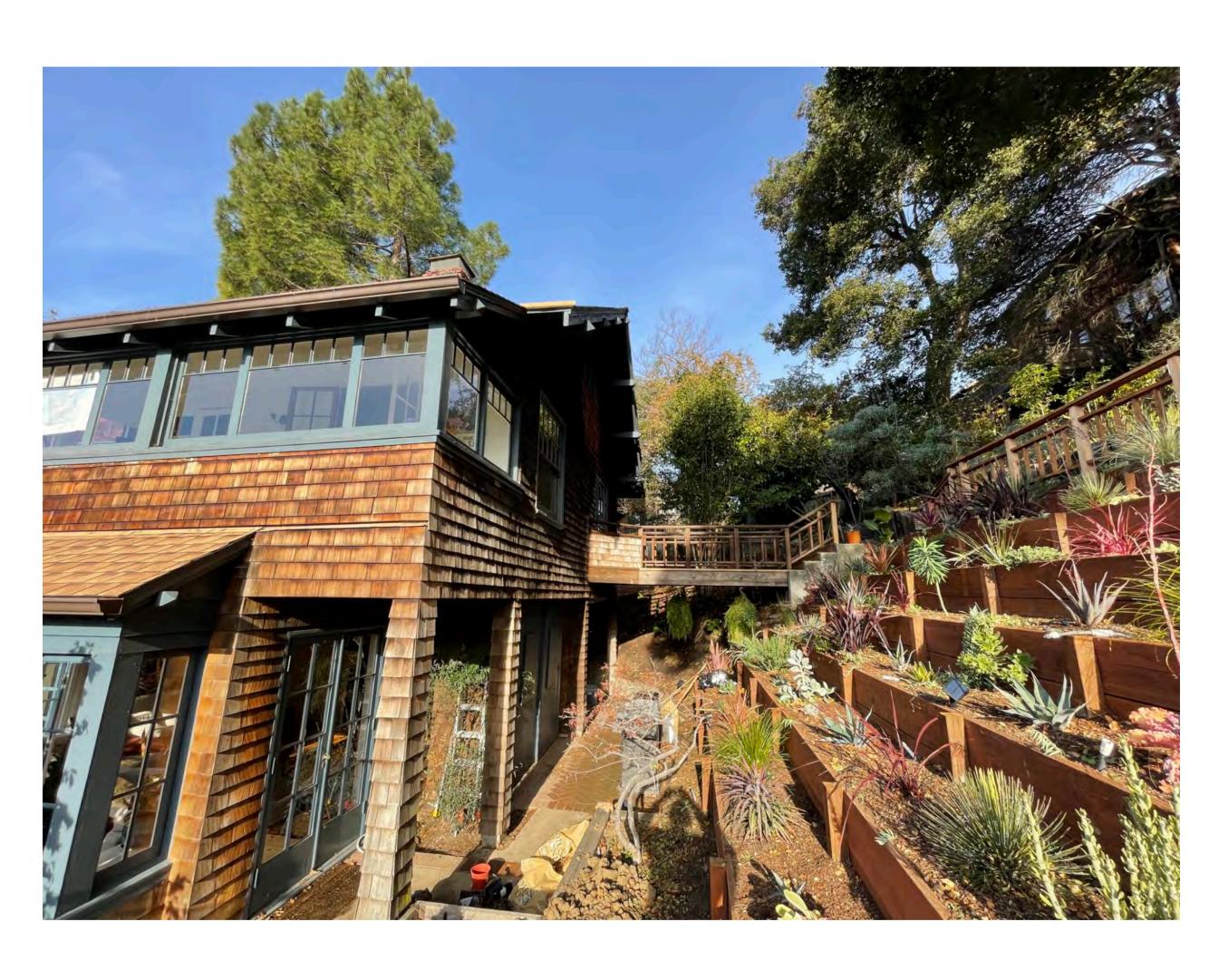
Stone retaining wall at the front of 60 Panoramic Way.



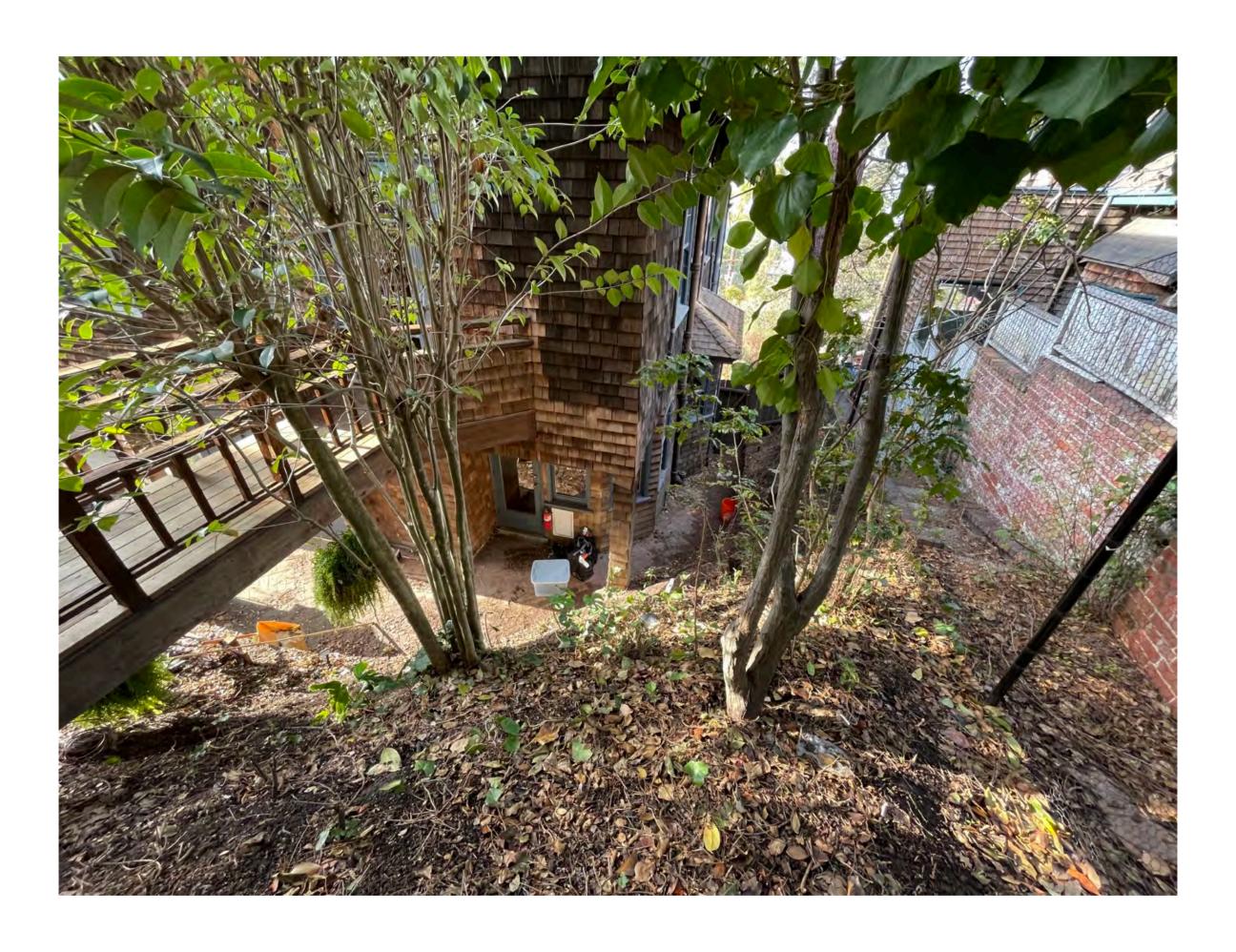
Front of 60 Panoramic Way.







South west corner, including bridge to patio.



North west corner, including bridge to patio.

United States Department of the Interior National Park Service

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and parrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

miles and harrange items on communation sheets (in 0) only to social, east a type which, word processor, or compater, to complete an items.
. Name of Property
nistoric name Panoramic Hill
other names/site number University Terrace, University Hill
. Location
street & number Panoramic Wy,Canyon Rd,Mosswood, Orchard Ln, Arden Rd.
eity or townBerkeley
state California code CA county Alameda code 00(zip code 94704
State/Federal Agency Certification
As the designated authority under the National Historic Preservation Act of 1986, as amended, I hereby certify that this \(\text{ nomination} \) request for determination of eligibility meets (the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets \(\text{ does not meet the National Register Criteria.} \) I recommend that this property be considered significant \(\text{ nationally} \) nationally \(\text{ statewide} \) locally. (\(\text{ See continuation sheet for additional comments.})} Signature of certifying official/Title Date In my opinion, the property \(\text{ meets} \) does not meet the National Register criteria. (\(\text{ See continuation sheet for additional comments.})}
Signature of commenting or other official Date
State or Federal agency and bureau National Park Service Certification
hereby certify that this property is: Interest of the Keeper

Name of Property		County and State
5. Classification		
Ownership of Property (Check as many boxes as apply) private public-local public-State public-Federal	Category of Property (Check only one box) 1 1 building(s) district site structure object	Number of Resources within Property 2005(Do not include previously listed resources in the count.) Contributing Noncontributing 61 18 buildings sites 14 (roads, paths,walls) 1 (wall) structures 1 (fountain) objects 76 19 Total
Name of related multiple pro (Enter "N/A" if property is not part of a r		Number of contributing resources previously listed the National Register
N/A		
6. Function or Use		
Historic Functions (Enter categories from instructions)		Current Functions (Enter categories from instructions)
Domestic - single and multiple	dwellings	Domestic – single and multiple dwellings
7. Description		
Architectural Classification (Enter categories from instructions)		Materials (Enter categories from instructions)
Shingle; Bungalow/Craftsman;	Mission/Spanish	foundation Earth, concrete
Colonial Revival; Beaux-Arts		roof Shingle; Terra Cotta; Concrete
	<u> </u>	walls Shingle; Brick; Granite; Stucco; Concrete; Fabricrete
		other Brick; Iron; Copper; Ceramic Tile; Glass; Concrete;
Narrative Description (Describe the historic and current cond	dition of the property on one or more	Fabricrete e continuation sheets.)

Panoramic Hill

Page 25 of 3 Alameda, California

See Continuation Sheets

	ramic Hill Pag	e 26 of 3 <u>Alameda, California</u> County and State
8 5	atement of Significance	
Appli (Mark	icable National Register Criteria "x" in one or more boxes for the criteria qualifying the property ional Register listing)	Areas of Significance (Enter categories from instructions) Architecture
A	Property is associated with events that have made a significant contribution to the broad patterns of our history.	
□в	Property is associated with the lives of persons significant in our past.	
⊠c	Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.	Period of Significance
□ D	Property has yielded, or is likely to yield information important in prehistory or history.	
	ria Considerations "X" in all the boxes that apply.)	Significant Dates
Prope	erty is:	
□ A	owned by a religious institution or used for religious purposes.	Significant Person
□в	removed from its original location.	(Complete if Criterion B is marked above)
□с	a birthplace or a grave.	Cultural Affiliation
□ D	a cemetery.	
□ E	a reconstructed building, object, or structure.	
□ F	a commemorative property.	Architect/Builder
□G	less than 50 years of age or achieved significance within the past 50 years.	Bernard, Maybeck; Coxhead, Ernest; Morgan, Julia; Steilberg, Walter; Ratcliff, Walter H., Jr.; Thomas, John Hudson; Wright, Frank Lloyd; Atkins, Henry; Paine, Robert; Ratcliff, Robert; Wurster, William.
	ative Statement of Significance in the significance of the property on one or more continuation sheet	
9. M	ajor Bibliographical References	
	he books, articles, and other sources used in preparing this form on o	one or more continuation sheets.)
Prev	ious documentation on file (NPS):] preliminary determination of individual listing (36 CFR 67) has been requested.] previously listed in the National Register] previously determined eligible by the National Register] designated a National Historic Landmark] recorded by Historic American Buildings Survey #	Primary Location of Additional Data State Historic Preservation Office Other State agency Federal agency Local government University Other Name of repository:
	recorded by Historic American Engineering Record #	See Continuation Sheet

Panoramic Hill Name of Property	Page 27 of 33 <u>Alameda, California</u> County and State				
10. Geographical Data					
Acreage of Property: 1	2.3 acres				
UTM References (Place additional UTM referen	ees on a continuation sheet)				
Zone Easting 1 10 666060 2 10 660250	Northing Zone Easting Northing 4191480 3 10 666360 4191360 4191600 4 10 666170 4191210 5 10 666100 4191300				
Verbal Boundary Description (Describe the boundaries of the property on a continuation sheet.)					
Boundary Justification (Explain why the boundaries w	ere selected on a continuation sheet.)				
11. Form Prepared By					
name/title	Janice Thomas & Fredrica Drotos				
organization	Berkeley Architectural Heritage Association date November 8, 2004				
street & number	37 Mosswood Road telephone (510) 549-1171				
city or town	Berkeley state CA zip code 94704				
Additional Documenta	ion				
Submit the following items with	the completed form:				
Continuation Sheets					
Maps A USGS map (7.5 or 15 minute series) indicating the property's location.					
A Sketch map f	A Sketch map for historic districts and properties having large acreage or numerous resources.				
Photographs					
Representative black and white photographs of the property.					
Additional items (Check with the SHPO or FPO for any additional items)					
Property Owner					
(Complete this item at the requ	est of the SHPO or FPO.)				
name					
street & number	reet & numbertelephonetelephone				
city or town	state zip code				
properties for listing or determ	atement: This information is being collected for applications to the National Register of Historic Places to nominate ne eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain e National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).				

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.0. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Project (1024-0018), Washington, DC. 20503.

OMB Approval No. 1024-0018

United States Department of the InteriorNational Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 9

Panoramic Hill, Alameda County, CA

A two story, single family, wood shingle clad structure with a low-raking gable roof, broad eaves and projecting end beams atop a concrete foundation, follows an L-shaped plan. The home was built into a triangular lot inside the first hair-pin turn on Panoramic Way, with a very shallow setback on the uphill side and nestled in among redwood trees. Steilberg composed the home to conform to the setting so that the southern wall is angled away from what is now a tree stump but would have been a mature tree when the house was designed. On the western facade a second redwood was used in place of a decorative pillar holding up a trellis over the half round portico containing a rooftop terrace. A stone retaining wall combines with a concrete retaining wall covered with wooden lattice curved to follow the contour of the hillside. Above the retaining wall is a terrace. A pergola gateway with wooden columns, tapering from bottom to top with hand carved cross braces, marks the entrance from the eastern side. The second story was designed in 1954 by architect Howard Moise although visual inspection does not reveal where the addition begins and ends. The house was later subdivided into two apartments with the entryway to one apartment on the eastern (uphill) side of the lot. The entryway is inset with a substantial wooden lintel where the original street number (#71) is carved. To the left of the entry is a window screened by six green glazed perforated Oriental tiles. Additional fenestration includes two-lite casement windows placed asymmetrically. A north-east corner window configuration groups three windows per side separated by natural redwood vertical supports and two incised horizontal bands at the top. A large, mullioned bay window dominates the south-facing elevation. A red brick chimney is prominent on the northwest elevation. A single-car wood frame garage is wedged into the narrowest part of the lot at Panoramic Way's first hairpin turn. Lattice work overlapping in squares atop wood siding gives the garage the appearance of an oversized Japanese jewel box; the effect is enhanced by ochre glazed perforated Oriental tiles on the eastern side and similar tiles glazed "Steilberg-green" on the western side.

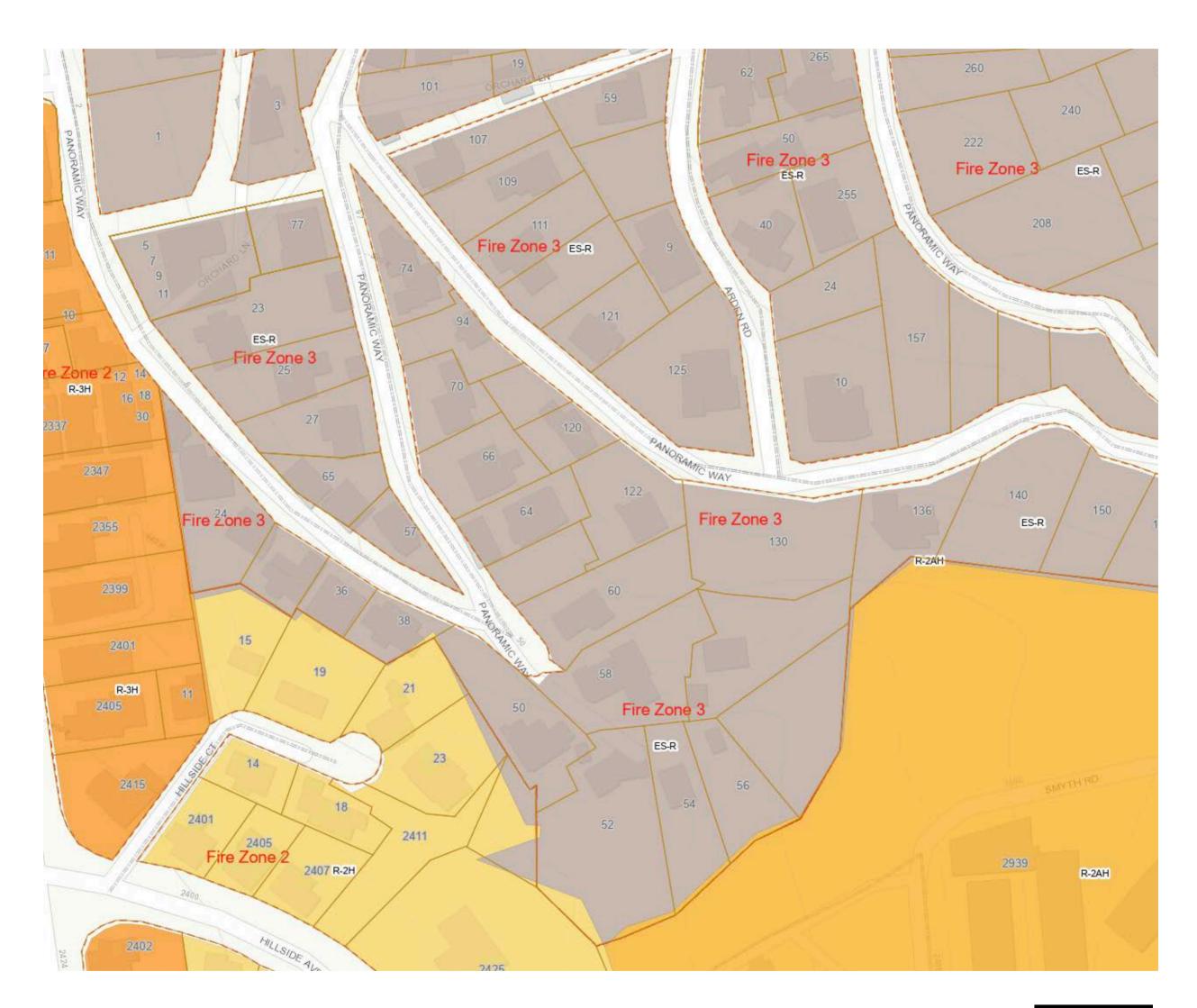
12. 60 Panoramic Way – TWO CONTRIBUTING: house retaining wall (a)

Year built: 1913

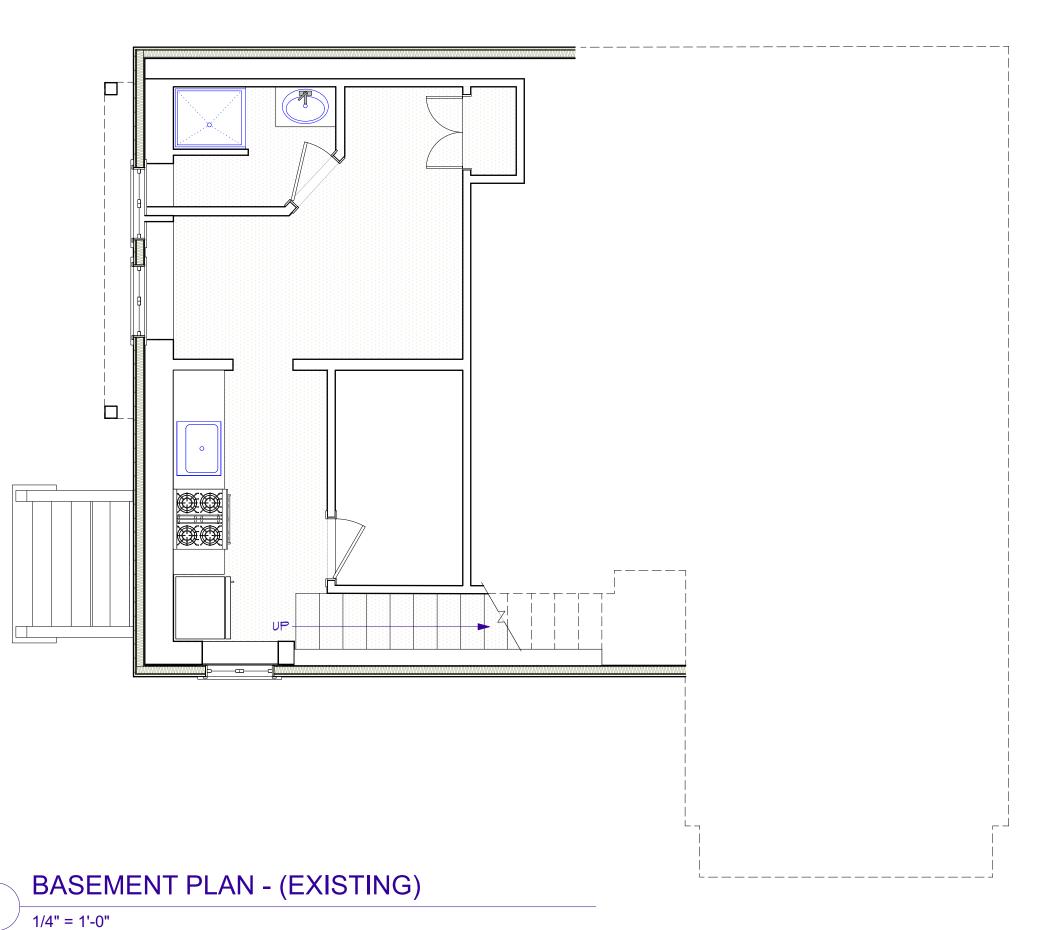
Contractor: Rowe, Henry

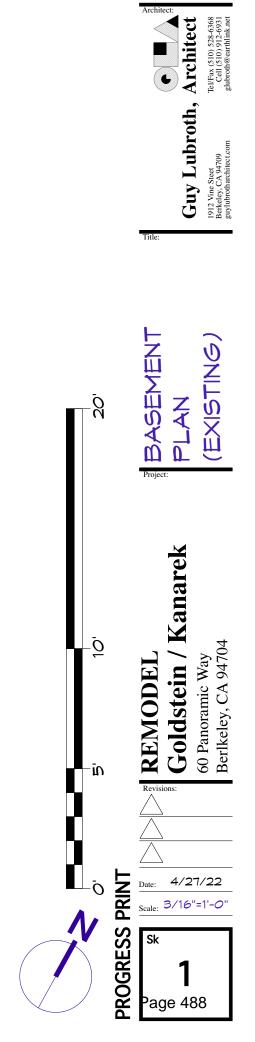
Original owner: Moore, William J.

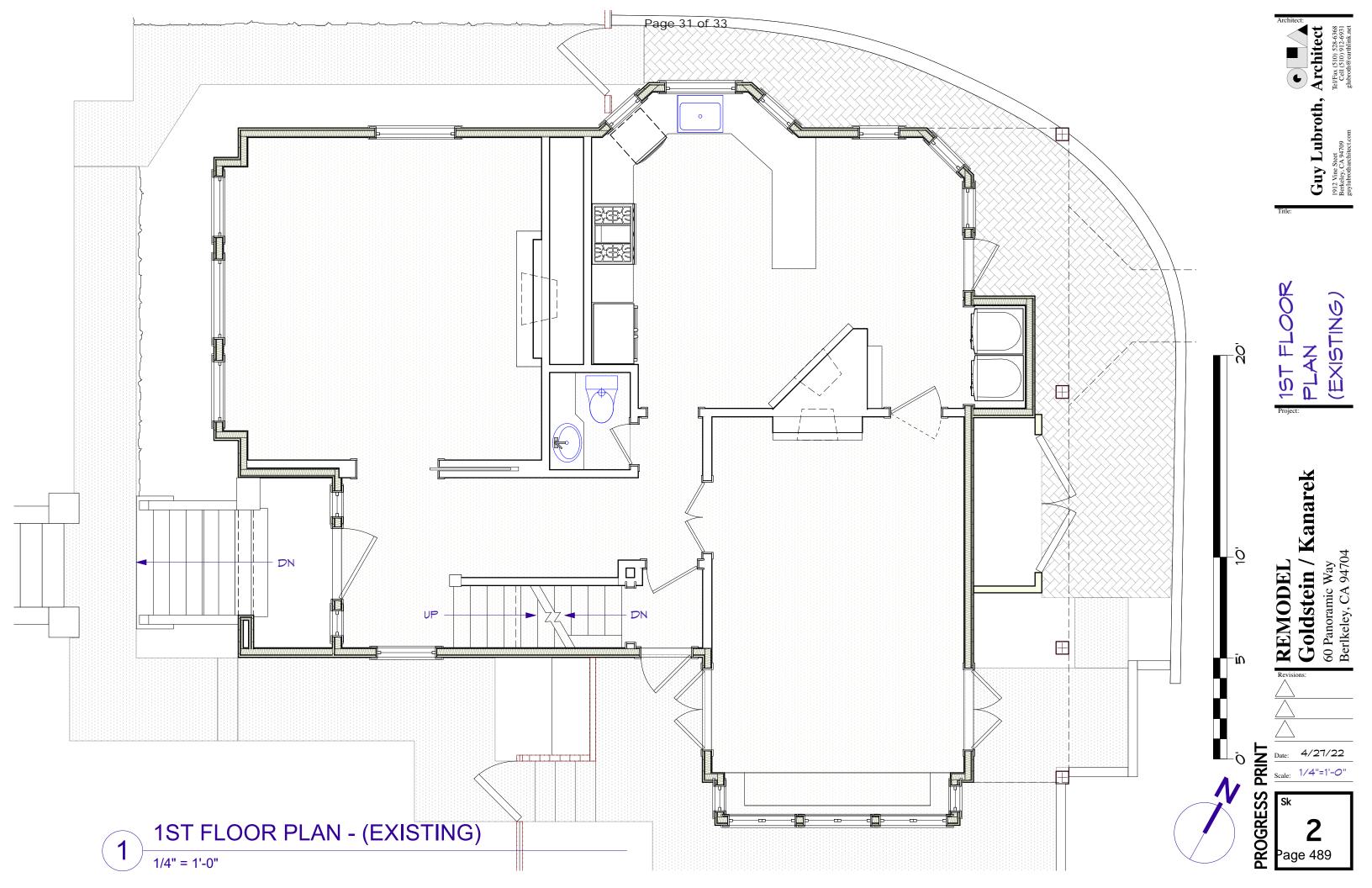
This two and one half story single-family dwelling is built on the uphill side of Panoramic Way near the first hairpin turn. The exterior is clad in natural wood shingle and topped by a front gabled roof with overhanging eaves which are supported by exposed roof beams. The chimney is clinker brick. On the first story of the western façade is a square bay with three double-hung windows consisting of multiple lites and an inset entry porch. The front door has a vertical inset panel flanked by side lites of diamond-paned leaded glass. The second story contains a pair of three-sided bay windows under a secondary hip-roof overhang. A stone retaining wall of local volcanic rhyolite about 4 feet in height wraps around the property line at the street, adjoining the retaining wall at 62 Panoramic Way. A flight of steep stone steps leads to the wooden entry porch.

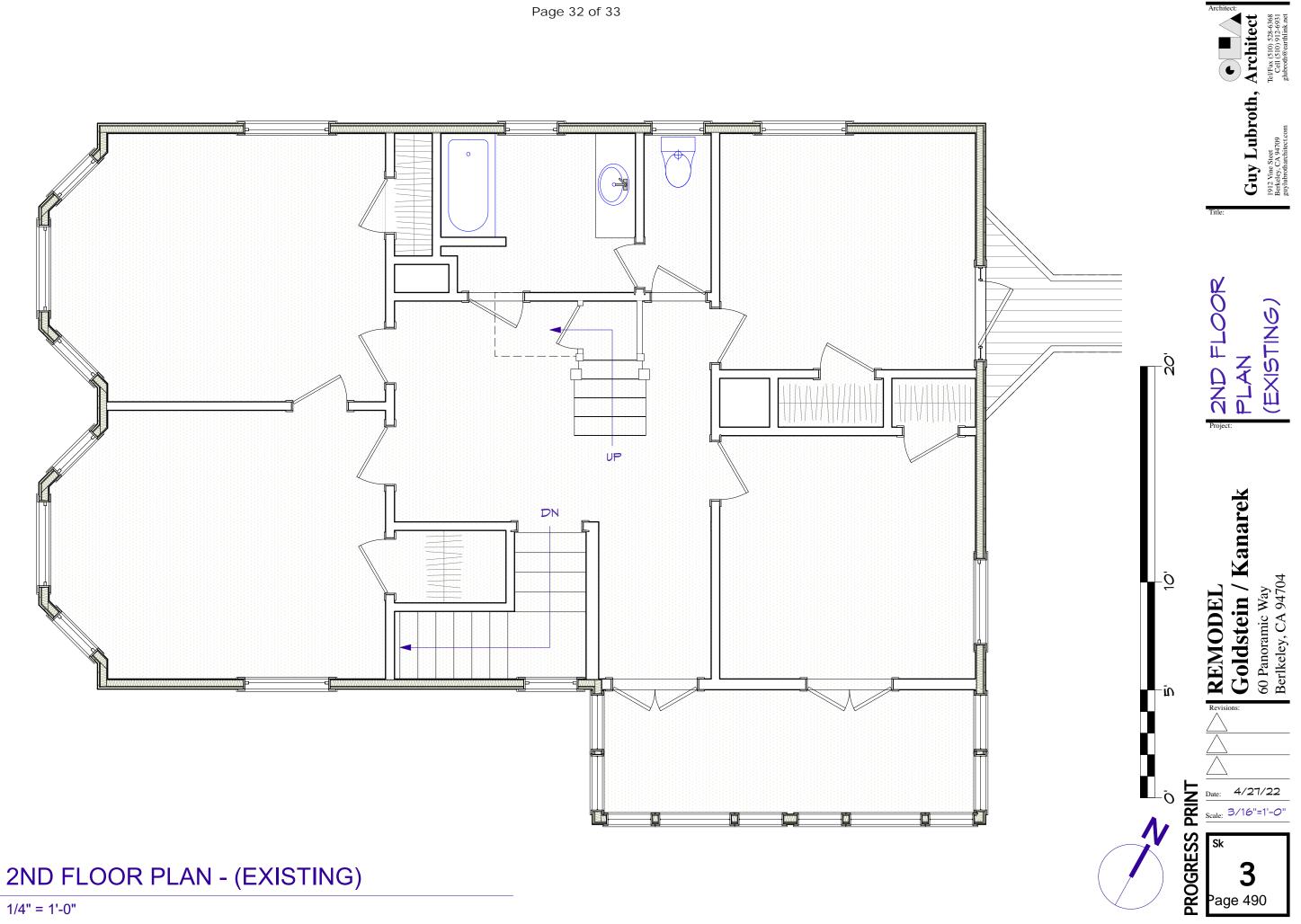


Parcel Map

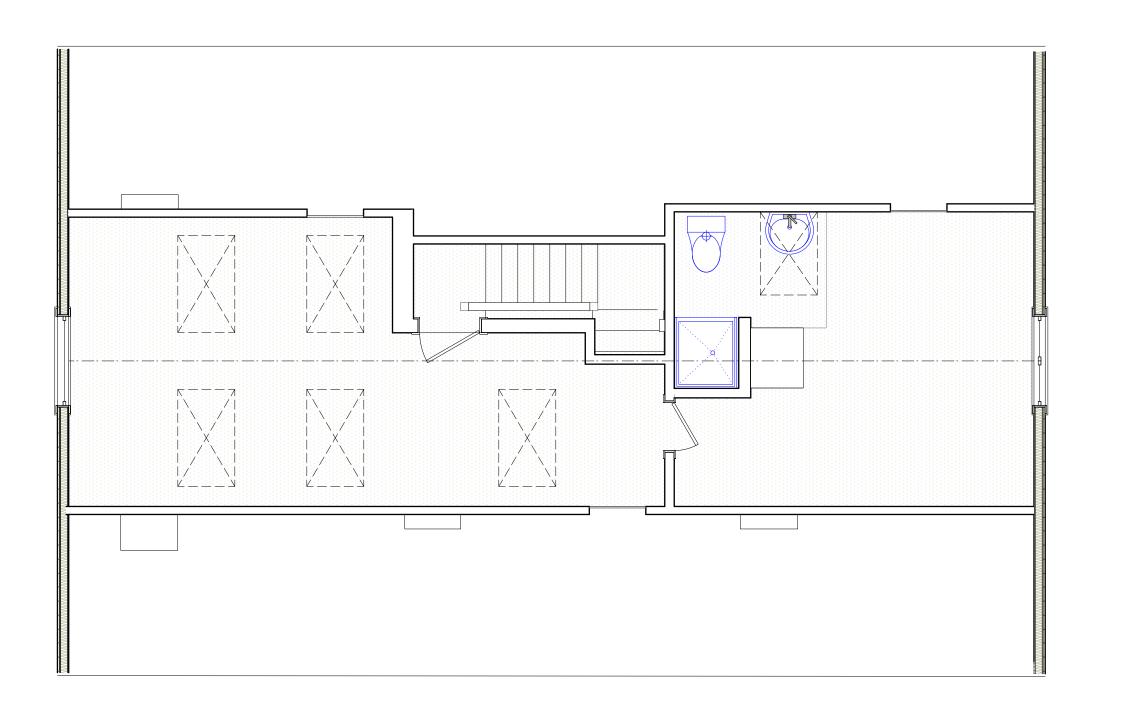


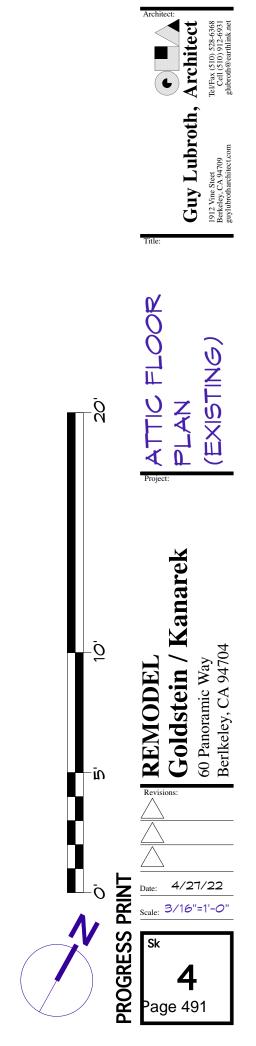






1/4" = 1'-0"





ATTIC FLOOR PLAN - (EXISTING)



INFORMATION CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Jordan Klein, Director, Planning and Development Department

Subject: LPO NOD: 1960 San Antonio Avenue/645 Arlington Avenue, #LMSAP2022-

0005

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that "a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting."

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark property. This action is subject to a 15-day appeal period, which began on August 29, 2023.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by September 12, 2023. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

LPO NOD: 1960 San Antonio Avenue/645 Arlington Avenue, #LMSAP2022-0005

INFORMATION CALENDAR

September 12, 2023

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Principal Planner, Planning and Development, 510-981-7410

Attachments:

1: Notice of Decision – 1960 San Antonio Avenue/645 Arlington Avenue, #LMSAP2022-0005



L A N D M A R K S P R E S E R V A T I O N

COMMISSION

Notice of Decision

DATE OF BOARD DECISION: June 1, 2023

DATE NOTICE MAILED: August 28, 2023

APPEAL PERIOD EXPIRATION: September 12, 2023

EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): September 13, 2023¹

1960 San Antonio Avenue/645 Arlington Avenue – Spring Estate

Structural Alteration Permit #LMSAP2022-0005 to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage; demolish and replace the non-historic driveway, retaining walls and stairs on the east side of the property; construct a new, detached pool house, excavate and install a new swimming pool; and complete landscape improvements at a City Landmark residential property in the Hillside neighborhood, contingent upon rehabilitation of the historic gymnasium building.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following request:

Structural Alteration Permit

APPLICANT: Bahadour Zarrin

¹ Pursuant to BMC Chapter 3.24, the City Council may "certify" any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2022-0005 1960 San Antonio Avenue/645 Arlington Avenue July 27, 2023 Page 2 of 5

Paymun Building & Development 25 Orinda Way, Suite 200 Orinda, CA 94563

ZONING DISTRICT: Single Family Residential District, Hillside Overlay (R-1H)

ENVIRONMENTAL REVIEW STATUS: Categorically exempt under the California Environmental Quality Act Guidelines, Sections 15303 and 15331 of the CEQA Guidelines for New Construction and Historical Resource Rehabilitation.

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The application materials for this project is available online at:

https://berkeleyca.gov/construction-development/land-use-development/zoning-projects or https://permits.cityofberkeley.info/CitizenAccess/Default.aspx

FINDINGS FOR FINAL ACTION AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 8-0-0-1

YES: ADAMS, CRANDALL, ENCHILL, FINACOM, LINVILL, MONTGOMERY,

SCHWARTZ, TWU

NO: NONE

ABSTAIN: NONE

ABSENT: LEUSCHNER

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

- 1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
 - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.

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- 2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.
 - b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
 - c. The fee for all appeals by Applicants is \$2500.
- 3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the landmark permit will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

- 1. If you challenge this decision in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Landmarks Preservation Commission at, or prior to, the public hearing.
- You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
- 3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
- 4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
- 5. If you believe that this decision or any condition attached to it denies you any reasonable

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economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:

- A. That this belief is a basis of your appeal.
- B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
- C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record. If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in your communication. Please contact the secretary to the relevant board, commission or committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Allison Riemer, at (510) 981-7433 or ariemer@cityofberkeley.info. All project application materials, including full-size plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3rd Fl., during regular business hours.

ATTACHMENTS:

- 1. Findings for Final Action
- 2. Project Plans, received MAY 15, 2023

ATTEST: _____ Fatema Crane, Secretary Landmarks Preservation Commission

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cc: City Clerk

Applicant: Bahadour Zarrin, Paymun Building & Development, 25 Orinda

Way, Suite 200, Orinda, CA 94563

Property Owner: Abbas Mash, 18 Deer Oaks Drive, Pleasanton, CA 94588

Attachment 1, Part 2

Findings and Conditions

1960 San Antonio Avenue/645 Arlington Avenue – The Spring Estate

Structural Alteration Permit (#LMSAP2022-0005) to restore the terrace, remove the non-historic building addition, and repair railings and walkways of the Spring Mansion; demolish the detached, non-historic garage and construct a new ten-car garage; demolish and replace the non-historic driveway, retaining walls and stairs on the east side of the property; construct a new, detached pool house, excavate and install a new swimming pool; and complete landscape improvements at a City Landmark residential property in the Hillside neighborhood, contingent upon rehabilitation of the historic gymnasium building.

CEQA FINDINGS

1. The project is limited to design review and historic preservation consideration and is categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seg. and California Code of Regulations, Section 15331 ("Historic §15000, seq.) pursuant to Restoration/Rehabilitation") and Section 15303 ("New Construction") of the CEQA Guidelines. Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

SECRETARY OF THE INTERIOR'S STANDARDS FINDINGS

Regarding the Secretary of the Interior's Standards for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

- 1. The proposal to rehabilitate the property and add additional residential accessory structures would retain and continue the historic residential use of the property.
- 2. The historic character of the Spring Estate will be retained and preserved with proposed repairs and replacement of distinctive features, such as the concrete walkways, retaining walls, railings, and balusters north, south, and west of the mansion. The proposed new buildings and structures would generally be located south of the mansion and, would not be readily visible from the public right-of-way.

- 3. This property will continue to be recognized as a physical record of its time, place, and use as a result of the approved project. None of the proposed alterations are found to create a false sense of historical development. The proposed garage, pool house, and pool will have a contemporary design, and will be distinguished from the historic components of the estate.
- 4. No changes to this property that have acquired historical significance in their own right, have been identified, or are of concern for this project.
- 5. This project would not negatively affect distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize this property.
- 6. Deteriorated historic features of this property will be repaired where feasible, and replaced when repair is not feasible. The historic gymnasium will be rehabilitated (see Condition of Approval 13).
- 7. Chemical treatments are not anticipated; however, if they are appropriate, they will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials are prohibited by the Conditions herein.
- 8. Any archeological resources at this site would be protected and/or preserved in place per the City's standard conditions and procedures for new construction and excavation.
- 9. Overall, the new construction would be differentiated and yet compatible with the Spring Estate. The proposed project would retain and would not destroy the historic materials and features of the Spring Estate. The new structures have been designed in a contemporary style with selected materials and finishes that are different than -- and also compatible with -- the Beaux-Arts mansion and features.
- 10. The proposed new buildings would be constructed south of the mansion, near the side property line; if the new buildings were removed in the future, the essential form and integrity of the Spring Estate would be unimpaired.

LANDMARK PRESERVATION ORDINANCE FINDINGS

- 1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve and enhance the characteristics and features specified in the designation for this property, because:
 - A. The proposal includes rehabilitation of the concrete features around the mansion, and would not adversely affect the historic exterior features.
 - B. The new work would not be readily visible from the public right-of-way, and would be subordinate to the mansion. Therefore, the proposed changes would not adversely affect the special character of this estate designed by John Hudson Thomas.
 - C. As conditioned herein, the historic gymnasium building will be rehabilitated and the property brought into compliance with the Ordinance requirement to maintain

designated sites in good repair; BMC Section 3.24.290.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to installation, the applicant shall obtain Use Permit approval in accordance with BMC Section 23C.17 (Wireless Telecommunication). Prior to construction, the applicant shall identify and secure all applicable permits from the Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Expiration of Permits (BMC Section 23.404.060.C)

- A. A permit authorizing a land use is exercised when both a valid City business license is issued (if required) and the land use is established on the property.
- B. A permit authorizing construction is exercised when both a valid City building permit (if required) is issued and construction has lawfully begun.
- C. The Zoning Officer may declare a permit lapsed if it is not exercised within one year of its issuance, except if the applicant has applied for a building permit or has made a substantial good faith effort to obtain a building permit and begin construction. The Zoning Officer may declare a permit lapsed only after 14 days written notice to the applicant. A determination that a permit has lapsed may be appealed to the ZAB in accordance with Chapter 23.410 (Appeals and Certification).
- D. A permit declared lapsed shall be void and of no further force and effect. To establish the use or structure authorized by the lapsed permit, an applicant must apply for and receive City approval of a new permit.

5. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its

officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

- 6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources. In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.
- 7. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction). Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:
 - A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
 - B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
 - C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of

- factors such as the uniqueness of the find, project design, costs, and other considerations.
- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
- 8. Human Remains (Ongoing throughout demolition, grading, and/or construction). In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1). If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.
- 9. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction). In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

ADDITIONAL CONDITIONS

The following additional conditions are attached to this Permit:

- **10. Garage Height**. The garage shall have a maximum elevation of 490 feet, and the elevation point shall be noted in the plans.
- **11. Garage Trellis**. The trellis on the garage shall not be metal. The trellis material shall be noted in the plans.

- **12. Palm Trees**. All healthy palm trees shall be retained on site.
- **13. Historic Sign and Stairs at the Arlington Entrance**. The sign and stairs at the Arlington Avenue entrance to the property shall be restored. Photos showing the restored sign and stairs will be required before a Certificate of Occupancy is issued for new buildings.
- **14.** This Structural Alteration Permit is contingent upon Use Permit approval for the project.
- 15. Historic Preservation Treatment Plan. Prior to submittal of any building permit for this project, the applicant shall provide a site-specific historic preservation treatment plan for rehabilitation of the historic gymnasium building, main building terrace and concrete features throughout the site. The plan shall be prepared and implemented by or under the direct supervision of a Preservation Architect who meets or exceeds the Secretary of the Interior's Professional Qualifications Standards for Historic Architecture and Architectural History. This treatment plan shall define conditions assessment and documentation, protection, and monitoring requirements, and procedures to be implemented during restoration of the gymnasium, terrace, and concrete features, shall confirm structural conditions, and recommend preservation activities, protection measures, and procedures to be implemented. The building permit plan set shall demonstrate compliance with the treatment plan.
- **16. Rehabilitation of Historic Gymnasium**. Submittal of a building permit application to rehabilitate the gym is required prior to Landmarks plan check approval of any building permits for new buildings or structures.
- 17. Repair and replacement of character-defining features. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
- **18.** Chemical Treatments. With respect to historic resources located on this site or within the propose project area, any chemical treatments needed as construction progresses will be undertaken using the gentlest means possible.
- 19. Details and Materials. Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit building details, color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.

- **20.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, shall be indicated on all drawings, and shall be reviewed for approval by staff.
- 21. All curbs and curb cuts shall be constructed per the standards and specifications of the Public Works Department. Curb cuts no longer utilized shall be restored per the Public Works Department specifications.
- **22.** Exterior lighting shall be downcast and not cause glare on the public right-of-way and abutting parcels.
- 23. The applicant shall provide irrigation for all landscaped areas. This shall be called out on Landscape building permit drawings.
- **24.** The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING BUILDING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO STARTING WORK. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE DESIGNER-OF-RECORD FOR CLARIFICATION.

- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES AND REGULATION GOVERNING CONSTRUCTION, BUILDING ACCESS, AND THE USE OF FACILITIES AS SET BY FEDERAL, STATE, AND LOCAL CODES, AND BUILDING DEPARTMENT AGENCIES.
- 3. IT IS THE PURPOSE OF THE DRAWINGS TO SHOW THE GENERAL APRRANGEMENT/LAYOUT OF WALLS WITHIN THE PROPOSED STRUCTURE. ELEMENTS OF WORK THAT ARE TO BE CONSTRUCTED ON A DESIGN-BUILD BASIS SHALL BE APPROVED BY THE CITY/COUNTY BEFORE START OF CONSTRUCTION.
- 4. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS; DETAILS TAKE PRECEDENCE OVER ALL. CONTRACTOR SHALL NOTIFY ENGINEER OF CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK, DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON.
- 5. ALL DIMENTIONS ARE TAKEN FRIM FACE OF STUD OR CENTERLINE OF STUD AS SHOWN FOR NEW CONSTRUCTION UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TAKEN FROM FACE OF FINISH UNLESS OTHERWISE NOTED.
- 6. ALL WORK SHALL BE PERFORMED IN AN APPROVED WORKMANLIKE MANNER.
- 7. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE LIGHTING, HVAC OUTLETS, ALONG WITH THE CEILINGS AND SOFFITTS BEFORE CONSTRUCTION BEGINS.
- 8. CONTRACTOR SHALL COMPLY WITH CURRENT APPLICABLE LOCAL ORDINANCES FOR UTILITY SERVICES
- 9. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED FEES, PERMITS, AND INSPECTION ASSESSED BY ANY GOVERNMENTAL AGENCY OR UTILITY COMPANY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILIES, WHERE ENCOUNTRERED, MAKE ALL NECESSARY ARRANGEMENTS FOR SUPPORT, SHORE-UP, RE-ROUTE OR PROVIDE UTILITY DISCONNECTIONS AS REQUIRED BY APPLICABLE PUBLIC OR PRIVATE UTILITY COMPANIES.
- 11. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL TAKE CAUTION WHEN WORKING AROUND THE EXISTING UTILITIES AND UNDERGROUND LINES.
- 12. AT ALL TIMES, THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR CONDITIONS OF THE SITE, INCLUDING THE SAFETY OF PERSONS AND PROPERTY; ALSO DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING DURING SHORING, TEMPORARY, ETC. ENGINEER'S JOB SITE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES.
- 13. THE CONTRACTOR SHALL WARRANT THAT ALL MATERIALS AND WORKMANSHIP ARE IN COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. ANY AND ALL CHANGES MUST HAVE THE ENGINEER'S APPROVAL.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPARING AND COORDINATING ALL DRAWINGS FOR PROPER FIT AND ATTACHMENT OF ALL PARTS. DETAILS NOT SHOWN, NOR DETAILED ON DRAWINGS, NOR CALLED FOR IN THESE NOTES SHALL BE CONSTRUCTED TO THE SAME SIZE AND CHARACTER AS FOR SIMILAR CONDITIONS WHICH ARE SHOWN. DETAILED, OR SPECIFIED.
- 15. THE CONTRACTOR SHALL COORDINATE WITH OWNER ALL NON ITEMS NOT SHOWN ON DRAWINGS.
- 16. THE CONTRACTOR SHALL COORDINATE ALL SUBCONTRACTORS UNDER HIS HIRE, AND SHALL COORDINATE WITH ANY SUBCONTRACTORS UNDER SEPARATE HIRE BY OWNER TO MAINTAIN EFFICIENT WORKMANLIKE PROGRESS OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE OMITTED, BLOCKED OUT OR RELOCATED WITHOUT PRIOR APPROVAL WITH ENGINEER.
- 17. THE CONTRACTORS AND SUBCONTRACTORS OF EACH TRADE SHALL KEEP PREMISES CLEAN AT ALL TIME AND SHALL REMOVE ALL RUBBISH AS OFTEN AS REQUIRED (AT LEAST WEEKLY) FOR THE CONTRACTION AND FOR THE CONVENIENCE OF THE OWNER
- 18. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT THE ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT, OR DEBRIS ONTO PUBLIC OR ADJACENT PRIVATE PROPERTY.
- 19. CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF ALL TEMPORARY AND SHORING TO SUSTAIN ALL CONSTRUCTION LOADS, SOIL PRRESSURE, LATERAL, AND ANY OTHER LOADS THAT THE STRUCTURE MAY BE SUBJECTED.
- 20. ALL PARTITIONS SHALL BE BRACED TO ABOVE STUCTURE PER REQUIREMENTS OF LOCAL BUILDING CODE.
- 21. THE PROPOSED BUILDING SHALL BE CONNECTED TO THE STREET SEWER. SEE CIVIL PLANS FOR PROPOSED SANITARY SEWER PIPING AND CLEANOUTS.
- 22. A SEPARATE INSPECTION BY THE COUNTY BUILDING INSPECTOR IS REQUIRED TO DETERMINE THE DEPTH AND CLEANLINESS OF THE HOLES REQUIRED FOR EPOXY BOLTS BEFORE THEY ARE INSTALLED.

BUILDING CODE

PROJECT DATA

ADDRESS: 1960 SAN ANTONIO AVENUE BERKELEY CA 94707 APN: 62-2916-60-4 LOCAL JURISDICTION: BERKELEY OCCUPANCY CLASS: R3 BASE ZONING: R1-H

VB NON SPRINKLERED

CONSTRUCTION TYPE:

EXISTING PRIMARY BUILIDING FOOTPRINT	6572	SQ.F
TOTAL BUILDING FOOTPRINT	12969	SQ.F
BUILDING HEIGHT	30	FT.
BUILIDNG STORIES	2	
TOTAL LOT AREA	120873	SQ.F
NUMBER OF BUILDINGS ON LOT (EXISTING)	5	
NUMBER OF BUILDINGS ON LOT (PROPOSED)	6	
NUMBER OF PARCELS ON LOT (EXCLUDES	3	
PARCEL 4, 639 ARLINGTON, SHOWN ON SURVEY)		
NUMBER OF PARKING SPACES (EXISTING)	2	
NUMBER OF PARKING SPACES (PROPOSED)	10	

EXISTING LOT COVERAGE

MAIN BUILDING	6540	SQ.FT.
COVERED PORCH 1	277	SQ.FT.
COVERED PORCH 2	519	SQ.FT.
GYM	2200	SQ.FT.
GAME ROOM/CAFETERIA	1868	SQ.FT.
GARAGE	443	SQ.FT.
SHED	235	SQ.FT.
TOTAL EXISTING AREA	12082	SQ.FT.
EXISTING LOT COVERAGE	10	%

PROPOSED LOT COVERAGE

MAIN BUILDING	6540	SQ.FT
COVERED PORCH 1	277	SQ.FT
COVERED PORCH 2	519	SQ.FT
GYM	2200	SQ.FT
GAME ROOM	1321	SQ.FT
GARAGE	2000	SQ.FT
SHED	235	SQ.FT
POOL HOUSE	641	SQ.FT
TOTAL EXISTING AREA	13733	SQ.FT
TOTAL LOT COVERAGE	12969	SQ.FT

11.4 %

SCOPE OF WORK

CALIFORNIA BUILDING CODE	2022	CALIFORNIA ENERGY CODE	2022	
CALIFORNIA MECHANICAL CODE	2022	CALIFORNIA RESIDENTIAL CODE	2022	
CALIFORNIA PLUMBING CODE	2022	CALIFORNIA GREEN BUILDING CODE	2022	
CALIFORNIA ELECTRICAL CODE	2022	CALIFORNIA FIRE CODE	2022	
CITY OF BERKELEY MUNICIPAL CODE				

SCOPE OF WORK INVOLVES :

PROPOSED LOT COVERAGE

- CONSTRUCTION OF A NEW GARAGE, POOL, POOL HOUSE, POOL DECK, DRIVEWAY, AND LANDSCAPING
- INTERIOR REMODEL OF MAIN BUILDING ON 1ST AND 2ND FLOORS UNDER A SEPERATE PERMIT
- GLASS REPLACEMENT OF MAIN BUILDING WINDOWS, FRAMES TO REMAIN.

SPRING MANSION 1960 SAN ANTONIO AVENUE BERKELEY, CA 94707



PROJECT DIRECTORY

OWNER: ABBAS MASH 1960 SAN ANTONIO AVENUE BERKELEY. CA 94707

TEL: 925-587-2140

TEL: 415 924 4466

DESIGNER: PAYMUN BUILDING AND DEVELOPMENT IN COLLABORATION WITH JONATHAN RACHMAN DESIGN 25 ORINDA WAY, SUITE 200 ORINDA, CA 94563

ARCHITECT:
PAYMUN BUILDING AND DEVELOPMENT
IN COLLABORATION WITH
EDIT
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

LANDSCAPE ARCHITECT: DON WIHLBORG DESIGN 13 SEMINOLE AVE CORTE MADERA, CA 94925

STRUCTURAL ENGINEER: ADVANCED ENGINEERING 3381 WALNUT BLVD, SUITE 220 BRENTWOOD, CA 94513 TEL: 925 516 3502

GENERAL CONTRACTOR:
PAYMAN BUILDING AND DEVELOPMENT
25 ORINDA WAY, SUITE 200
ORINDA, CA 94563
TEL: 925-587-2140

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L4	PLANTING PLAN
L5	PLANTING DETAILS & LEGEND
L6	GRADING & DRAINAGE
A050	LOT COVERAGE - EXISTING & PROPOSED
A060	PHOTOS
A070	PHOTOS (MAIN HOUSE)
A080	PHOTOS (OUTDOOR)
A100 ⁴	SITE PLAN - EXISTING
{ A 101}	SITE PLAN - PROPOSED
A101B	ENLARGED SITE PLAN
A101C	SITE PLAN - SIMPLIFIED
A102	MAIN 1ST FLOOR PLAN - EXISTING & PROPOSED
A103 $_{\triangle}$	MAIN 2ND FLOOR PLAN - EXISTING & PROPOSED
A1044	MAIN ROOF PLAN - EXISTING & PROPOSED
A105	POOL HOUSE PLANS - PROPOSED
A105A	GARAGE PLANS - PROPOSED
A106	GYMNASIUM PLANS - EXISTING
A107	GAME ROOM PLANS & ELEVATIONS - EXISTING & PROPOSED
A108/4	CAFETERIA - DEMOLITION
A109	POOL EQUIPMENT ROOM PLAN, ELEVATION &
	SECTION
A201	MAIN ELEVATIONS WEST - EXISTING & PROPOSED
A202	MAIN ELEVATIONS EAST - EXISTING & PROPOSED
A203	MAIN ELEVATIONS NORTH & SOUTH - EXISTING
A204 ⁴	POOL HOUSE ELEVATION - PROPOSED
A205	GARAGE ELEVATIONS - PROPOSED
A206	GYMNASIUM ELEVATIONS - EXISTING
A301	SITE SECTIONS
A302	SITE SECTIONS
A901 4	SHADOW STUDY

GARAGE AND POOL HOUSE RENDERING

PAYMUN

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

PROJECT DATA

SCALE

AS INDICATED

SHEET NUMBER

A010

Page (

ABBREVIATIONS

&	AND	GALV.	GALVANIZED	REINF	REINFORCED
ANGLE	ANGLE	G.B.	GRAB BAR	REQ	REQUIRED
@	AT	GL.	GLASS	REV	REVISION
မှ	CENTERLINE	GND.	GROUND	RGTR	REGISTER
/	DIAMETER	GYP. BD.	GYPSUM BOARD	RM	ROOM
#	POUND OR NUMBER	H.B.	HOSE BIBB	RWD	REDWOOD
ABV.	ABOVE	H.C.	HOLLOW CORE	S	SOUTH
ACOUS.	ACOUSTICAL	H.M.	HOLLOW METAL	S.C.	SOLID CORE
A.D.	AREA DRAIN	H.R.	HAND RAIL	S.E.D	SEE ELECTRCIAL DWGS
A.T.	ACOUSTIC TILE	H.W.	HOT WATER	S.J	SEISMIC JOINT
ADJ.	ADJUSTABLE	HDR	HEADER	S.S.	STAINLESS STEEL
AGGR.	AGGREGATE	HR	HOUR	S.S.D	SEE STRUCTURAL DWGS
AL.	ALUMINUM	I.D.	INSIDE DIAMETER	SCHED	SCHEDULE
	APPROXIMATE	INSUL	INSULATION	SECT	SECTION
ARCH.	ARCHITECTURAL	INT	INTERIOR	SHGT	SHEATHING
ASB.	ASBESTOS	JAN	JANITOR	SHT SIM	SHEET
ASPH.	ASPHALT	KIT	KITCHEN		SIMILAR
BD. BITUM	BOARD BITUMEN	LAM LAV	LAMINATE LAVATORY	SL SPEC	SKY LIGHT SPECIFICATION
BLDG.	BUILDING	LBS	POUNDS	SPEC	SPECIFICATION SPRAY FOAM INSULATION
BLK.	BLOCK	LTG	LIGHTING	SQ	SQUARE
BM	BEAM	M.D.F.	MEDIUM DENSITY	STD	STANDARD
BOT.	BOTTOM	MATL	FIBERBOARD MATERIAL	STL	STEEL
BSE.	BASE	MAX	MAXIMUM	STOR	STORAGE
CAB.	CABINET	MECH	MECHANICAL	STRUC	STRUCTURAL
C.B.	CATCH BASIN	MFR	MANUFACTURER	SUSP	SUSPENDED
CEM.	CEMENT	MH	MANHOLE	Т	TREAD
CER.	CERAMIC	MIN	MINIMUM	T.O.	TOP OF
C.I.	CAST IRON	MISC	MISCELLANEOUS	T.O.P.	TOP OF PLATE
C.B.	CORNER BOARD	MTD	MOUNTED	T.O.S.	TOP OF SLAB
CLG.	CEILING	MTL	METAL	T.O.W.	TOP OF WALL
CLKG.	CAULKING	MUL	MULLION	TEL	TELEPHONE
CLO.	CLOSET	N	NEW	TEMP	TEMPERED
CLR.	CLEAR	N	NORTH	THK	THICK
C.O.	CLEAN OUT	N.I.C.	NOT IN CONTRACT	TYP	TYPICAL
COL.	COLUMN	N.T.S.	NOT TO SCALE	UNF	UNFINISHED
EMER.	EMERGENCY	NO	NUMBER	UON	UNLESS OTHERWISE NOTED
ENCL.	ENCLOSURE	NOM	NOMINAL	UR	URINAL
E.P.	ELECTRIC PANELBOARD	O.C.	ON CENTER	V.C.T	VINYL COMPOSITION TILE
EQ.	EQUAL	O.D.	OUTSIDE DIAMETER	VAR	VARIES
EQUIP.	EQUOPMENT	OFF	OFFICE	W	WEST
E.W.P.	ELECTRIC WATER COOLER	OPER	OPERABLE	W.C.	WATER CLOSET
EXPO	EXPOSURE	OPNG	OPENING	W.G.	WATER GLASS
EXP.	EXPANSION	OPP	OPPOSITE	W.M.	WALL MOUNT
EXT.	EXTERIOR	P.LAM.	PLASTIC LAMINATE	W.O.	WHERE OCCURS
F.A.	FIRE ALARM	P.T.	PRESSURE TREATED	W.R.	WATER RESISTANT
F.B.	FLAT BAR	PAV	PAVING	W.W.F	WIRE WELDED FABRIC
F.D.	FLOOR DRAIN	PERF	PERFORATED	W.W.M	WOVEN WIRE MESH
FON.	FOUNDATION	PERP	PERPENDICULAR	W/D	WASHER / DRYER
F.E.	FIRE EXTINGUISHER	PL	PLATE	W/O	WITHOUT
F.E.C.	FIRE EXTINGUISHER CABINET	PL	PROPERTY LINE	WD	WOOD
F.H.C.	FIRE HOSE CABINET	PLYWD	PLYWOOD	WDW	WINDOW
FIN.	FINISH	PROP	PROPERTY	WP	WATERPROOFING
FL.	FLASHING	PT PN (O	PAINT	WT	WEIGHT
FLUOR.	FLUORESCENT	PVC	POLYVINYL CHLORIDE		
F.O.C.	FACE OF CABINET	QTY	QUANTITY		
F.O.F	FACE OF FINISH	R	RISER		
F.O.S.	FACE OF STUDS	R.C.	RESILIENT CHANNEL		

REFLECTED CEILING PLAN

ROOF DRAIN

REFERENCE

REFRIGERATOR

RADIUS

ROUGH OPENING

RAIN WATER LEADER

R.O.

RAD

FIREPROOF

FULL SIZE

FOOTING

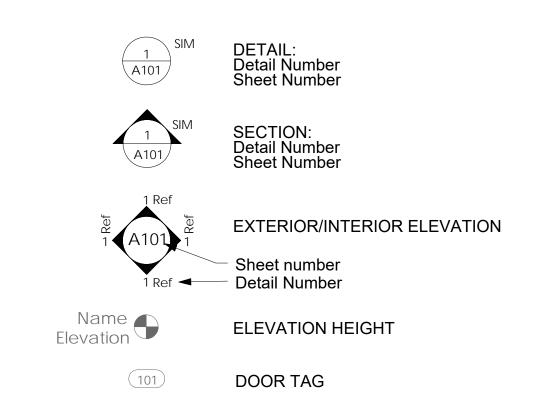
FURRING

FUTURE

GAGE

FOOT OR FEET

SYMBOLS



WINDOW TAG

WUI

WILDLAND-URBAN INTERFACE FIRE ZONE NOTES:

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.1.5. BUILDING IS LOCATED IN AN LRA HIGH FIRE HAZARD SEVERITY ZONE. ALL EXTERIOR MATERIALS AND CONSTRUCTION METHODS SHALL MEET EXTERIOR WILDFIRE EXPOSURE STANDARDS.

R337 WORKSHEET

THIS PROJECT IS LOCATED IN A LOCAL RESPONSIBILITY AREA VERY HIGH FOR WILDFIRE PROTECTION, ROOFING, ATTIC VENTILATION, EXTERIOR WALLS, WINDOWS, EXTERIOR DOORS, DECKING, FLOORS, AND UNDERFLOOR PROTECTION TO MEET CRC R337 REQUIREMENTS.

ITEM

DECKING MATERIALS EXTERIOR WINDOWS EXTERIOR SIDINGS AND SHEATHINGS EXTERIOR DOORS

UNDER EAVE UNDERFLOOR VENTILATION ROOF

MATERIAL

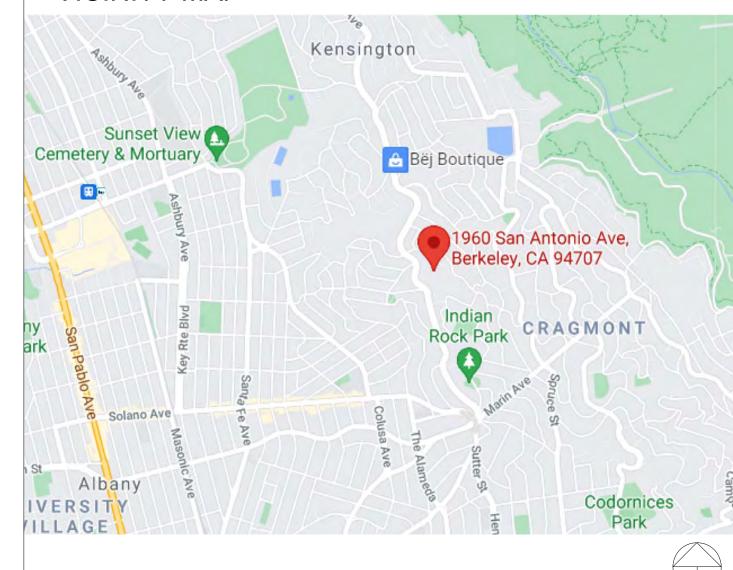
MASONRY OR CERAMIC MULTI-PANE GLAZING WITH ONE PANE TEMPERED 1" THICK STUCCO WITH 1 HOUR FIRE RATING MULTI-PANE GLAZING WITH ONE PANE TEMPERED WOOD GARAGE AND WOOD EXTERIOR DOORS TO BE MIN 1 3/8" THICK SOLD CORE **IGNITION RESISTANT IGNITION RESISTANT** CLOSED, NO VENTS

CLASS A - MODIFIED BITUMIN, SLATE AT POOL HOUSE OR APPROVED EQUAL

MAPS

AERAIL MAP 1960 San Antonio Ave,

VICINITY MAP



TREE PROTECTION

- ANY ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF AND BE SUPERVISED BY THE CONSULTING ARBORIST. ROOTS SHOULD BE CUT WITH A SAW TO PROVIDE A FLAT AND SMOOTH CUT. REMOVAL OF ROOTS LARGER THAN 2 IN. IN DIAMETER SHOULD BE AVOIDED.
- IF ROOTS 2 IN. AND GREATER IN DIAMETER ARE ENCOUNTERED DURING SITE WORK AND MUST BE CUT TO COMPLETE THE CONSTRUCTION, THE CONSULTING ARBORIST MUST BE CONSULTED TO EVALUATE EFFECTS ON THE HEALTH AND STABILITY OF THE TREE AND RECOMMEND TREATMENT.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCES SHALL BE 6 FT. CHAIN LINK WITH POSTS SUNK INTO THE GROUND OR EQUIVALENT.
- THE TREE TREE PROTECTION ZONE SHOWN ON ALL PLANS SHALL BE FENCED TO ENCLOSE THE ENTIRE AREA (FIGURE 1). NO GRADING, EXCAVATION, CONSTRUCTION OR STORAGE OF MATERIALS SHALL OCCUR WITHIN THAT ZONE. NO UNDERGROUND SERVICES INCLUDING UTILITIES, SUB-DRAINS, WATER OR SEWER SHALL BE PLACED IN THE TREE PROTECTION ZONE. NO MOTORIZED EQUIPMENT SHALL BE USED IN THE TREE PROTECTION ZONE. THE LIMITS OF THE TREE PROTECTION ZONE WILL BE ADJUSTED FOLLOWING REVIEW OF GRADING AND CONSTRUCTION PLANS. FOR DESIGN PURPOSES, THE TREE PROTECTION ZONE

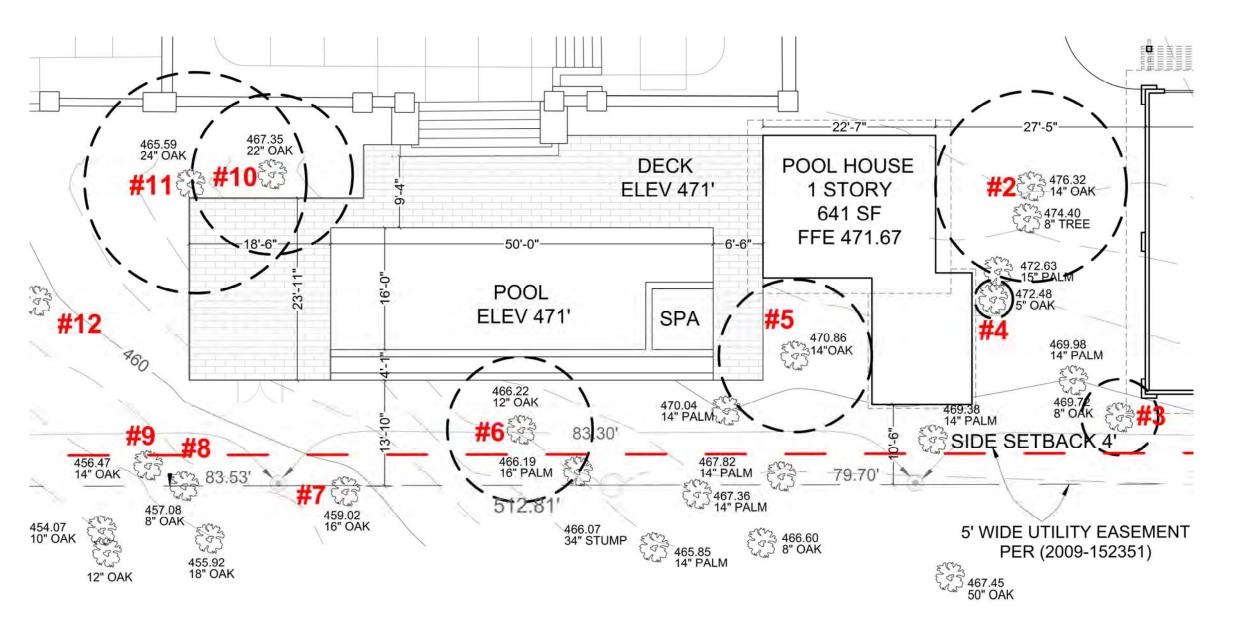


FIGURE 1. THE BLACK DOTTED LINES ARE THE TREE PROTECTION ZONE. WORK IN THIS AREA IS PROHIBITED.

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DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

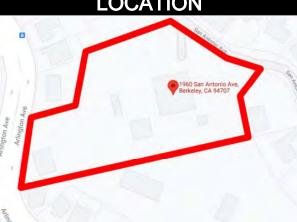
OWNER(S)

ABBAS MASH

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SHEET TITLE

GENERAL INFORMATION

SCALE

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SHEET NUMBER

1 IRRIGATION PLAN 1/12" = 1'-0"

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3

LOCATION



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AREA

ORIENTATION



SHEET TITLE

IRRIGATION PLAN

SCALE

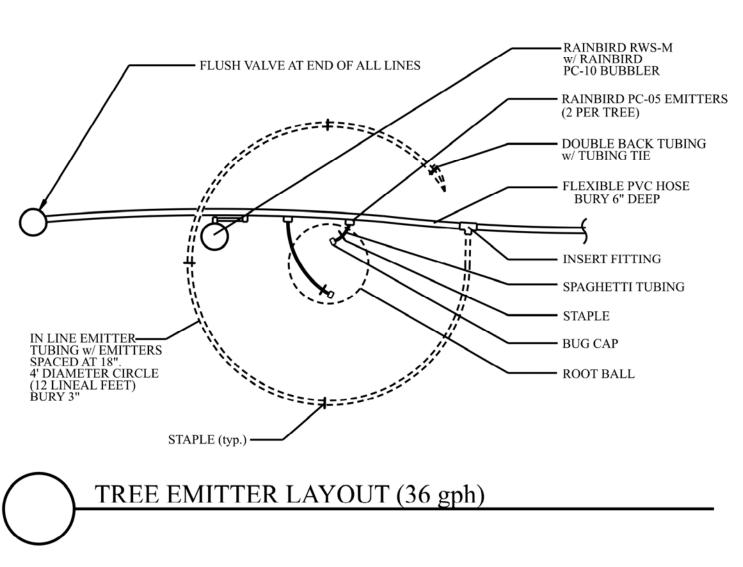
AS INDICATED

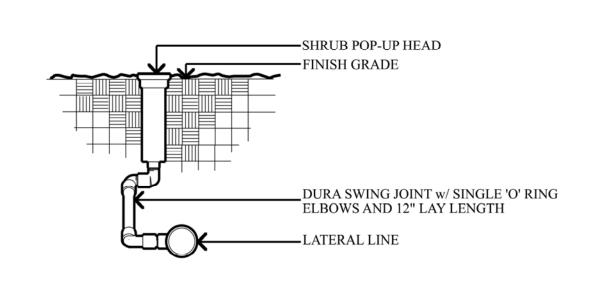
SHEET NUMBER

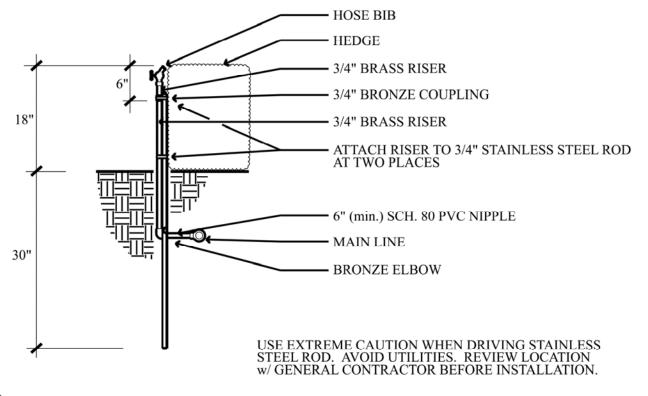
L.1

Page (

FINISH GRADE

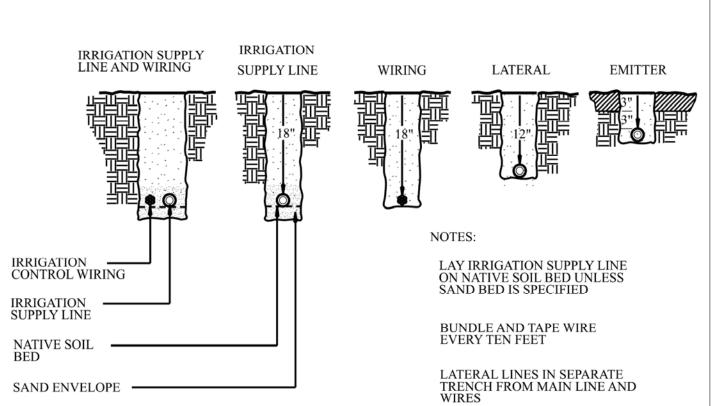


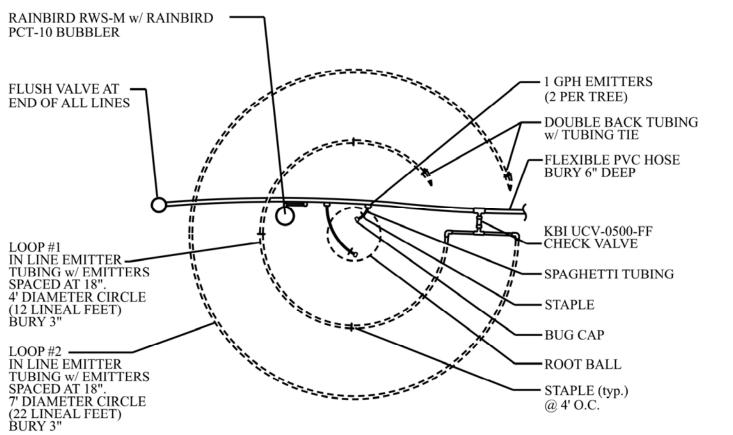




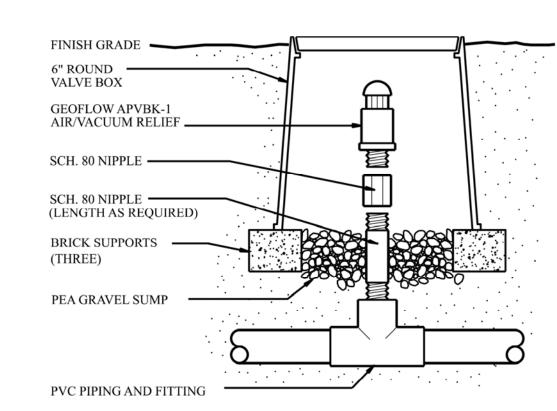
—SCHEDULE 80 MALE ADAPTER

—SCHEDULE 80 PVC UNION





SHRUB POP-UP SPRAY HEAD



TRENCHING AND INSTALLATION

COIL WIRE FOR EXPANSION

- KBI WSU PVC BALL VALVE

- SCHEDULE 80 PVC NIPPLE

LENGTH AS REQUIRED

- CLEAN PEA GRAVEL TO

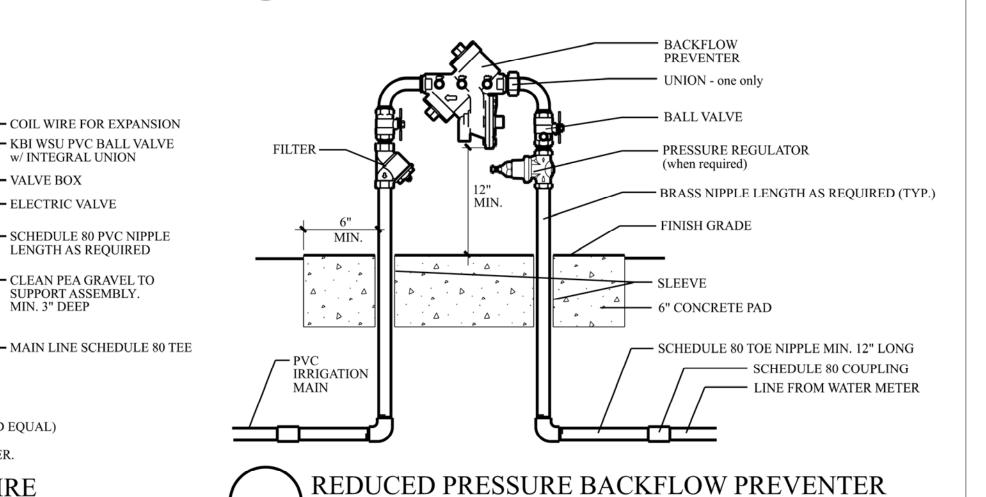
SUPPORT ASSEMBLY.

MIN. 3" DEEP

w/ INTEGRAL UNION

ELECTRIC VALVE

VALVE BOX



10 x PIPE DIA.

(IF REQUIRED)

— ELECTRICAL POWER CONDUIT ELECTRICAL PULL BOX — CONTROL WIRE CONDUIT

(Minimum)

— FLOW METER IN SCHEDULE 80 PVC

TEE. SIZE PER MANUFACTURER'S

└─ 12" SCH. 80

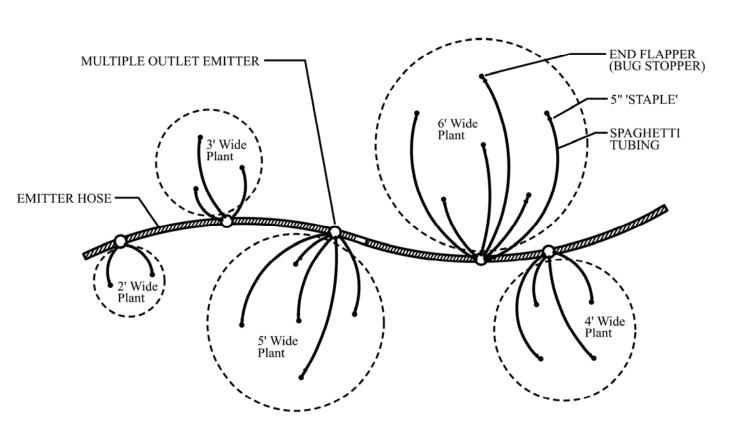
REDUCER

(IF REQ'D)

FITTING

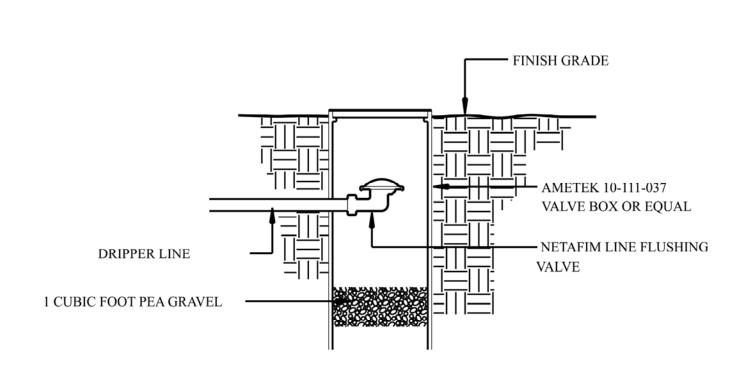
NIPPLE (TOE)

TREE EMITTER LAYOUT - LARGE (33 gph)



AIR/VACUUM RELIEF

LINE FLUSHING VALVE



REMOTE CONTROL VALVE - TWO WIRE

6. PROVIDE AND INSTALL DECODER COMPATIBLE WITH CONTROLLER.

4. WIRE SPLICE KIT (PEN-TIT, 3M #DBY, GREASE LOCK OR APPROVED EQUAL)

2. PROVIDE 24" EXPANSION LOOP AT EACH WIRE CONNECTION

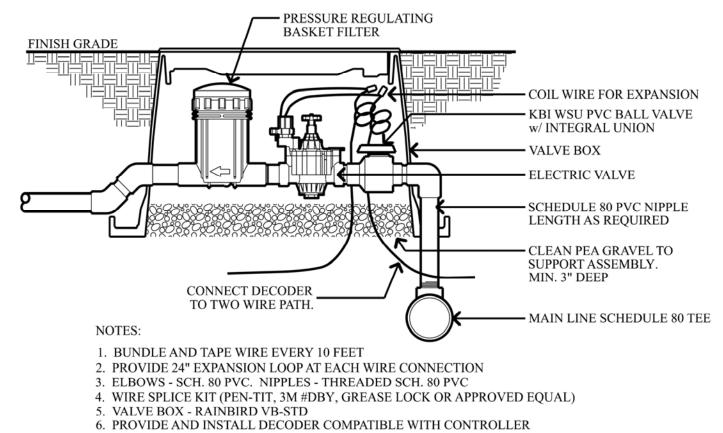
3. ELBOWS - SCH. 80 PVC. NIPPLES - THREADED SCH. 80 PVC

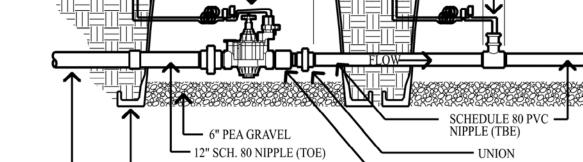
CONNECT DECODER

TO TWO WIRE PATH.

BUNDLE AND TAPE WIRE EVERY 10 FEET

5. VALVE BOX - RAINBIRD VB-STD





BOX. FLOW METER SHOULD NEVER BE SUBMERGED UNDERWATER

. NO UNDERGROUND SPLICES BETWEEN VALVE BOX (RAINBIRD VB-STD) AND CONTROLLER.

2. SPEARS # DS-100 w/ # DS-300 SEALANT OR 3M SCOTCHLOK # 3570 WIRE CONNECTORS ONLY

INSTALL IN MANNER TO ALLOW PROPER DRAINAGE OF ANY WATER THAT ACCUMULATES IN VALVE

WIRES TO CONTROLLER PER FLOW METER —

WIRES TO CONTROLLER

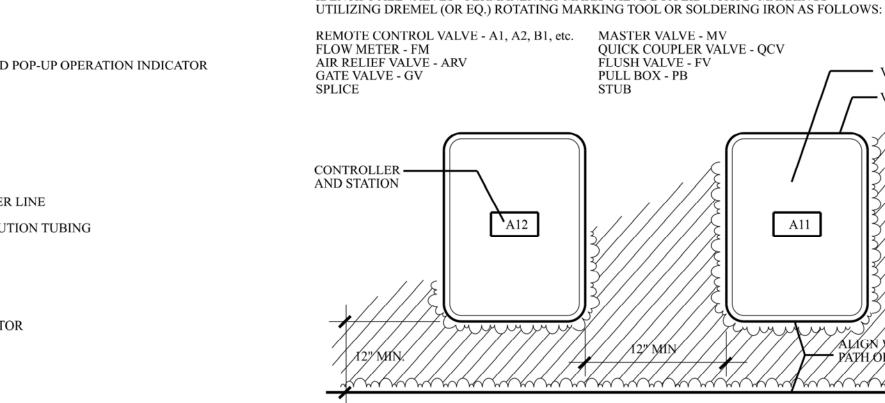
VALVE BOX

— IRRIGATION MAIN LINE

MASTER VALVE

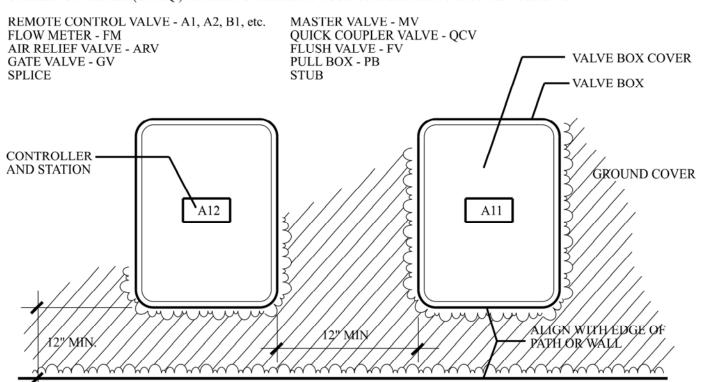
(Normally Open)

MASTER VALVE & FLOWMETER RUN

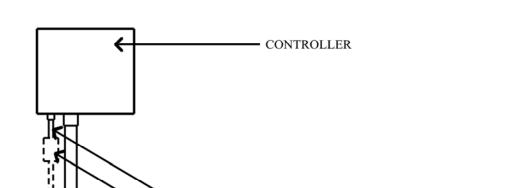


VALVE BOXES

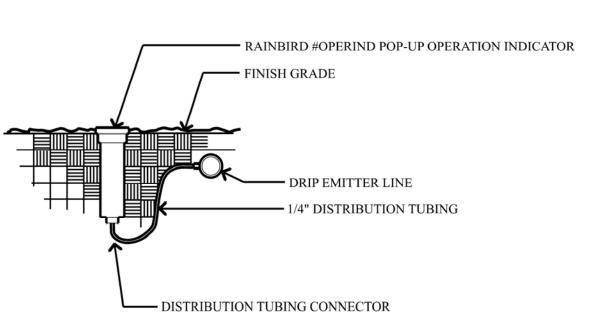
EMITTER REMOTE CONTROL VALVE - TWO WIRE



IDENTIFY ALL VALVES - PERMANENTLY MARK VALVE BOX LID WITH 2" MARKINGS



MULTIPLE OUTLET EMITTER



EMITTER LINE POP-UP OPERATION INDICATOR

WALL MOUNT CONTROLLER

PAYMUN

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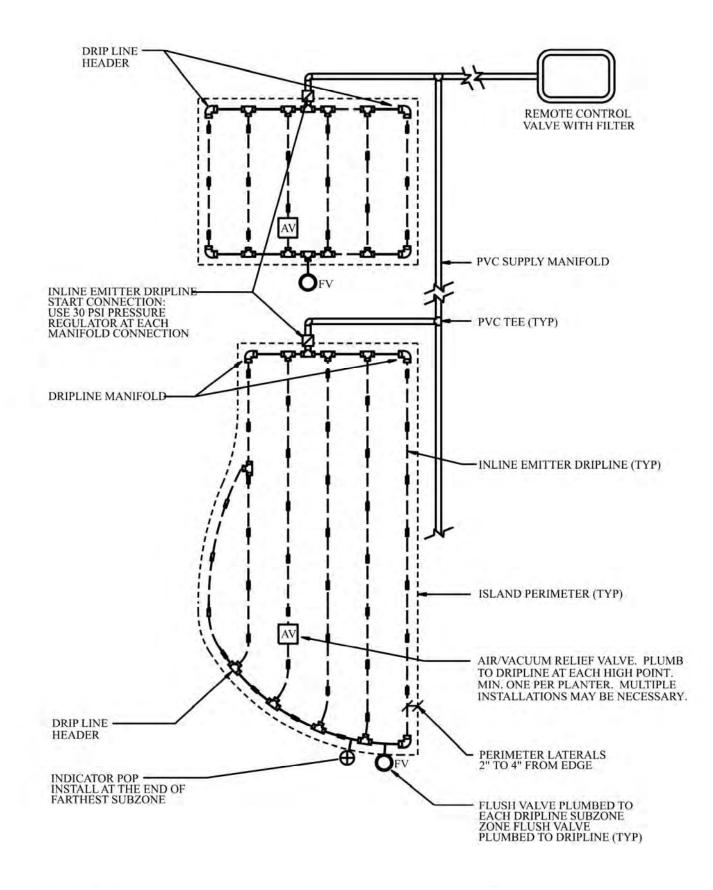
IRRIGATION DETAILS

SCALE

AS INDICATED

SHEET NUMBER

Max. System GPM



INLINE EMITTER ISLAND LAYOUT

	IRRIGATION LEG	END		5			1	
	Description	MANUFACTURER	Item Number	Pop Height	Misc. Info.	GPM	at PSI	Radiu
	Shrub Rotator	Hunter	PROS-12-PRS40-CV-MP1000	12"		0.19-0.75	40	4-
**************************************	Shrub Rotator	Hunter	PROS-12-PRS40-CV-MP2000	12"		0.40-1.47	40	19
	Shrub Rotator	Hunter	PROS-12-PRS40-CV-MP3000	12"		0,86-3,64	40	30
•	Tree Emitter Layout		See details					
(<u>(()</u>)	Tree Emitter Layout Large		See details					
	Root Watering System	Rainbird	RWS (see tree emitter detail)		18", PCT-10 Emitter			
	Multi Outlet Emitter	Rainbird	XBT-20-6		2.0 GPH per Emitter Outlet			
	Emitter	Rainbird	PC-10			10 gph		
	Controller	Hunter	HC - 2 wire		w/ Solar-Syne, connect to Wi-Fi			
	Flow Sensor	CST	FDI-T10-001		I" Flow Meter	0.86-52		
	Backflow Preventer	Wilkins	975XL2U		1"			
20 m	Filter	Amiad	Super 1"					
•	Control Valve	Rainbird	PESB-PRS-D Series					
•	Control Zone Kit	Rainbird	XZC-150-PRB-COM		Zones over 15 gpm			
•	Control Zone Kit	Rainbird	XCZ-100-PRB-COM		Zones between 5 and 15 gpm.			
•	Control Zone Kit	Rainbird	XCZ-75-PRF		Zones under 5 gpm			
0	Master Valve	Griswold	2000 Series		Normally Open, line size			
	Hose Bib							
	Emitter Flush Valve	Netafim			Automatic Flush			
	Emitter Air Relief Valve	Netafim			At all high points of emitter zones			
	Emitter Pop-up Indicator	Rainbird	OPERIND		One at end of each zone			
	Main Line Pipe		Schedule 40					
	Lateral Line Pipe		Schedule 40					
	Emitter Line Pipe		AR Flexible PVC		1"			
	In Line Emitter Tubing	Rainbird	XFS-09-18 Sub-Surface Dripline w/ copper shield		18" pipe spacing	0.9 GPH		
<u> </u>	Drip Line Header	Rainbird	XQF-10 Dripline Header					
	Sleeve		Schedule 40		w/ size			
	Buried Pipe w/o Sleeve		Copper					
	Existing Pressure							
M/	Min. Design Pressure							

(Etol)0.62((0).55 x LA(Landscape Ansa)(+(0.45 x SLA(Special Landscape Area)() = 215,883

39.0 0.62

16,233

Maximum Applied Water Allowance (MAWA)

Eto = Factor LA -

1			(HA)	Landscape	Factor (PF)	Area (SLA)	Efficiency (IE)	PF x HA	ETWU	MAWA	MAWA	Application Rate In./Hr.	Operating Pressure PSI
	drip.	Low	122	0.8%	0.3	0	0.80	37	1,106	3,622	516	1.5	30
2	drip	Low	146	0.9%	0.3	0	0.80	-44	1,324	1.942	618	1.76	30
3	MF Rotor	Low	828	5.1%	0.3	0	0.75	248	8,008	11,012	3,003	1.5	40
4	MP Rotor	Low	993	6.3%	0.3	0	0.75	298	9,604	13,206	3,602	1.5	-40
5	MP Rotor	Low	1,292	8.0%	0.3	0	0.75	388	12,496	17,182	4,686	1.5	-60
6	MF Rotor	Low	952	5.5%	0.3	0	0.75	285	9,208	12,661	3,453	1.5	40
7	MP Rotor	Low	181	3.3%	9.3	-0	0.75	54	3,751	2,407	656	1.5	40
8	MP Potor	Low	985	63%	0.3	0	0.75	296	9,527	13,100	3.572	1.5	40
. 9	drip	Mod	35	0.2%	0.5	.0	0.80	35	529	465	63	1.76	30
20	drip	Low	408	2.5%	0.3	0	0.80	122	3,700	5,426	1,726	1.5	30
11	drip	Low	355	2.2%	0.3	0	0.80	107	3,219	4,721	1,502	1.5	30
12	drip	Low	44G	2.7%	0.3	0	0.80	134	4,044	5,931	1,887	0.45	30
13	drip	Low	176	2.1%	0.3	0	0.80	53	2,596	2,341	745	1.5	30
54	drip	Low	123	0.8%	0.3	0	0.80	37	1,115	1,636	520	1.5	30
45	drip	Low	668	4.1%	0.3	0	0.80	500	6,057	8,884	2,827	0.45	30
35	drip	Low	597	1.7%	0.3	0	0.80	179	5,413	7,940	7,526	0.45	30
17	drip.	Low	59	0.4%	0.3	0	0.80	38	535	785	250	1.76	30
18	drip	Low	318	1.9%	0.3	0	0.80	94	2,838	4.163	1,824	0.45	30
19	MP Rotor	Low	356	2.2%	0.3	0	0.75	107	3,443	4,714	1,291	1.5	40
20.	MP Rotor	Mod	812	5.0%	0.5	0	0.75	406	13,089	10,799	2,191	0.45	40
21	Spring	Mod	109	0.7%	0.5	D	0.75	55	2,757	1,450	807	1.76	30
55	drip	Med	252	1.6%	0.6	0	0.83	151	4,530	3,351	1,719	1.5	30
2.1	drip	Mod	502	3.1%	0.6	0	0.00	301	9,104	6,676	2,436	1.5	30
24	drip	Low	112	0.7%	0.3	0	0.80	34	1,016	1,489	474	1.76	30
25	Spray	Low	174	2.1%	0.3	0	0.75	52	1,683	2.814	631	1.76	30
26	drip	Mod	499	3.1%	0.6	0	0.90	299	9,049	6.636	2,413	1.76	30
27	drip	Mod	122	0.8%	0.5	. 0	0.50	61	2,544	1.622	221	1.76	30
28	drip	Low	144	0.9%	0.3	-	0.80	43	2,306	2.915	609	1.5	90
29	drip	Mod		2.0%	0.6	0	0.80	194	5,858	4,296	2,562	1.76	30
30	drip	Mod	176	1.1%	0.6	0	0.00	104	3.155	2,314	841	1.5	30
_	drip		-				0.80	-	-	-	-	_	30
32	drip	Med	212	1.3%	0.6	0	0.80	127	3,845	2,819	1,025	1.5	30
33	MP Rotor	Mod	780	4.8%	0.6	0	0.75	468	15,088	10,373	4,719	1.5	40
34	spray	Mod	506	3.1%	0.0		0.75	334	2,788	6,729	3,059	1.76	30
35	MP Rotor	Mod	782	4.8%	0,6	0	0.75	499	15,127	10,400	4,727	0.45	40
36	drip	Med	375	2.8%	0.6	0	0.80	225	6,801	4,987	1,814	1.5	30
			-			•		-	_				30
	drip	Low		-		-	0.83						30
	drip					0	0.83		-	The State of	-	and the same of th	30
	drip	Mod	-			-	0.80		2,122	-	566	1.5	30
	drip			=				•		_	-		30
	drip	Low					0.80			851			30
43	disp.	Med		256	0.6	-	0.80	A	Applications and the	Annahil Section	The second second	1.5	30
	5 6 7 8 9 9 90 11 12 23 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35	\$ MP Rotor 6 MP Rotor 7 MP Rotor 8 MP Rotor 9 drip 10 drip 11 drip 12 drip 13 drip 14 drip 15 drip 16 drip 17 drip 18 drip 19 MP Rotor 20 MP Rotor 21 sprily 22 drip 23 drip 24 drip 24 drip 25 sprily 26 drip 27 drip 28 drip 29 MP Rotor 30 MP Rotor 31 drip 32 drip 33 drip 36 drip 37 drip 38 drip 39 drip 30 drip 31 MP Rotor 34 sprily 35 MP Rotor 34 sprily 35 drip 37 drip 38 drip 39 drip 39 drip 31 drip 33 drip 34 sprily 35 MP Rotor 34 sprily 35 MP Rotor 34 sprily 35 drip 37 drip 38 drip 39 drip 40 drip 41 drip 42 drip	\$ MP Potter Low 6 MP Potter Low 7 MP Potter Low 8 MP Potter Low 9 drip Med 30 drip Low 11 drip Low 12 drip Low 13 drip Low 15 drip Low 15 drip Low 16 drip Low 17 drip Low 18 drip Low 19 MP Potter Low 20 MP Potter Low 21 drip Med 21 drip Med 21 drip Med 21 drip Med 22 drip Med 23 drip Med 24 drip Low 25 spray Low 26 drip Med 27 drip Med 28 drip Med 27 drip Med 28 drip Med 29 drip Med 27 drip Med 31 drip Med 32 drip Med 33 drip Med 33 MP Potter Med 34 spray Med 35 MP Potter Med 37 drip Med 37 drip Med 38 drip Med 37 drip Med 37 drip Med 38 drip Med 37 drip Med 37 drip Med 38 drip Med 37 drip Med 37 drip Med 38 drip Med 37 drip Med 38 drip Med 39 drip Med 37 drip Med 37 drip Med 38 drip Med 39 drip Med 39 drip Med 31 drip Med 31 drip Med 32 drip Med 33 drip Low 39 drip Med 31 drip Med 31 drip Med 32 drip Med 33 drip Low 39 drip Med 31 drip Med 31 drip Med 32 drip Med 32 drip Med 33 drip Low 33 drip Low 34 drip Med 34 drip	\$ MP Rotor Low 952 7 MP Rotor Low 953 8 MP Rotor Low 985 9 drip Mod 35 90 drip Low 408 11 drip Low 408 11 drip Low 466 13 drip Low 466 13 drip Low 555 12 drip Low 568 15 drip Low 597 17 drip Low 597 18 drip Low 597 17 drip Low 318 19 MP Rotor Low 356 20 MP Rotor Low 356 21 drip Low 318 22 drip Low 318 23 drip Low 39 24 drip Low 109 25 drip Mod 502 24 drip Mod 502 24 drip Mod 502 24 drip Mod 502 25 gray Low 174 26 drip Mod 122 28 drip Mod 122 28 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Low 985 6.1% 0.3 0 0.75 296 9,527 13,100 3,578 9 dop Mod 35 0.2% 0.5 0 0.80 18 523 465 0.3 10 dop Mod 35 0.2% 0.5 0 0.80 18 523 465 0.3 10 dop Mod 35 0.2% 0.5 0 0.80 18 523 465 0.776 11 dop Mod 25 0.2% 0.3 0 0.80 122 3,700 5,466 1,776 11 dop Low 985 2.2% 0.3 0 0.80 122 3,700 5,466 1,776 11 dop Low 985 2.2% 0.3 0 0.80 127 3,279 4,721 1,502 12 ddg Low 946 2.7% 0.3 0 0.80 134 4,044 5,931 1,587 13 ddg Low 176 1,1% 0.3 0 0.80 134 4,044 5,931 1,587 13 ddg Low 176 1,1% 0.3 0 0.80 131 1,546 1,541 1,745 14 ddg Low 168 4,1% 0.3 0 0.80 37 1,115 1,686 530 15 ddg Low 668 4,1% 0.3 0 0.80 20 37 1,115 1,686 530 15 ddg Low 597 1,776 0.3 0 0.80 127 3,413 7,940 2,526 17 ddg Low 939 0,4% 0.3 0 0.80 20 5,657 8,884 2,827 17 ddg Low 597 1,776 0.3 0 0.80 127 3,413 7,940 2,526 17 ddg Low 188 1,9% 0.3 0 0.80 20 38 33 755 250 17 ddg Low 188 1,9% 0.3 0 0.80 38 33 535 755 250 17 ddg Low 188 1,9% 0.3 0 0.80 34 2,888 4,168 1,344 1,99 1,99 MP Rotor Low 156 2,2% 0.3 0 0.75 406 13,000 11,000 10,799 2,291 12 series Mod 109 0,7% 0.5 0 0.75 406 13,000 10,799 2,291 12 series Mod 109 0,7% 0.5 0 0.75 55 1,257 1,459 1,459 1,251 1</th><th>\$\begin{array}{c c c c c c c c c c c c c c c c c c c </th></t<>	S MP Rotor Low 1,292 8,0% 0.3 0 0.75 388 12,496 6 MP Rotor Low 992 5,9% 0.3 0 0.75 255 9,208 7 MP Rotor Low 985 6,1% 0.3 0 0.75 54 9,521 8 MP Rotor Low 985 6,1% 0.3 0 0.75 54 9,521 9 drip Mod 35 0.2% 0.5 0 0.80 18 529 90 drip Low 408 2.2% 0.3 0 0.80 122 3,700 11 drip Low 466 2.7% 0.3 0 0.80 122 3,700 12 drip Low 446 2.7% 0.3 0 0.80 37 1,115 13 drip Low 168 4.1% 0.3 0 0.80	5 MP Rotor Low 1,290 8.0% 0.3 0 0.75 388 12,406 17,182 6 MP Rotor Low 181 1.1% 0.3 0 0.75 296 9,202 12,601 7 MP Rotor Low 181 1.1% 0.3 0 0.75 296 9,527 11,100 9 drip Mod 35 0.2% 0.5 0 0.00 22 296 9,527 11,100 9 drip Mod 35 0.2% 0.5 0 0.00 22 3,200 5,521 11,100 9 drip Low 406 2.7% 0.3 0 0.00 107 3,219 4,771 12 drip Low 466 2.7% 0.3 0 0.00 13 1,915 1,616 14 drip Low 168 2.0% 1.1% 0.3 0 0.00 37	5 MP Rotor Low 1,292 8.0% 0.3 0 0.75 388 17,406 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ddg Low 188 1,9% 0.3 0 0.80 34 2,888 4,168 1,344 1,99 1,99 MP Rotor Low 156 2,2% 0.3 0 0.75 406 13,000 11,000 10,799 2,291 12 series Mod 109 0,7% 0.5 0 0.75 406 13,000 10,799 2,291 12 series Mod 109 0,7% 0.5 0 0.75 55 1,257 1,459 1,459 1,251 1	\$\begin{array}{c c c c c c c c c c c c c c c c c c c

PAYMUN

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LEAD DESIGN CONSULTANT

Ben@paymun.com

PAYMUN BUILDING & DEVELOPMENT, Inc.

> DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES	
REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

IRRIGATION **DETAILS & LEGEND**

SCALE

AS INDICATED

SHEET NUMBER

PLANTING NOTES

1. LANDSCAPING CONTRACT TO INCLUDE, BUT NOT NECESSARILY BE LIMITED TO:

PROVISION AND INSTALLATION OF SOIL AMENDMENT PLANTING OF TREES, SHRUBS, AND GROUND COVERS

__FERTILIZING __MULCHING

__IRRIGATION __IRRIGATION __PREPARATION OF SUBSOIL

2. DURING AMENDMENT PROCEDURES OR PLACING OF TOPSOIL, REMOVE:

STONES ROOTS GRASS WEEDS DEBRIS
FOREIGN MATERIAL DELETERIOUS TO PLANT GROWTH

3. PLANTING BEDS:

ROTILL AMENDMENT INTO SOIL 12" DEEP PRIOR TO PLANTING
TILL AMENDMENT BY HAND 6" DEEP UNDER DRIPLINE OF EXISTING TREES

CONTRACT WITH ENVIROMENTAL TECHNICAL SERVICES FOR SOILS REPORT. AMEND
WITH MATERIALS RECOMMENDED IN REPORT. MIN. 10 CY ORGANIC MATERIAL/1000 SF.

4. PLANT MATERIALS:

__FREE OF DISEASE OF HAZARDOUS INSECTS

PLACE AGRI-FORM PLANT TABS IN PLANT PITS AT THE FOLLOWING RATES:

__1 GALLON PLANT - 1 TABLET

5 GALLON PLANT - 2 TABLETS

15 GALLON PLANT - 3 TABLETS 24" BOX - 4 TABLETS

GIVE 48 HOUR NOTICE TO THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO THE

SITE OF ALL PLANT MATERIALS

PLACE ON SITE IN THE LOCATIONS SHOWN FOR REVIEW BY THE LANDSCAPE ARCHITECT BEFORE ANY PLANTING HOLES ARE DUG

5. MULCH ALL AREAS OF NEW PLANTING 3" DEEP WITH BARK. PROVIDE

6. REMOVE AND REPLACE ANY TREE DAMAGED BEYOND REPAIR WITH A TREE OF SIMILAR

7. GIVE 48 HOUR NOTICE TO LANDSCAPE ARCHITECT PRIOR TO FINAL INSPECTION OF ALL

CHARACTER AND SIZE AS SPECIFIED BY THE OWNER, AT THE CONTRACTOR'S EXPENSE

PLANT MATERIALS.

SAMPLE FOR APPROVAL.

8. WARRANTY PERIOD:

ONE YEAR FOR PLANTING AND IRRIGATION
COMMENCE ON DATE OF ACCEPTANCE OF PLANTING AFTER FINAL INSPECTION.

9. SCHEDULE PRECONSTRUCTION CONFERENCE WITH LANDSCAPE ARCHITECT. DO NOT BEGIN CONSTRUCTION BEFORE CONFERENCE. IF CONSTRUCTION BEGINS BEFORE CONFERENCE, CONTRACTOR MAY BE ASKED BY LANDSCAPE ARCHITECT TO UNDO SOME OF THE WORK AT NO ADDITIONAL COST TO THE OWNER.

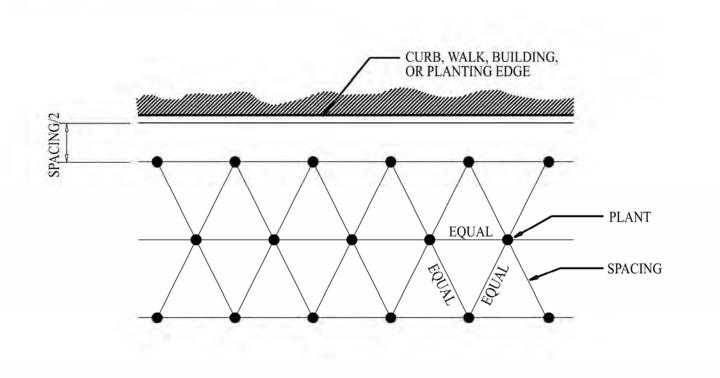
10. AREA UNDER DRIP LINE OF EXISTING ON-SITE AND OFF-SITE TREES:

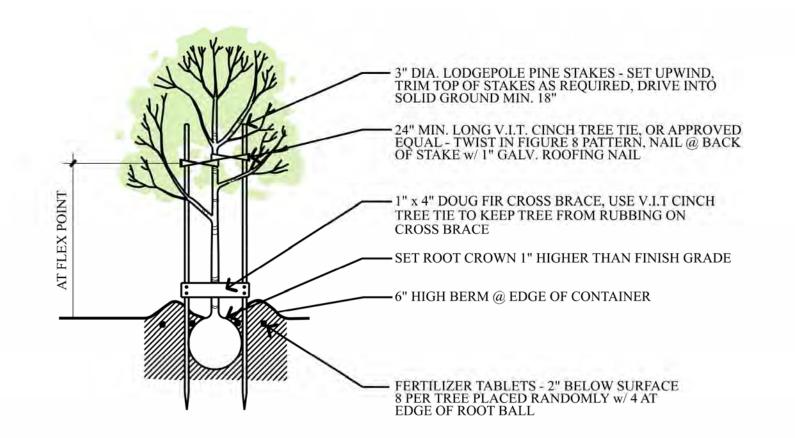
....FENCE ENTIRE DRIPLINE
.....DO NOT STOCKPILE MATERIALS

NO VEHICULAR TRAFFIC

DO NOT CUT ROOTS LARGER THAN 2" DIAMETER

Abbrev.	Botanical Name	Common Name	Size	Comments	Height	Spread	Water
ABU ROS	ABUTILON h.'Roseus'	Pink Flowering Maple	5 gal		9.00		M
AGA PP	AGAPANTHUS 'Peter Pan'	Peter Pan Agapanthus	1 gal		1.50	2.25	M
ANI BP	ANIGOZANTHOS 'Bush Pearl'	Bush Pearl Kangaroo Paw	1 gal		1.50	1.50	
ANI DTR	ANIGOZANTHOS 'Dwarf Tall Red'	Dwarf Tall Red Kangaroo Paw	5 gal		3.00	3.00	L
AZAALA	AZALEA 'Alaska'	Alaska Azalea	5 gal		2.50	3.00	_
AZA BW	AZALEA 'Bloomathon White'	Bloomathon White Azalea	5 gal		2.50		M
BER CRA	BERGENIA crassifolia	Heartleaf Bergenia	1 gal		1.25	1.25	_
BUX SEM	BUXUS sempervirens 'Suffruticosa'	Boxwood BALLS	15 gal		2.00		M
CAM SHI	CAMELLIA h. 'Shishi-Gashira'	Shishi-Gashira Camellia	15 gal		3.00	6.00	
CAN CP	CANNA 'China Pink'	China Pink Canna	5 gal		3.00	2.50	M
CAN TRO	CANNA 'Tropicanna'	Tropicanna Canna	1 gal		5.00	3.00	
CEA YP	CEANOTHUS griseus horizontalis 'Yankee Point'	Yankee Point Ceanothus	5 gal		2.50	7.00	
CHO TEC	CHONDROPETALUM tectorum	Small Cape Rush	5 gal		3.00	4.00	L
CRO BAB	CROCOSMIA 'Babylon'	Babylon Crocosmia	1 gal		2.50	1.50	_
CUP SEM	CUPRESSUS sempervirens 'Stricta'	Italian Cypress		field grown; 3' dia foliage	tree		L
ECH CAN	ECHIUM candicans	Pride of Madeira	5 gal		5.00	6.00	L
EUO MIC	EUONYMUS japonicus 'Microphyllus'	Box-Leaf Euonymus	1 gal		1.50	1.50	_
FES RUB	FESTUCA rubra	Red Fescue	sod		0.00		L
GER MS	GERANIUM r. 'Mavis Simpson'	Mavis Simpson Geranium	1 gal		1.00	1.00	M
GRE MT	GREVILLEA lanigera 'Mt. Tamboritha'	Mt. Tambor Grevillea	1 gal		2.00	4.00	
HEM SDO	HEMEROCALLIS 'Stella De Oro'	Stella De Oro Daylily	1 gal		2.00	2.00	
HET ARB	HETEROMELES arbutifolia	Toyon	5 gal		7.00	7.00	
HYD BB	HYDRANGEA m. 'Blushing Bride'	Blushing Bride Hydrangea	5 gal		4.00	4.00	_
LE CAR	ILEX comuta 'Carissa'	Carissa Chinese Holly	5 gal		3.50	5.00	_
LE DB	ILEX cornuta 'Dwarf Burford'	Dwarf Burford Holly	5 gal		6.00	6.00	
JUN PAT	JUNCUS patens 'Elk Blue'	Elk Blue California Gray Rush	1 gal		2.00	2.00	_
LAN MON	LANTANA montevidensis	Trailing Lantana	5 gal		1.50	3.00	
LAV PRO	LAVANDULA i. 'Provence'	Provence Lavender	1 gal		2.00	3.00	
LIM PER	LIMONIUM perezii	Statice, Sea Lavendar	1 gal		2.00	2.00	
LOR FD	LOROPETALUM chinense 'Flame Dance'	Flame Dance Loropetalum	5 gal		6.00	6.00	_
PHO GR	PHORMIUM 'Golden Ray'	Golden Ray Flax	5 gal		4.00	4.00	L
RHO PP	RHODODENDRON 'Purple Passion'	Purple Passion Rhododendron	5 gal		6.00	5.00	
ROS FCP	ROSA 'Flower Carpet Pink'	Flower Carpet Pink Rose	5 gal		2.00		M
ROS FCW	ROSA 'Flower Carpet White'	Flower Carpet White Rose	5 gal		2.00		M
ROS RUG	ROSA rugosa	Ramanas Rose	5 gal		3.50	5.00	L
SAL LEU	SALVIA leucantha	Mexican Bush Sage	5 gal		3.50	4.00	_
SAR RUS	SARCOCOCCA rusifolia	Fragrant Sarcococca	5 gal		4.00	3.00	
STA BYZ	STACHYS byzantina	Lamb's Ear	1 gal		1.50	1.50	
STR REG	STRELITZIA reginae	Bird of Paradise	5 gal		4.00		M
TUL VIO	TULBAGHIA violacea	Society Garlic	1 gal		1.50	2.50	





GROUND COVER PLANTING

CONCRETE SIDEWALK

FINISHED GRADE PLANTING AREA

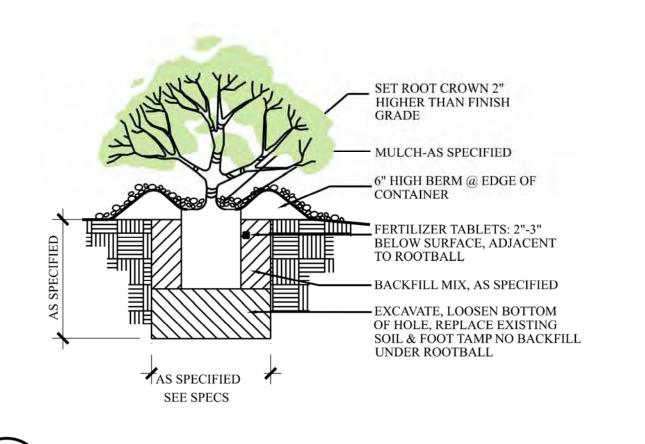
FINISHED GRADE PLANTING AREA

 18" CONTINUOUS ROOT BARRIER MADE FROM PANELS FROM ROOT SOLUTIONS (800-554-0914)

INSTALL AGAINST EDGE OF

PAVING 1" BELOW TOP

ROOT BARRIER ALONG PAVING



SHRUB PLANTING

TREE PLANTING

Ben@paymun.com

LEAD DESIGN CONSULTANT

25 Orinda way, Suite#200

Tel: (925) 587-2140

Orinda, CA 94563

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION DATE

PLANNING SUBMITTAL I 05/13/2023

A DDDE OC

ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

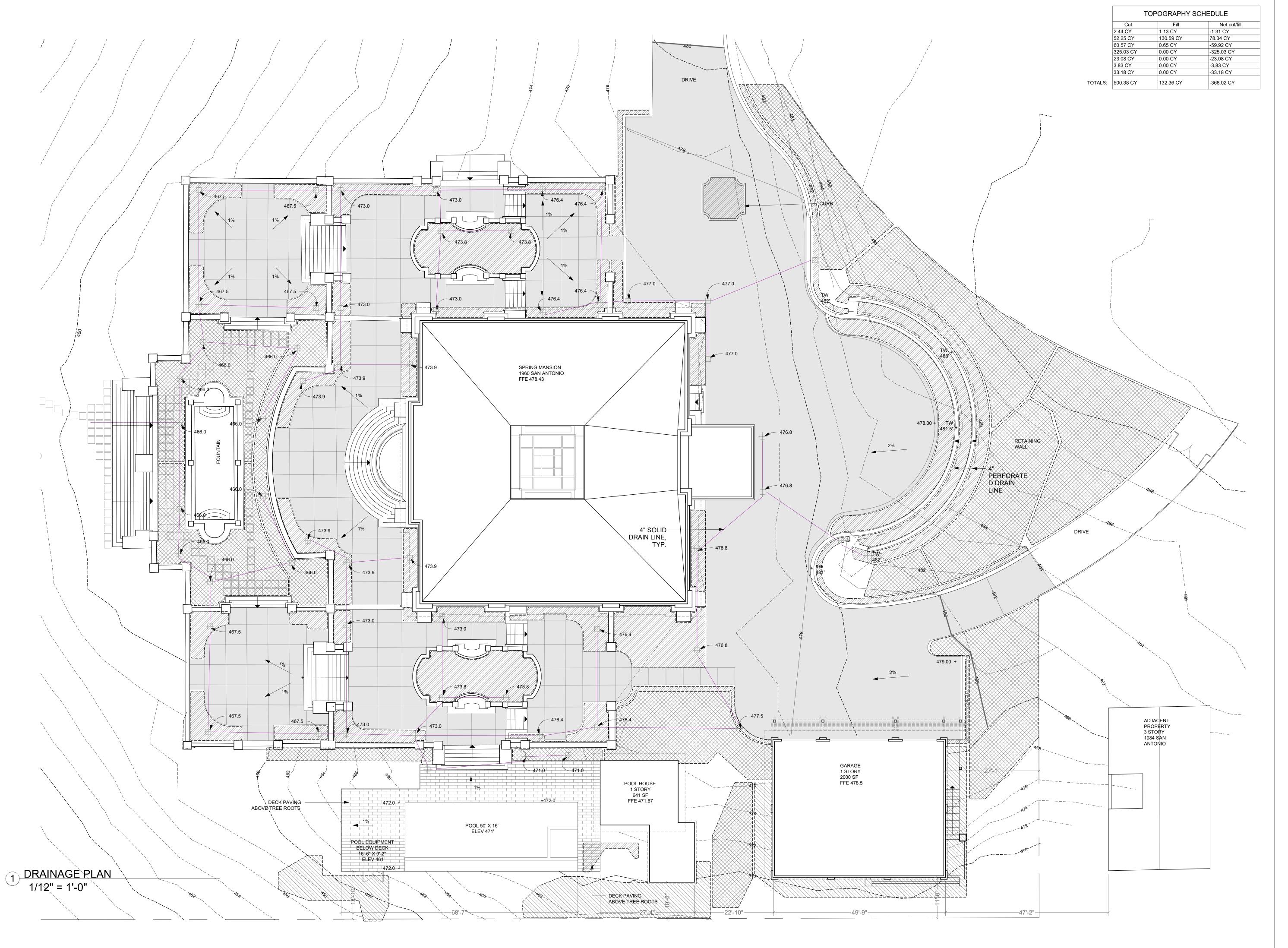
PLANTING DETAILS & LEGEND

SCALE

AS INDICATED

SHEET NUMBER

L.5



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OWNER(S)

NOTES

REVISION DATE
PLANNING SUBMITTAL I 05/13/2023

LOCATION

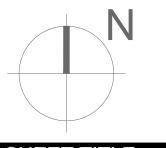


ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

GRADING & DRAINAGE

SCALE

AS INDICATED

SHEET NUMBER

L.6

Page (



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NOTES DATE REVISION PLANNING SUBMITTAL I

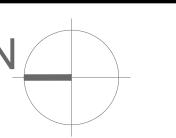


ADDRESS

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AREA

ORIENTATION



SHEET TITLE

LOT COVERAGE **EXISTING AND PROPOSED**

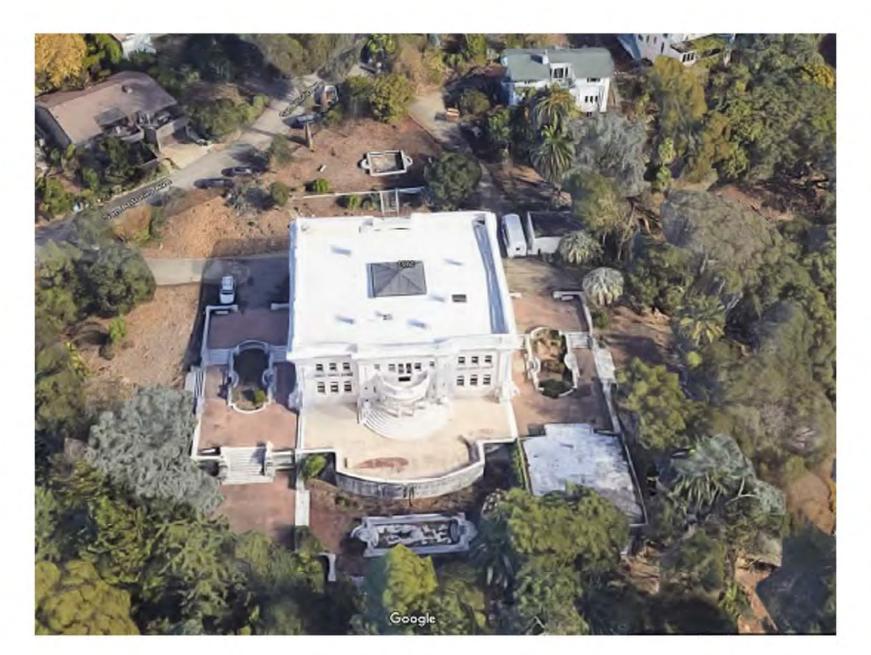
SCALE

AS INDICATED

SHEET NUMBER

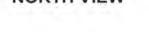
Page 25 of 50

FRONT VIEW FRONT VIEW

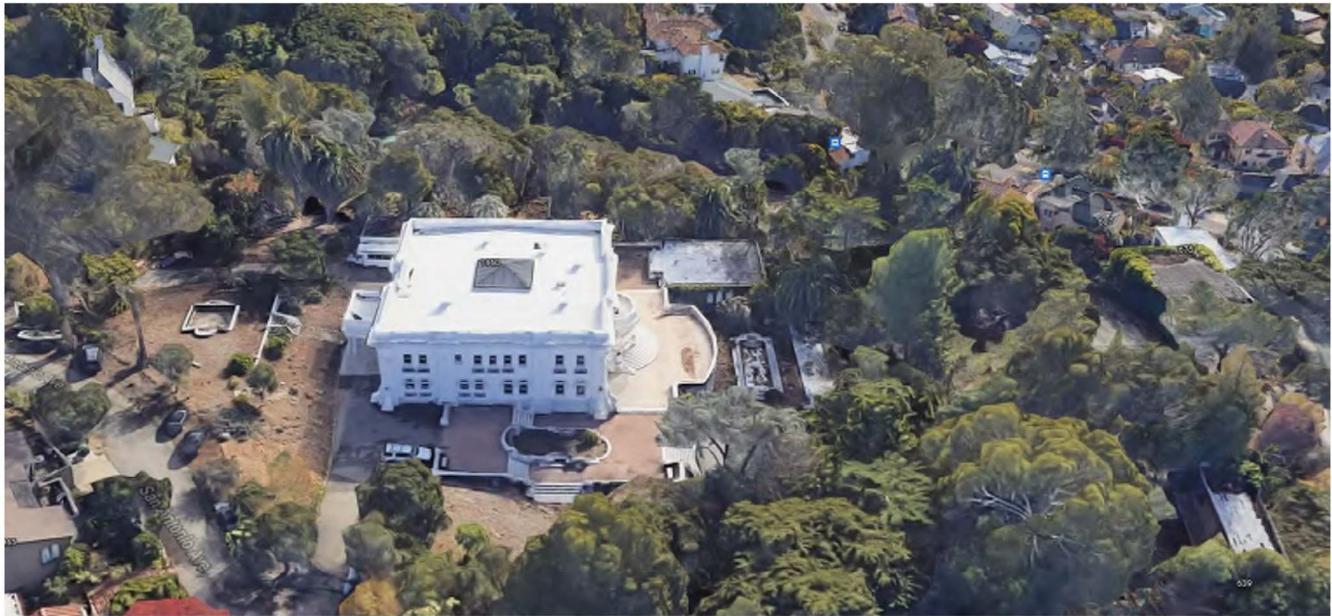


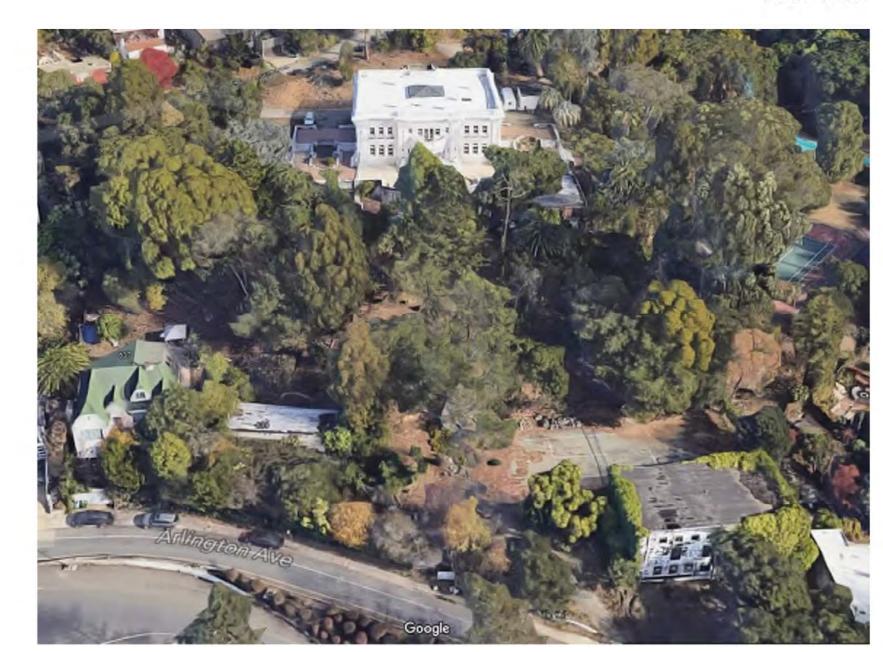


NORTH VIEW





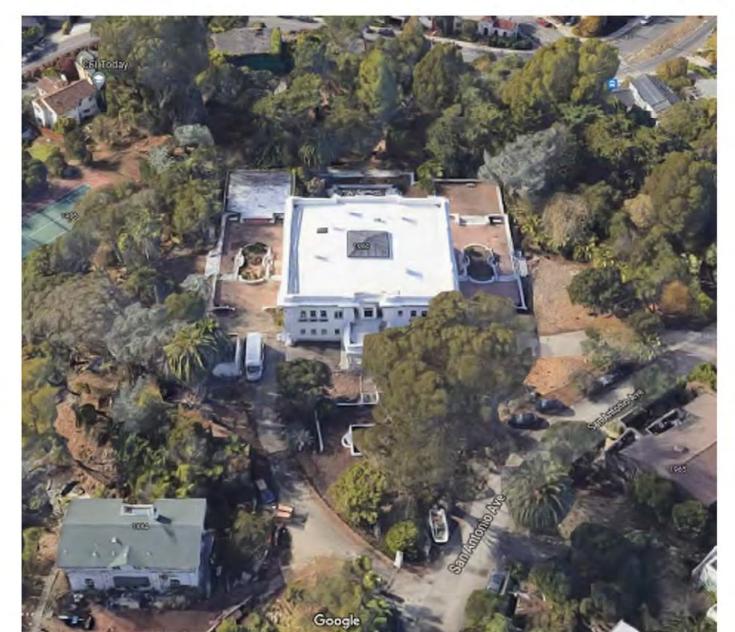




SOUTH VIEW

EAST VIEW





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DESIGNER & DRAFTER :
SADAF DAYLAMI

PROJECT

SPRING MANSION

ABBAS MASH

OWNER(S)

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N.I		_	

REVISION	DATE
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LOCATION



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AREA

ORIENTATION

SHEET TITLE

PHOTOS

SCALE AS INDICATED

SHEET NUMBER

A060













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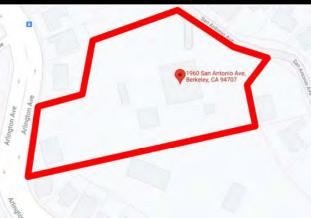
OWNER(S)

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NOTES

REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

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AREA

ORIENTATION

SHEET TITLE

PHOTOS (MAIN HOUSE)

SCALE

AS INDICATED

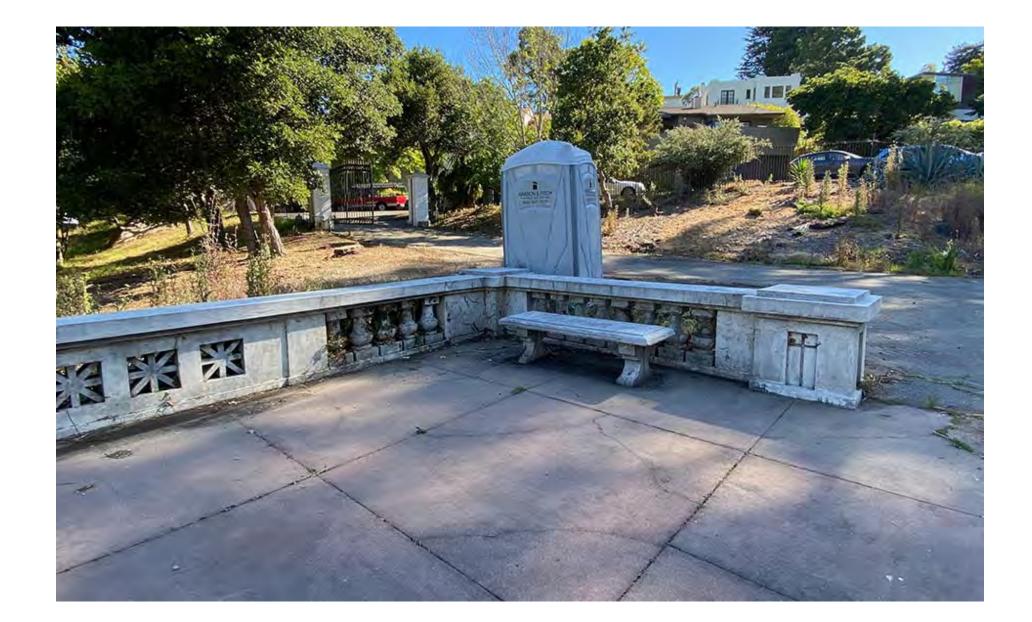
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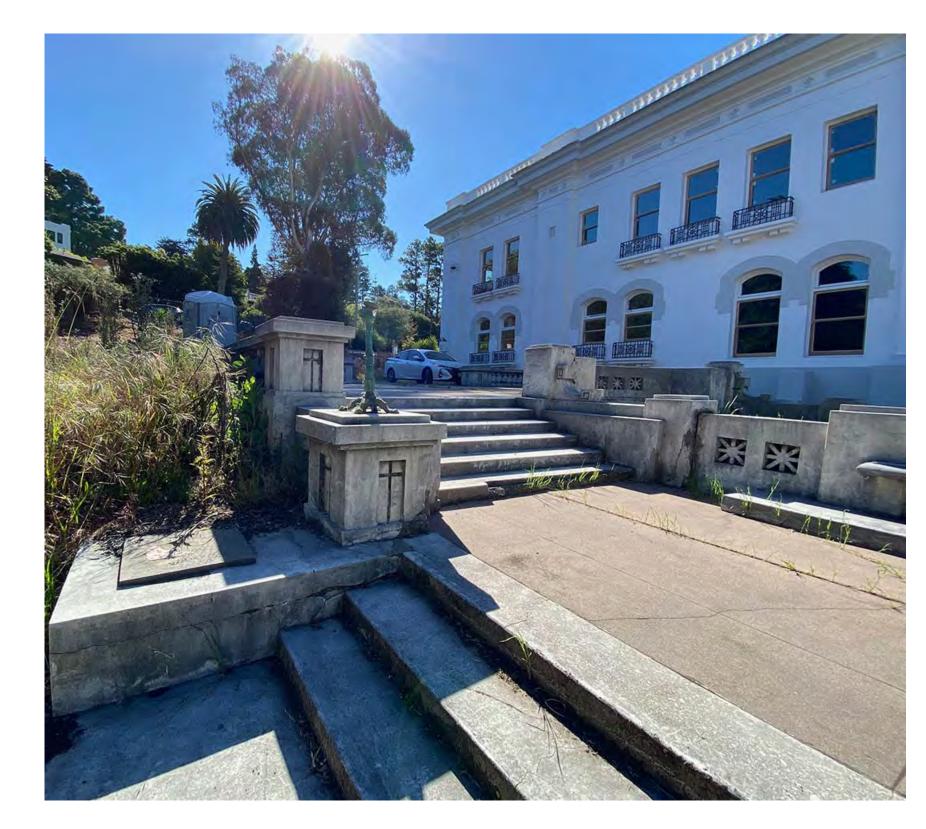


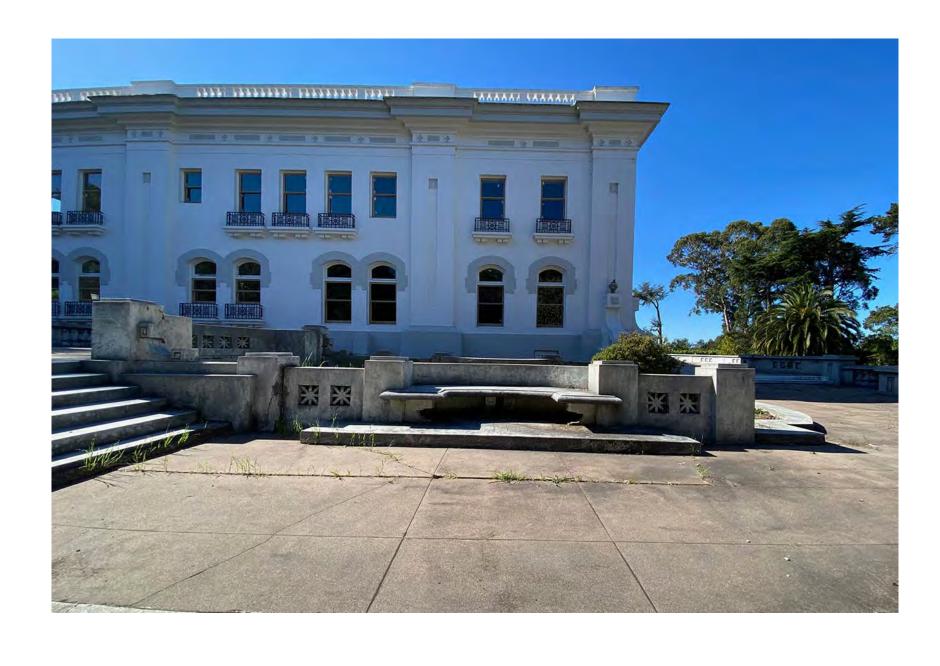














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DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

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ADEA

ORIENTATION

SHEET TITLE

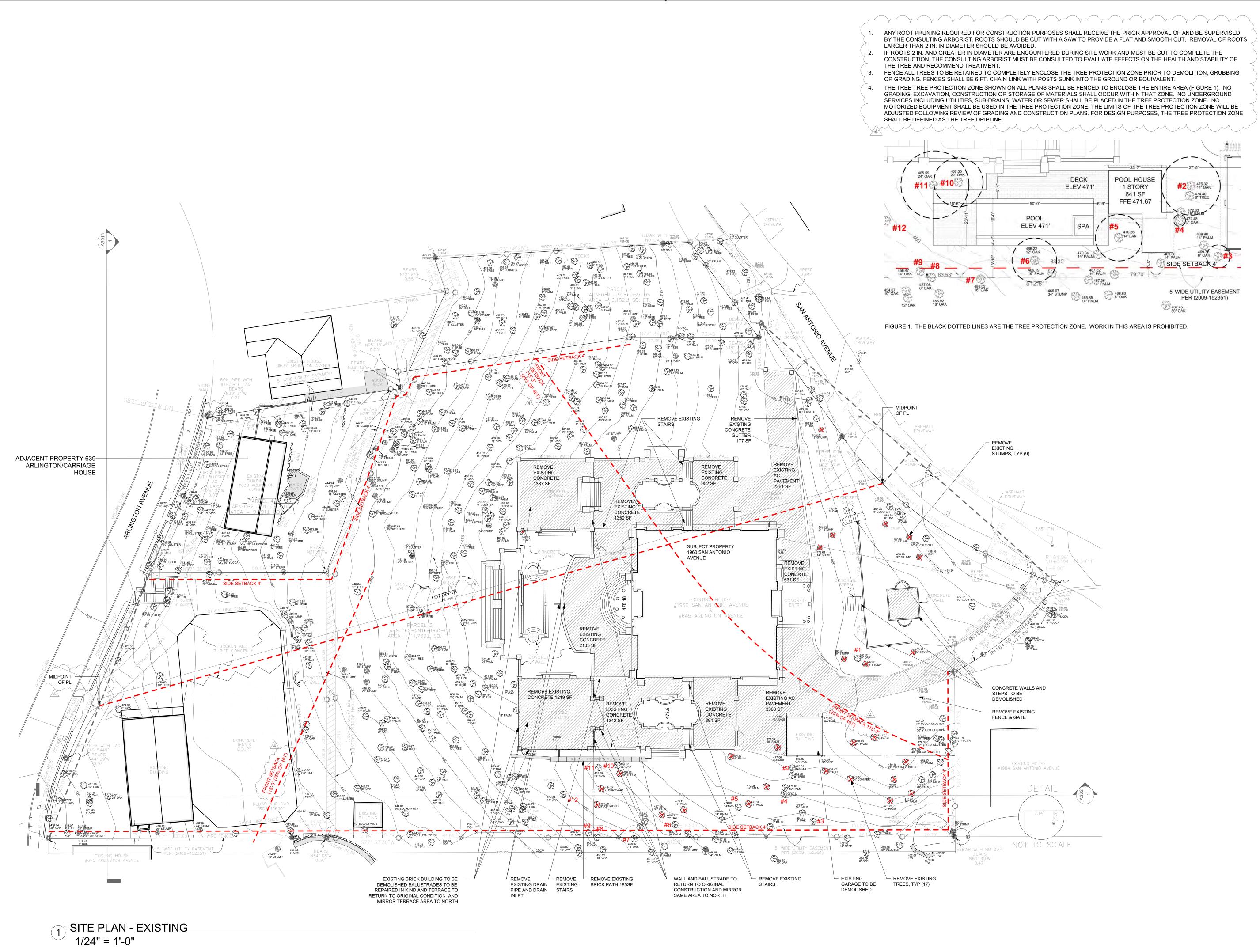
PHOTOS (OUTDOOR)

SCALE

AS INDICATED

SHEET NUMBER

A080



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PROJECT

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LOCATION

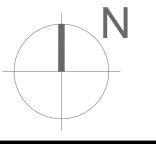


ADDRESS

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AREA

ORIENTATION



SHEET TITLE

SITE PLAN - EXISTING

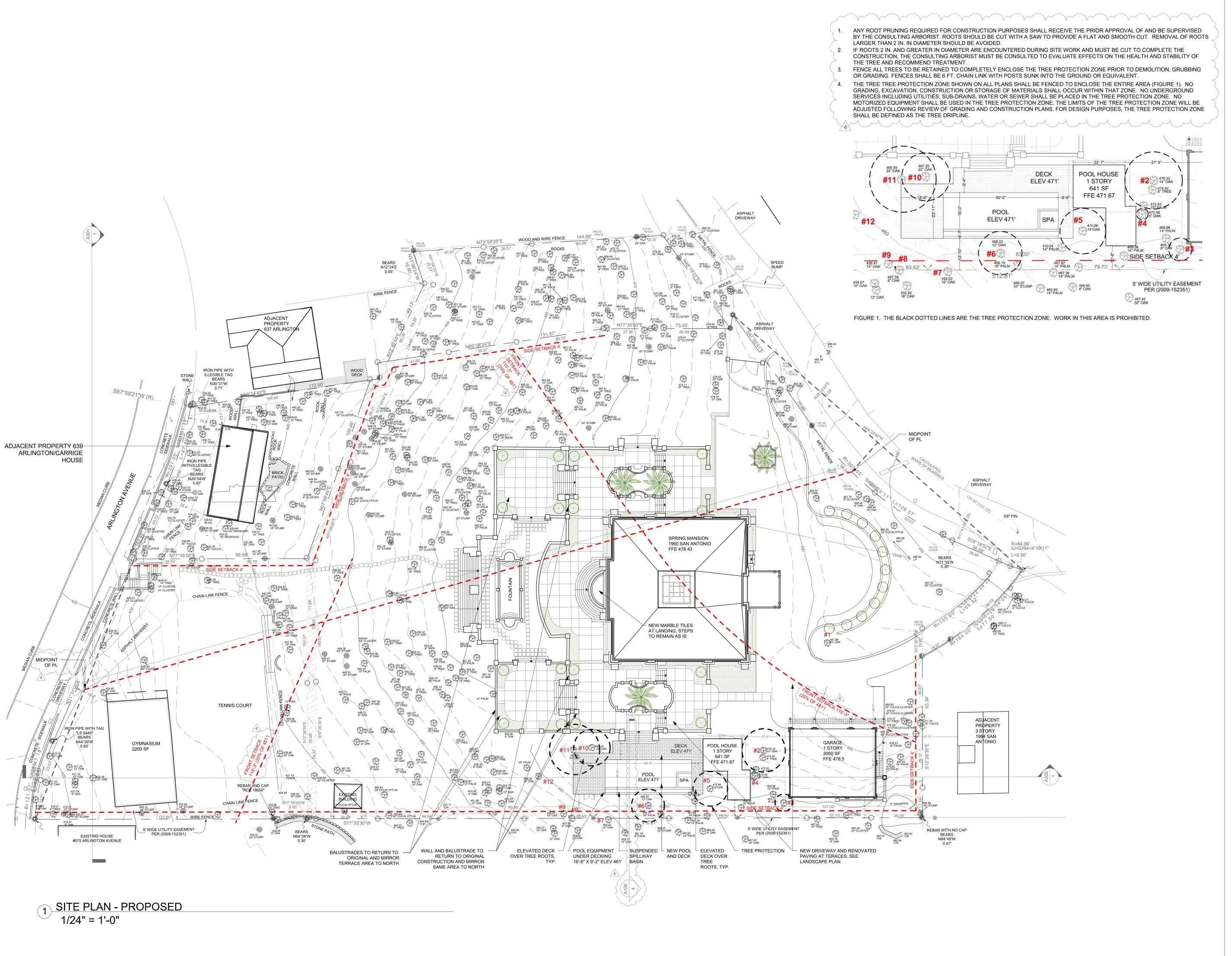
SCALE

AS INDICATED

SHEET NUMBER

A100

Dogo F



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PROJECT

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LOCATION

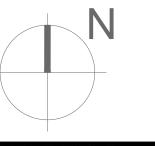


ADDRESS

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AREA

ORIENTATION



SHEET TITLE

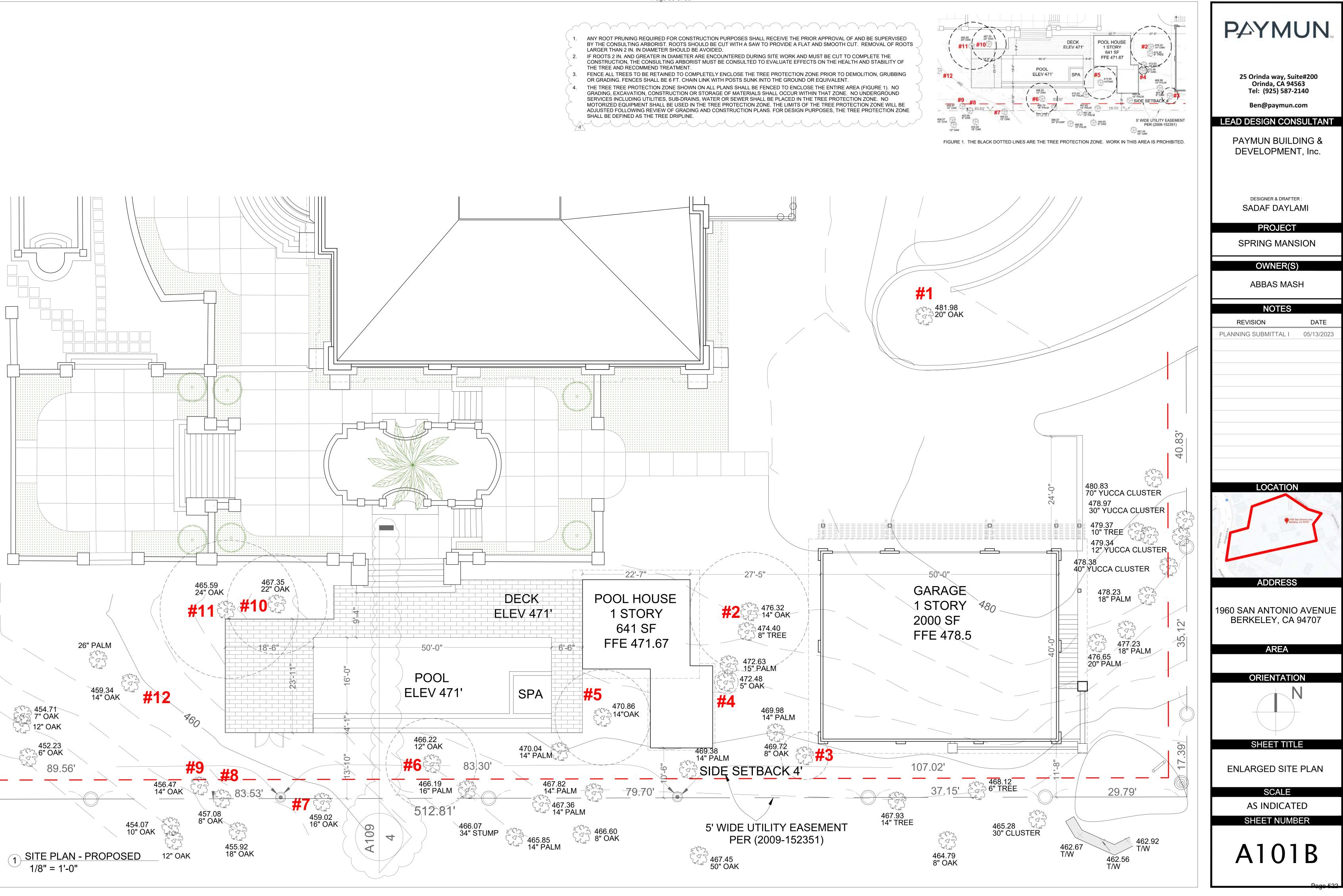
SITE PLAN - PROPOSED

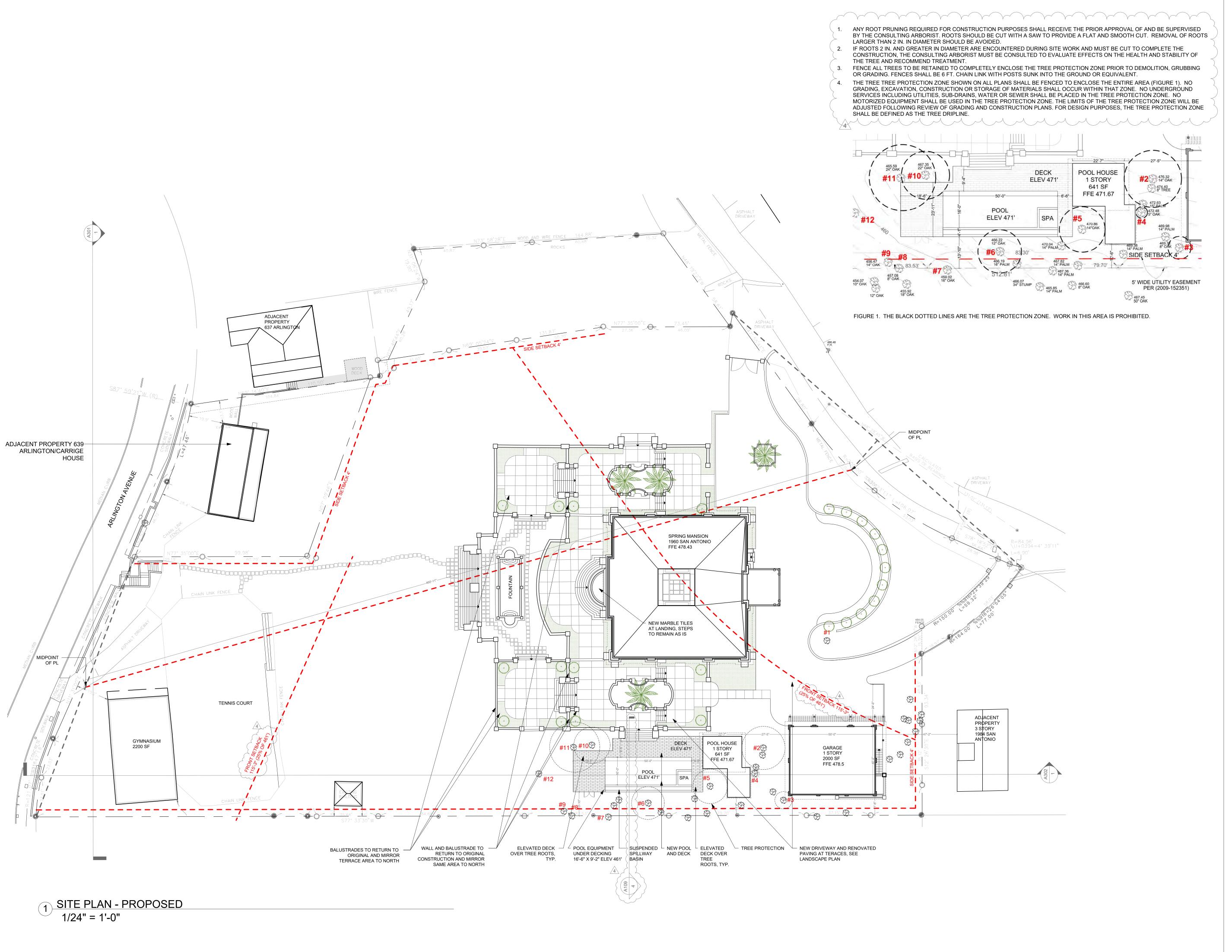
SCALE

AS INDICATED

SHEET NUMBER

A101





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PROJECT

SPRING MANSION

OWNER(S)

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NOTES

REVISION DATE
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LOCATION

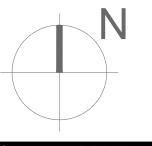


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AREA

ORIENTATION



SHEET TITLE

SITE PLAN - SIMPLIFIED

SCALE

AS INDICATED

SHEET NUMBER

A101C

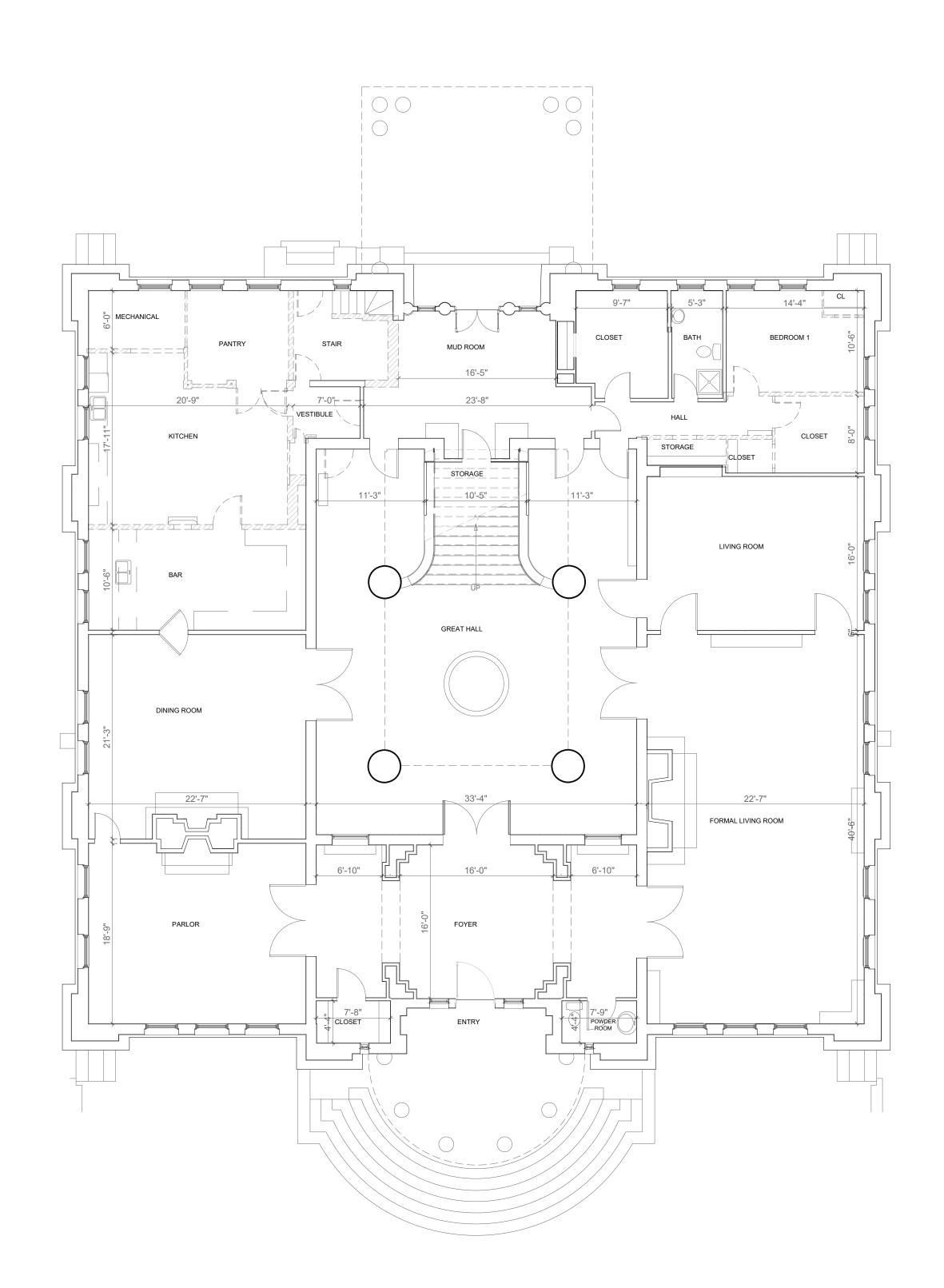
WALL LEGEND

DEMOLISHED WALL **NEW WALL**

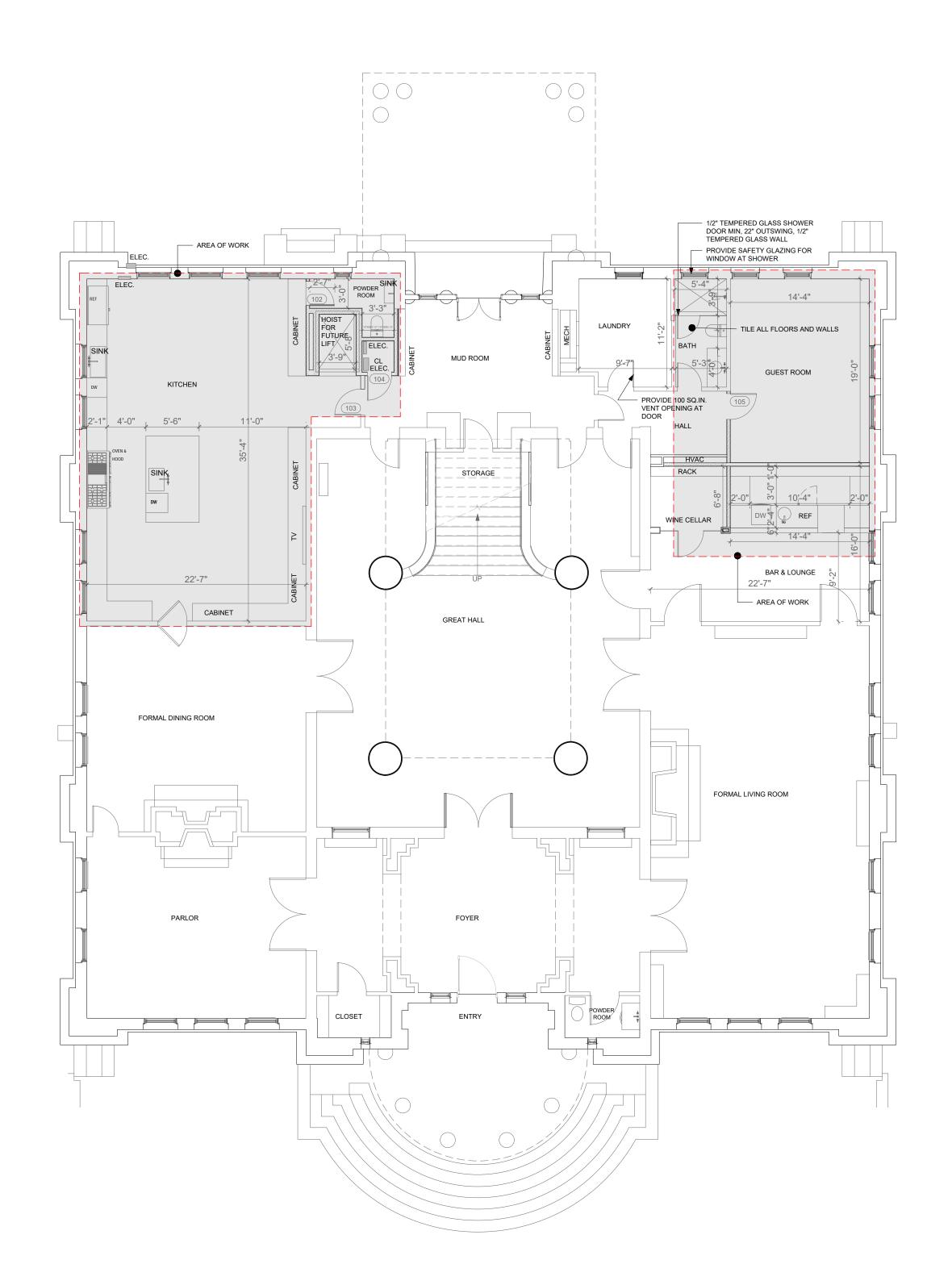
1 HOUR RATED WALL

NOTES:

ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING



1 1ST FLOOR EXISTING 1/8" = 1'-0"



2 <u>1ST FLOOR PROPOSED</u> 1/8" = 1'-0"

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> > DESIGNER & DRAFTER : SADAF DAYLAMI

> > > PROJECT

SPRING MANSION

OWNER(S)

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LOCATION



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AREA

ORIENTATION



SHEET TITLE

MAIN 1ST FLOOR PLANS **EXISTING & PROPOSED**

SCALE

AS INDICATED

SHEET NUMBER

WALL LEGEND

DEMOLISHED WALL **NEW WALL**

1 HOUR RATED WALL

NOTES: ALL NEW WALLS TO MATCH EXISTING FINISH, BASEBOARD AND MOLDING

STORAGE SUN ROOM BEDROOM BEDROOM

1 2ND FLOOR EXISTING 1/8" = 1'-0"



2 2ND FLOOR PROPOSED 1/8" = 1'-0"

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> DESIGNER & DRAFTER : SADAF DAYLAMI

> > PROJECT

SPRING MANSION

OWNER(S)

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NOTES	
REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION



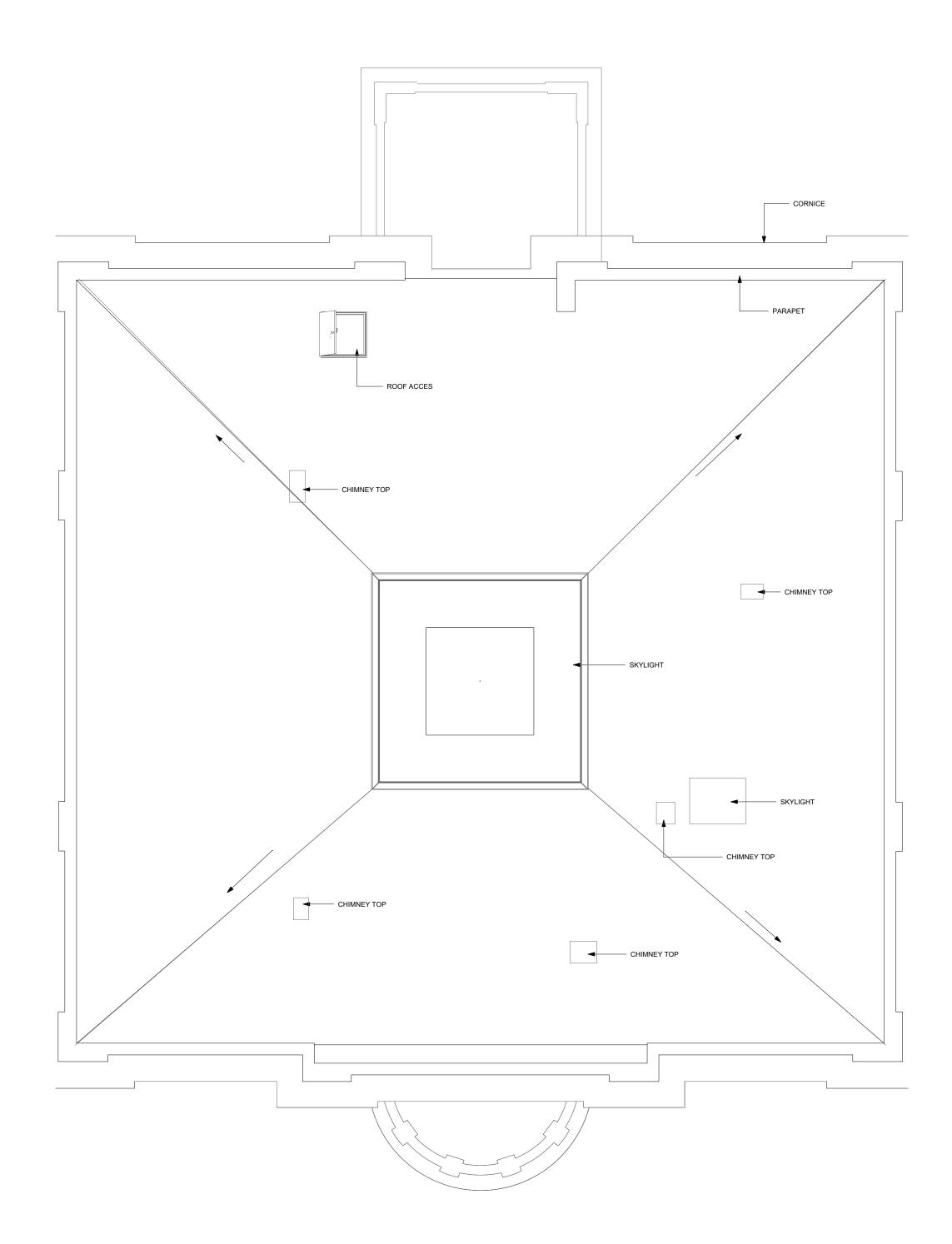
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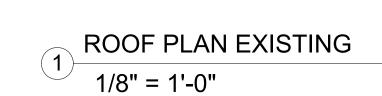
MAIN 2ND FLOOR PLANS **EXISTING & PROPOSED**

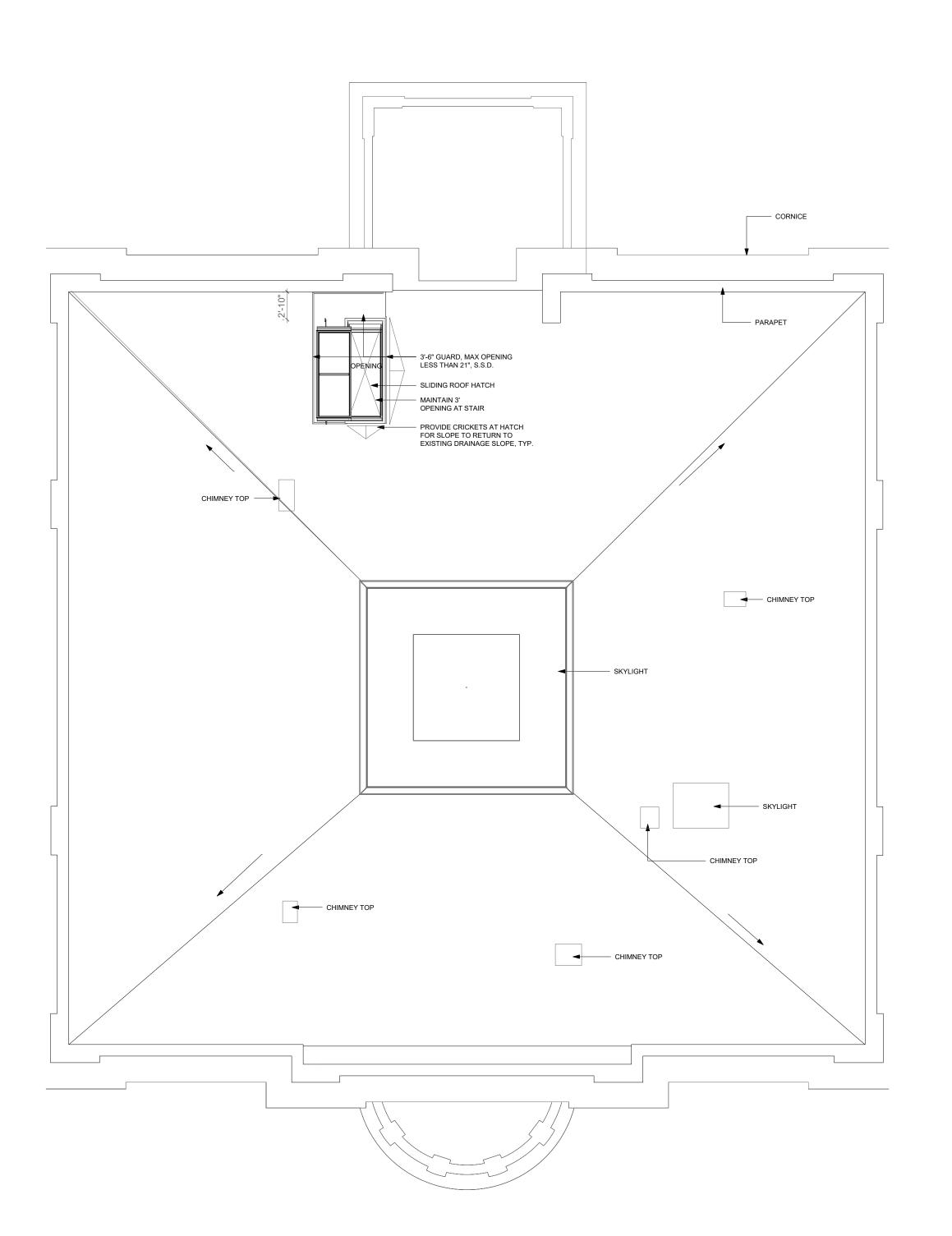
SCALE

AS INDICATED

SHEET NUMBER







2 ROOF PLAN PROPOSED

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> > DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

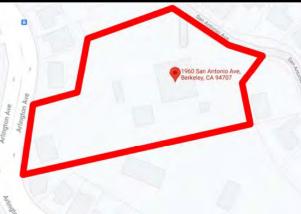
SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES DATE REVISION PLANNING SUBMITTAL I 05/13/2023

LOCATION



ADDRESS

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AREA

ORIENTATION



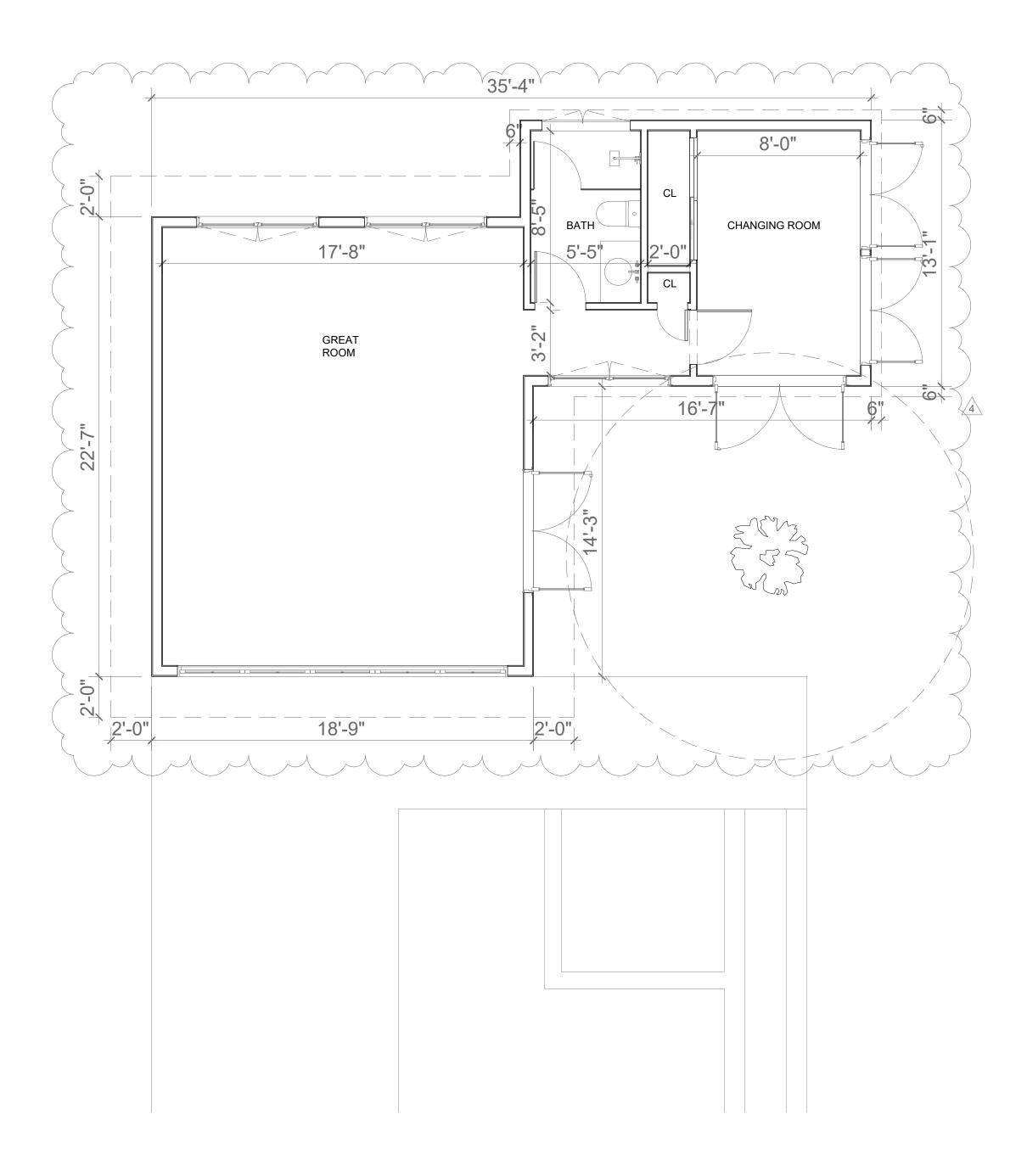
SHEET TITLE

MAIN ROOF PLANS **EXISTING & PROPOSED**

SCALE

AS INDICATED

SHEET NUMBER



19'-7" 18'-3" BATHROOM VENT 1% slope 15'-1" 22'-9"

POOL HOUSE PLAN - PROPOSED

1/4" = 1'-0"

POOL HOUSE ROOF PLAN - PROPOSED

1/4" = 1'-0"

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DESIGNER & DRAFTER : SADAF DAYLAMI

ADAI DATLAM

PROJECT

SPRING MANSION

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NOTES

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LOCATION



ADDRESS

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AREA

ORIENTATION



SHEET TITLE

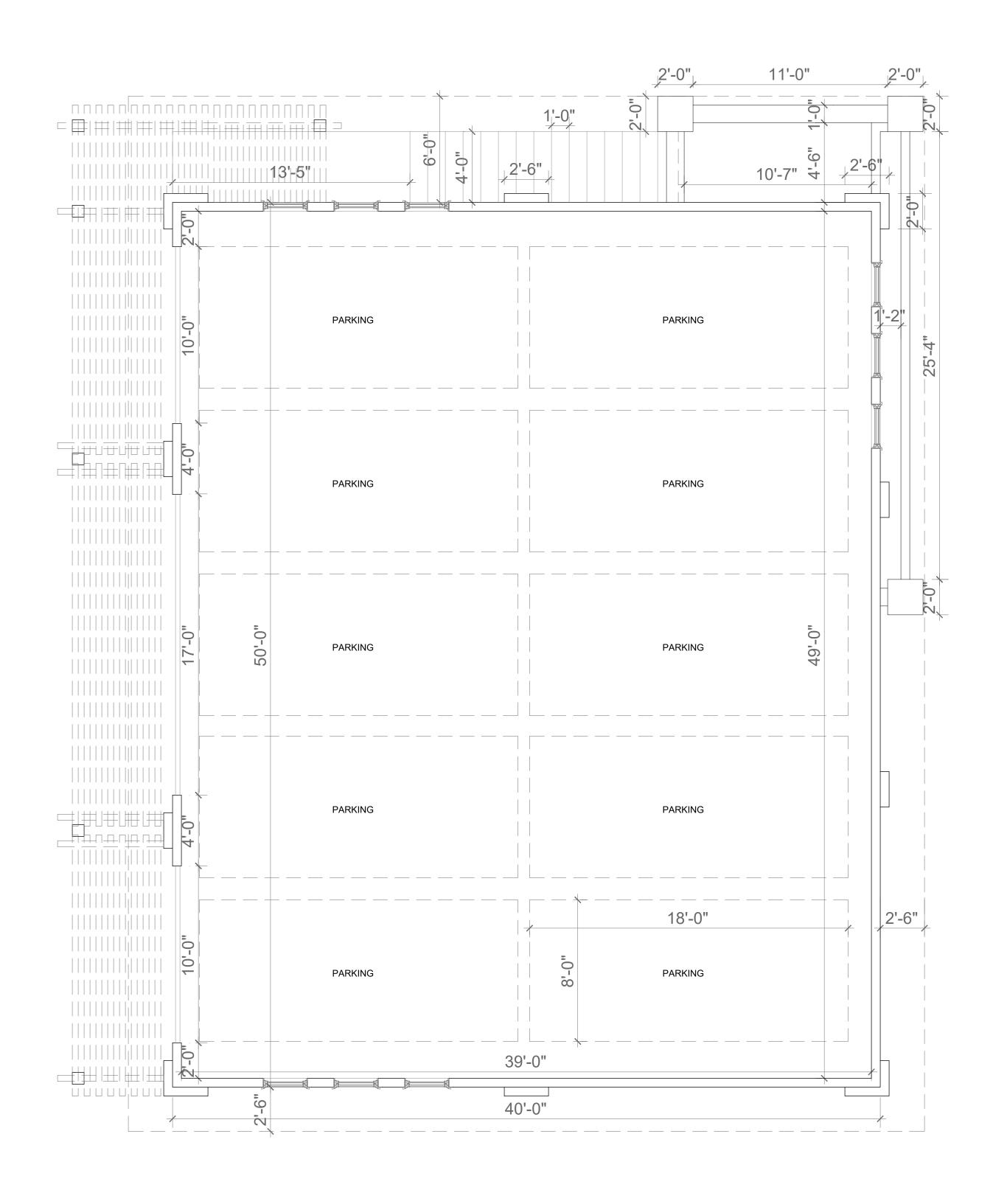
POOL HOUSE PLANS PROPOSED

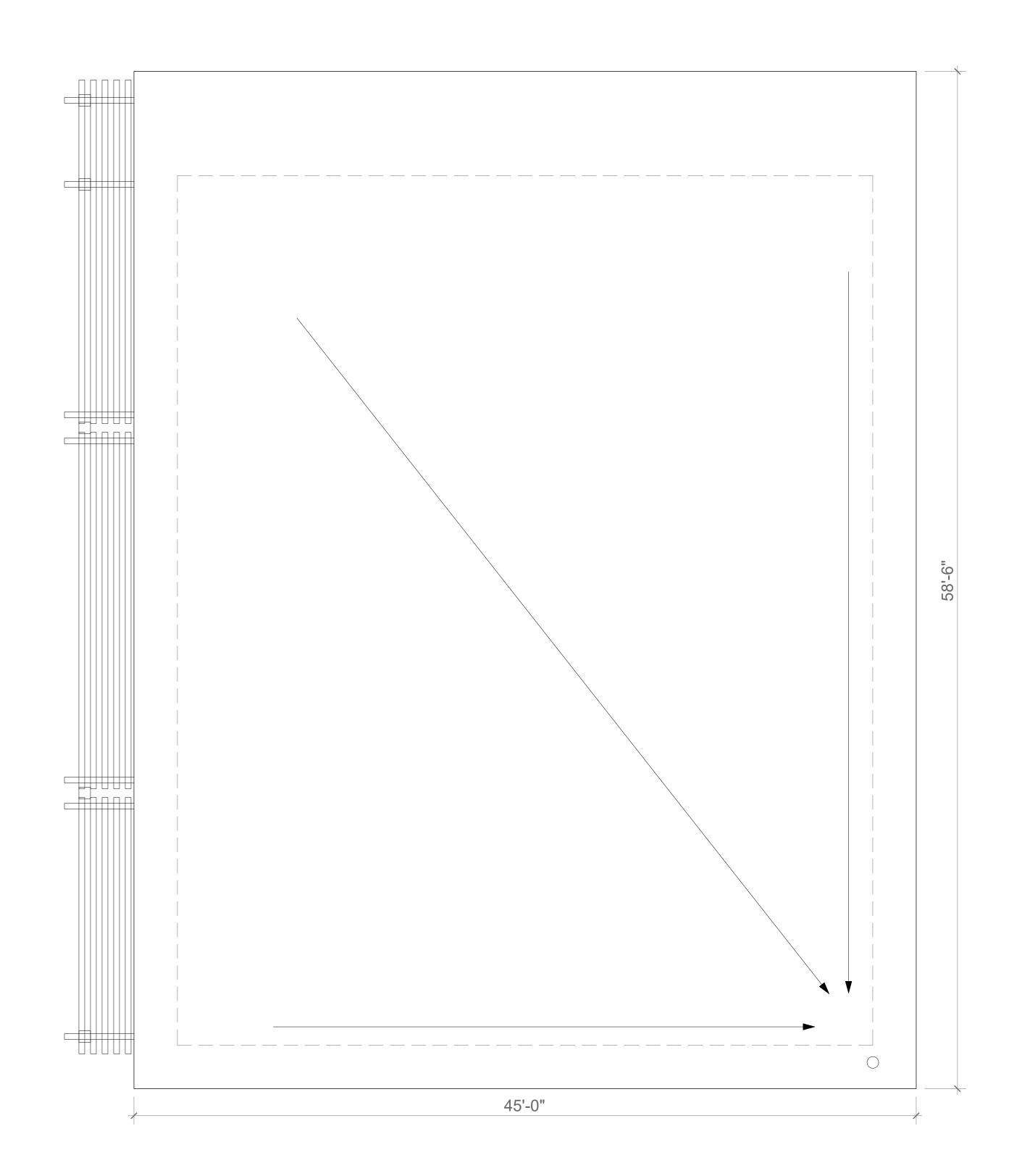
SCALE

AS INDICATED

SHEET NUMBER

A105





GARAGE PLAN - PROPOSED

1/4" = 1'-0"

GARAGE ROOF PLAN - PROPOSED

1/4" = 1'-0"

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DEVELOPMENT, Inc.

DESIGNER & DRAFTER :

SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES	
REVISION	DATE
PLANNING SUBMITTAL I	05/13/2023



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AREA

ORIENTATION



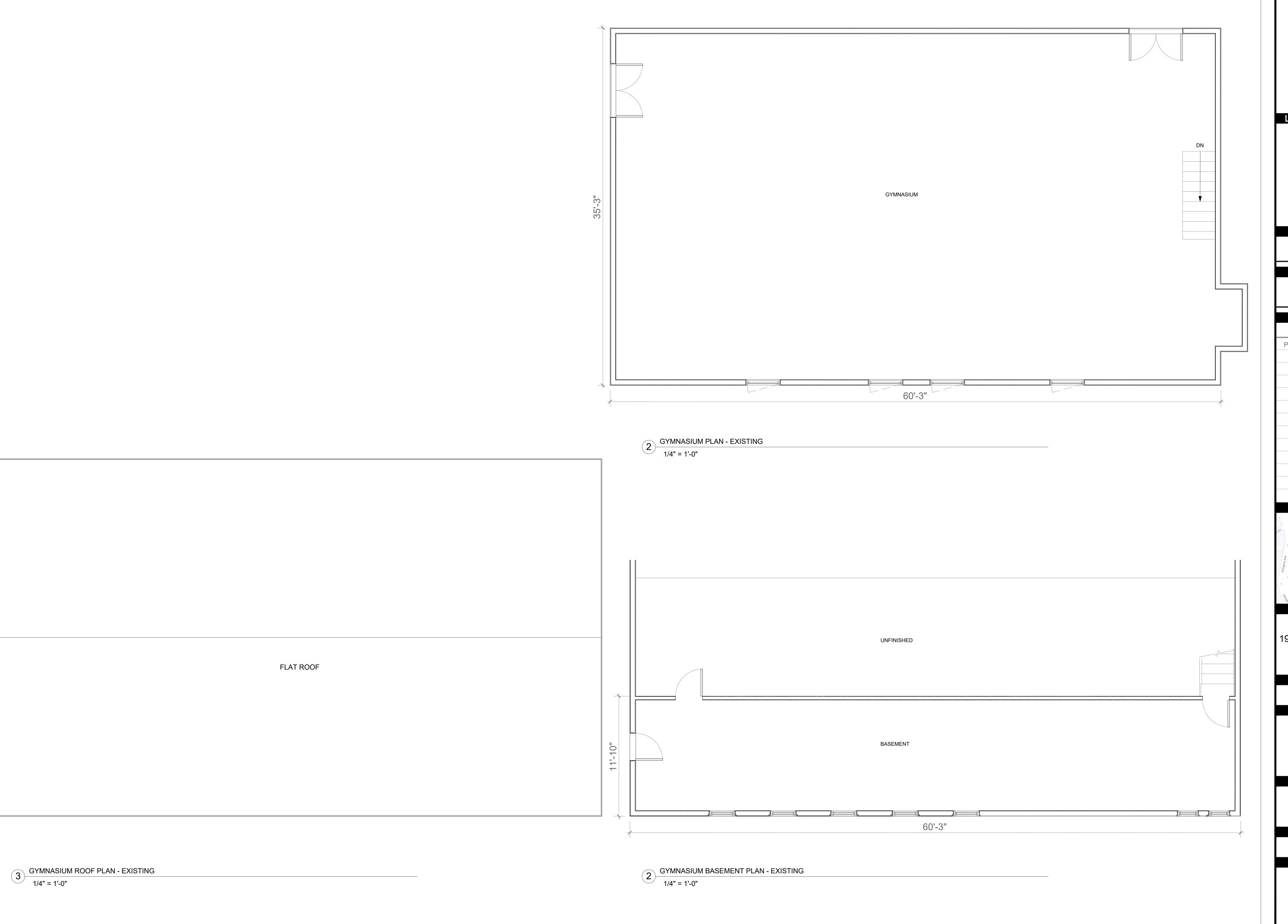
SHEET TITLE

GARAGE PLANS PROPOSED

SCALE

AS INDICATED
SHEET NUMBER

A105A



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DESIGNER & DRAFTER:

SADAF DAYLAMI

PROJECT

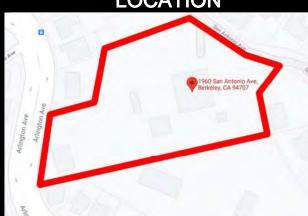
SPRING MANSION

OWNER(S)

ABBAS MASH

REVISION DATE
PLANNING SUBMITTAL I 05/13/2023

LOCATION



ADDRESS

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AREA

ORIENTATION



SHEET TITLE

GYMNASIUM PLANS EXISTING

SCALE

AS INDICATED

SHEET NUMBER

A106

WALL LEGEND

DEMOLISHED WALL

EXISTING WALL

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DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

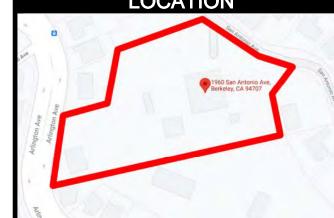
SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES	
REVISION	DATE
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AREA

ORIENTATION



SHEET TITLE

GAMEROOM
PLANS & ELEVATIONS
EXISTING & PROPOSED

SCALE

AS INDICATED

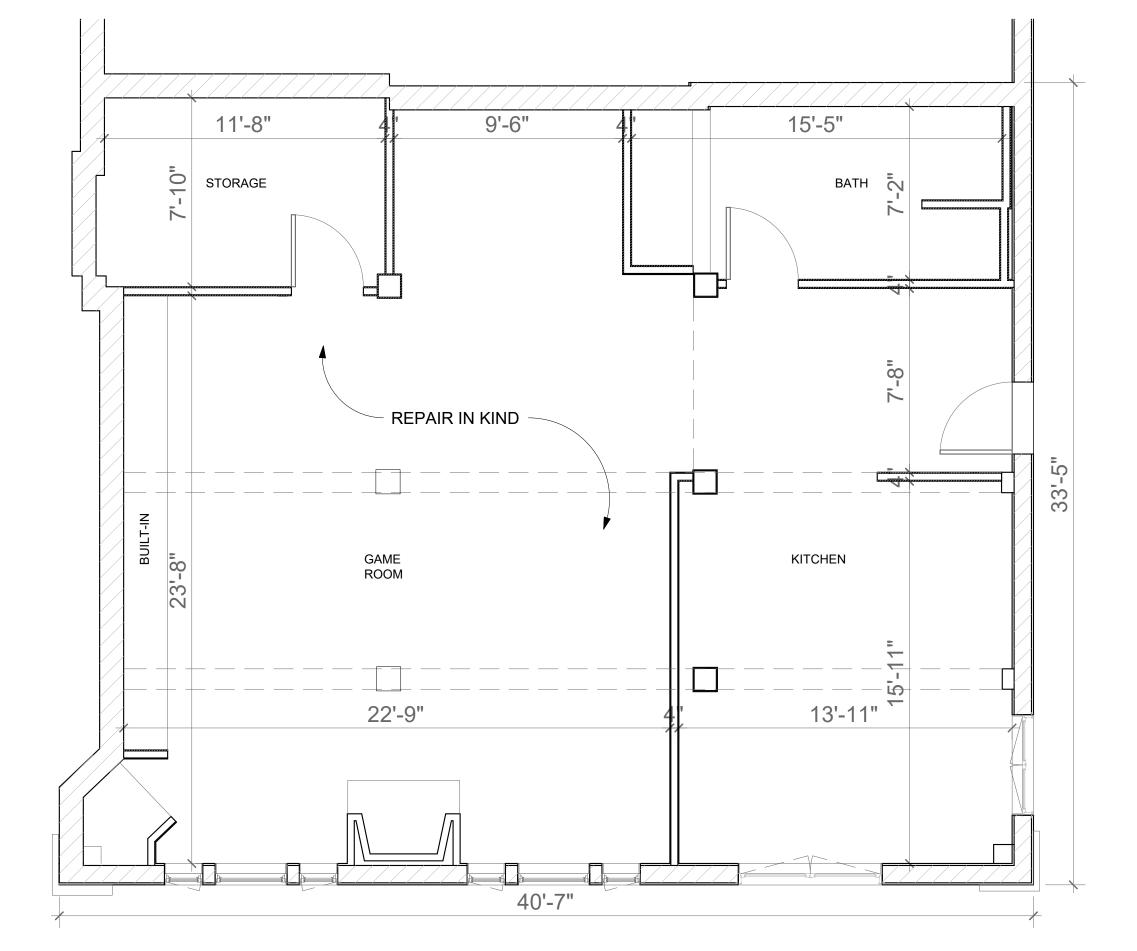
SHEET NUMBER

A107

40-7"

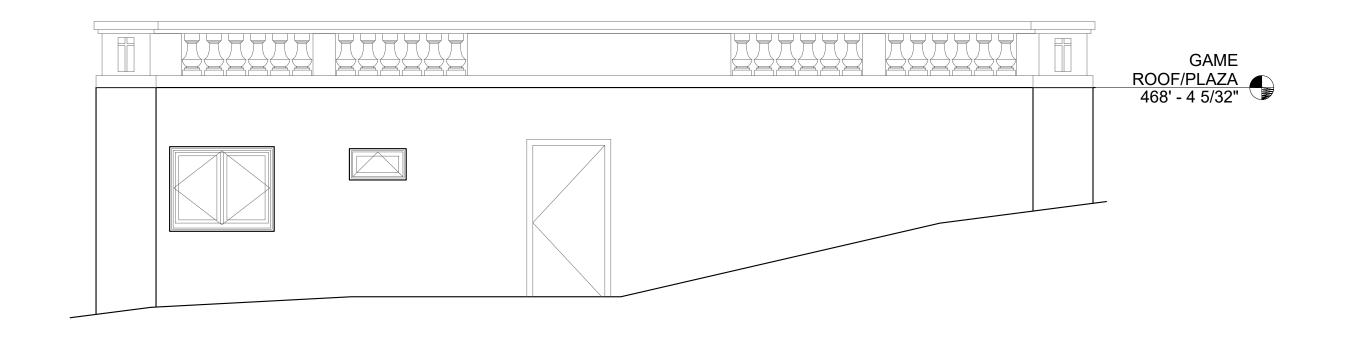
GAME ROOM - EXISTING & DEMOLITION

1/4" = 1'-0"



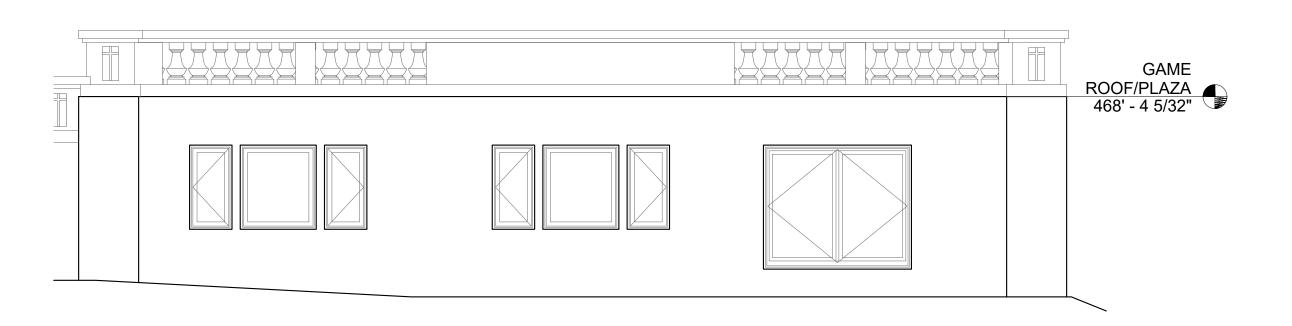
GAME ROOM - PROPOSED

1/4" = 1'-0"



GAME ROOM - SOUTH ELEVATION

1/4" = 1'-0"



GAME ROOM - WEST ELEVATION

1/4" = 1'-0"

CAFETERIA - DEMOLITION

3 CAFETERIA - SOUTH ELEVATION 1/4" = 1'-0"

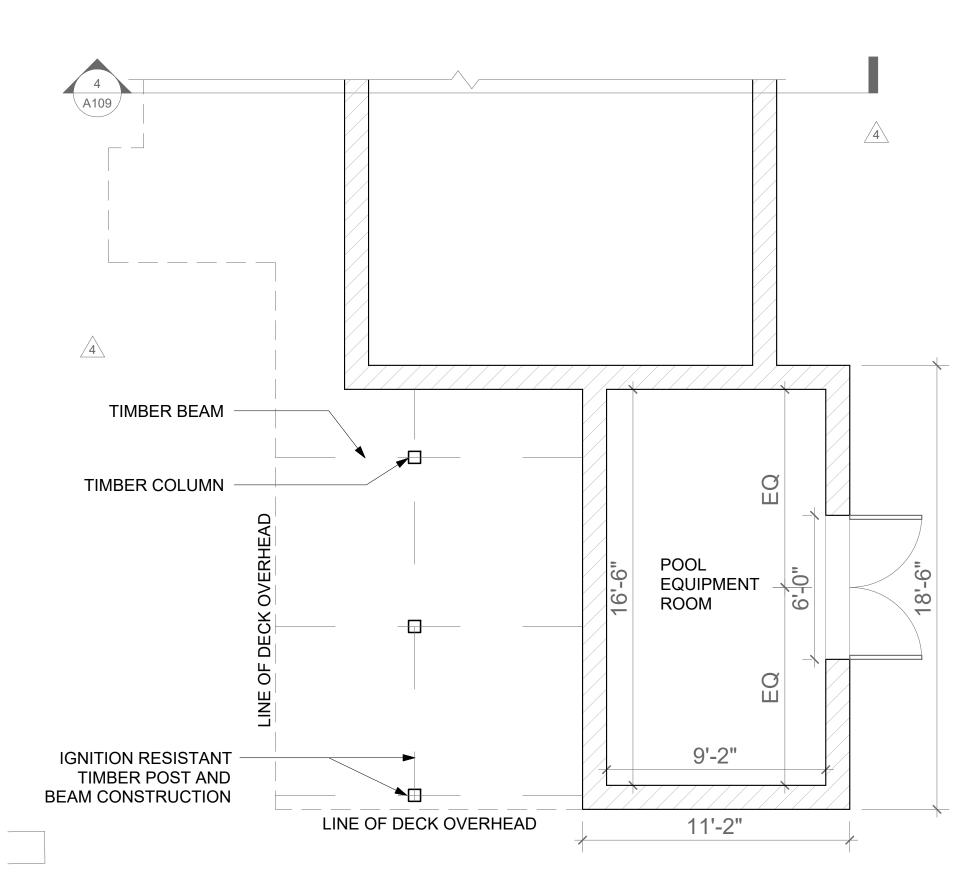
5 CAFETERIA - NORTH ELEVATION
1/4" = 1'-0"

1 CAFETERIA - 1/4" = 1'-0"

DATE

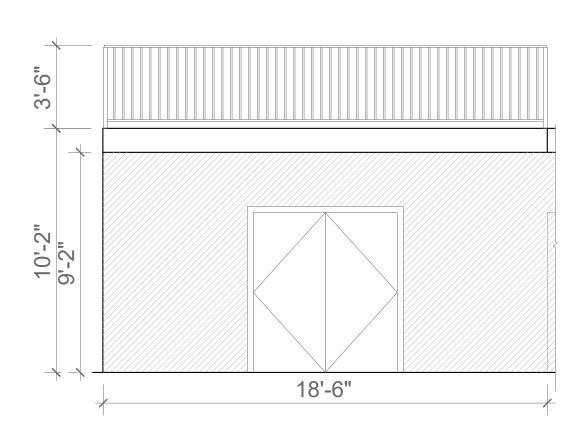


BERKELEY, CA 94707



POOL EQUIPMENT ROOM

1/4" = 1'-0"

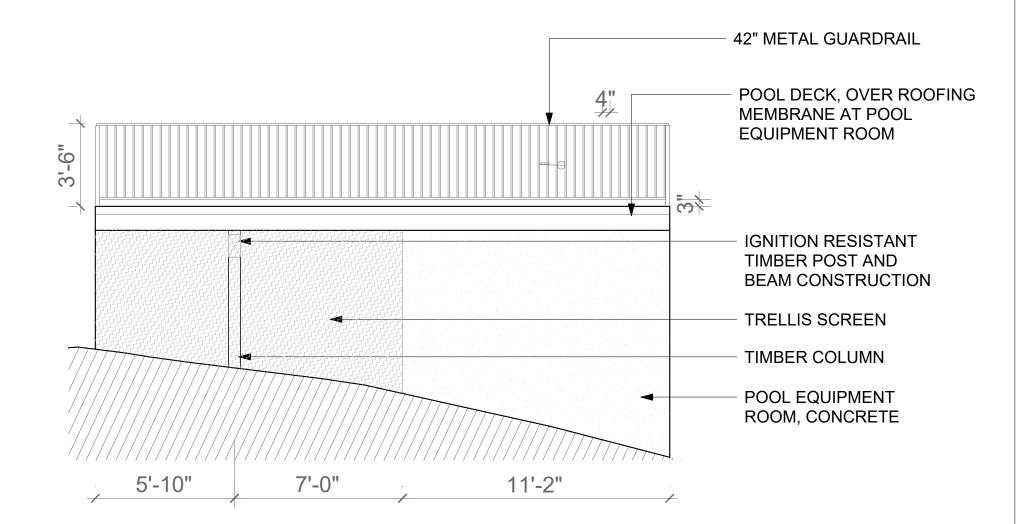


SECTION AT TERRACE STAIRS TO POOL DECK

1/4" = 1'-0"

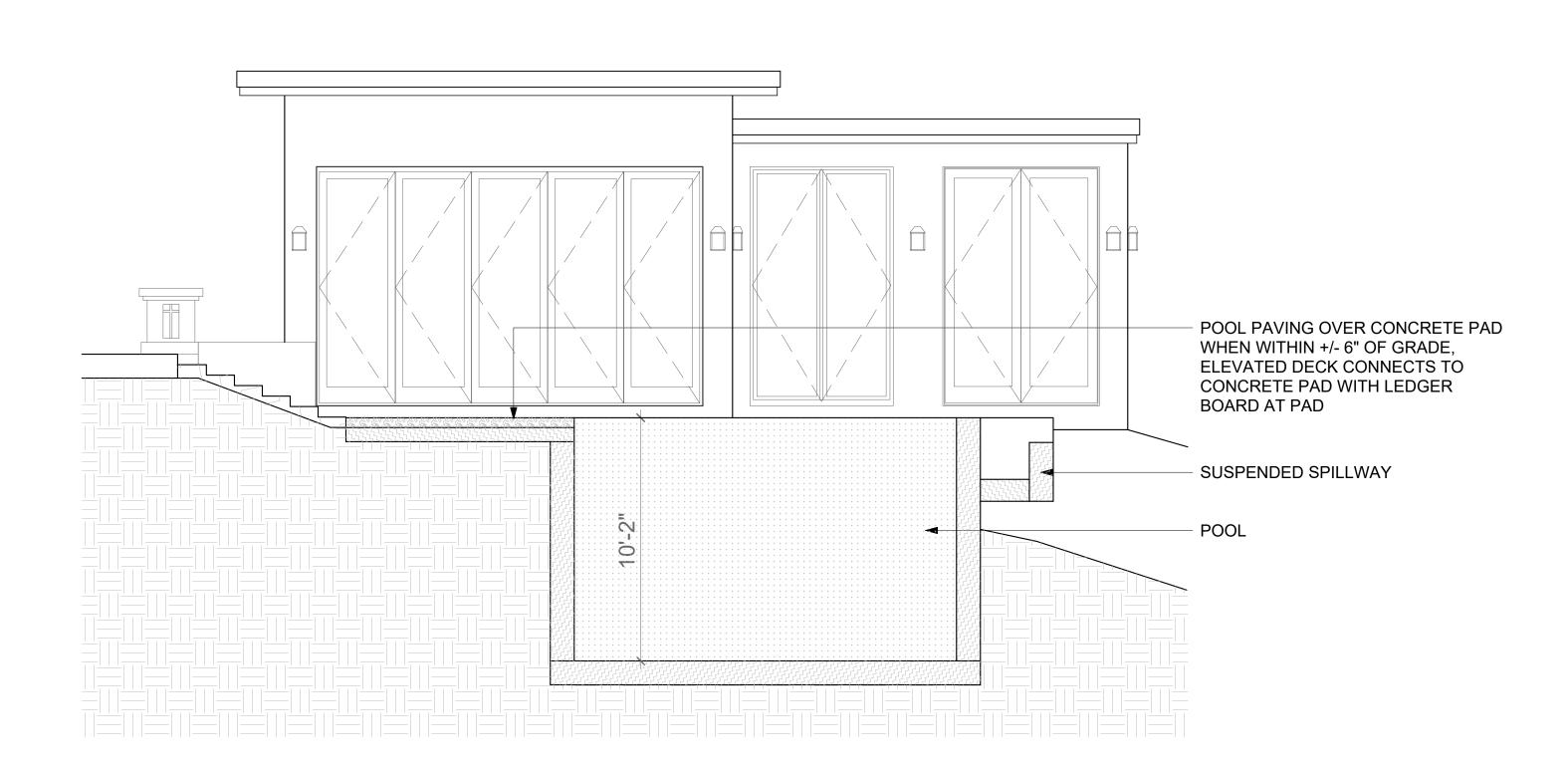
POOL EQUIPMENT - SOUTH ELEVATION

1/4" = 1'-0"



POOL EQUIPMENT - WEST ELEVATION

1/4" = 1'-0"



PAYMUN

25 Orinda way, Suite#200 Orinda, CA 94563 Tel: (925) 587-2140

Ben@paymun.com LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

> DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT **SPRING MANSION**

OWNER(S)

ABBAS MASH

NO	ΓES

KEVISION	DATE
PLANNING SUBMITTAL I	05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION



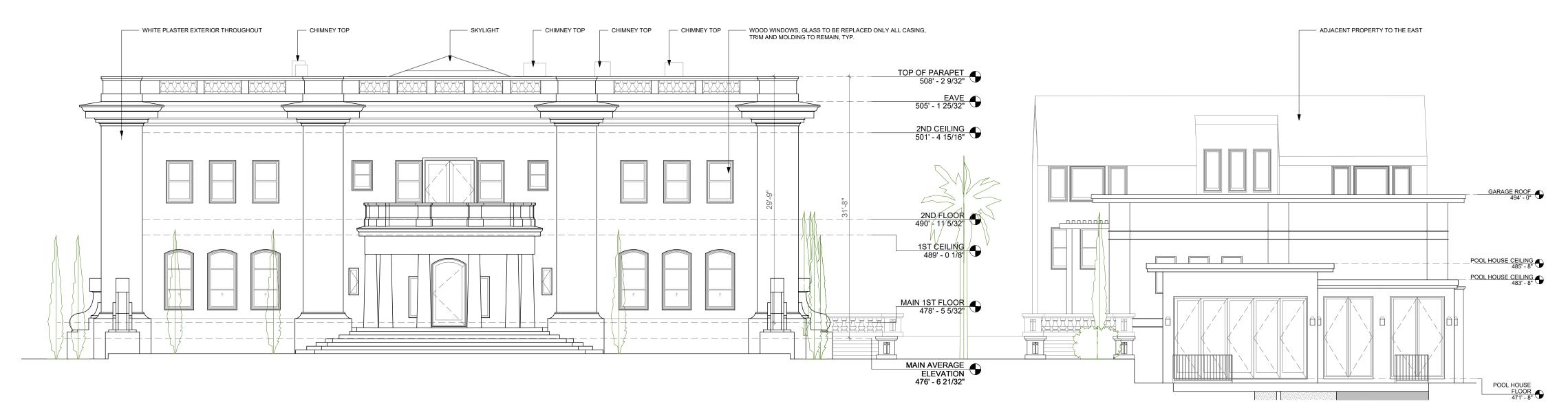
SHEET TITLE

POOL EQUIPMENT ROOM PLAN, ELEVATION & SECTION

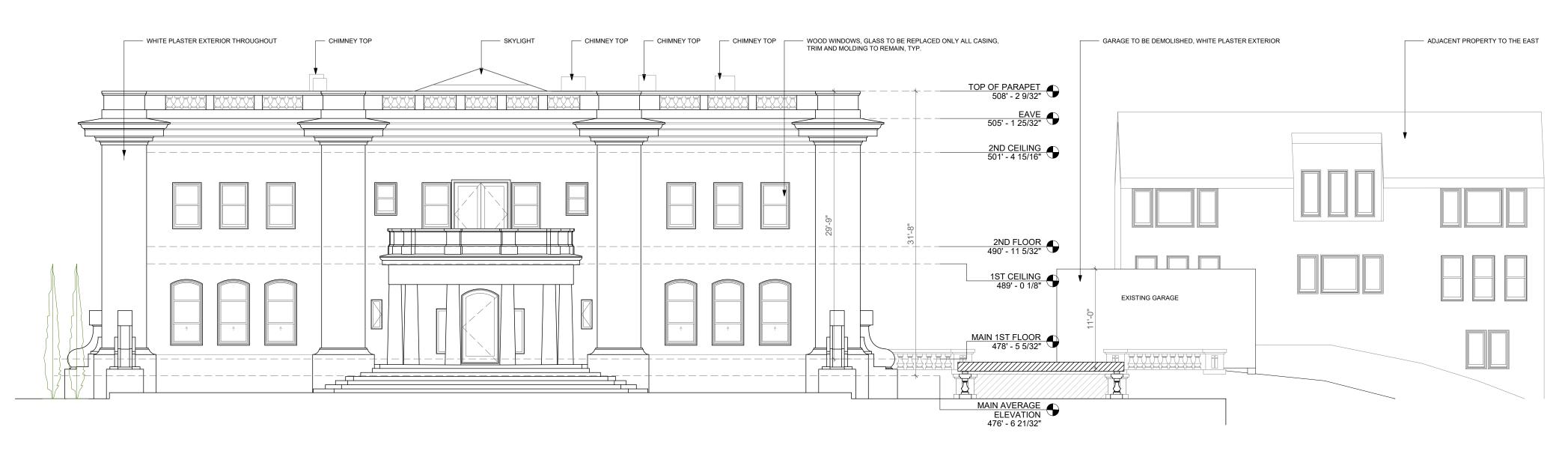
SCALE

AS INDICATED

SHEET NUMBER



1 WEST ELEVATION - PROPOSED 1/8" = 1'-0"



WEST ELEVATION - EXISTING
1/8" = 1'-0"

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PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER : SADAF DAYLAMI

ADAF DAYLAM

PROJECT

SPRING MANSION

OWNER(S)

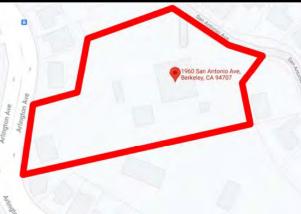
ABBAS MASH

NOTES REVISION

PLANNING SUBMITTAL I 05/13/2023

DATE

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

MAIN ELEVATIONS WEST EXISTING & PROPOSED

SCALE

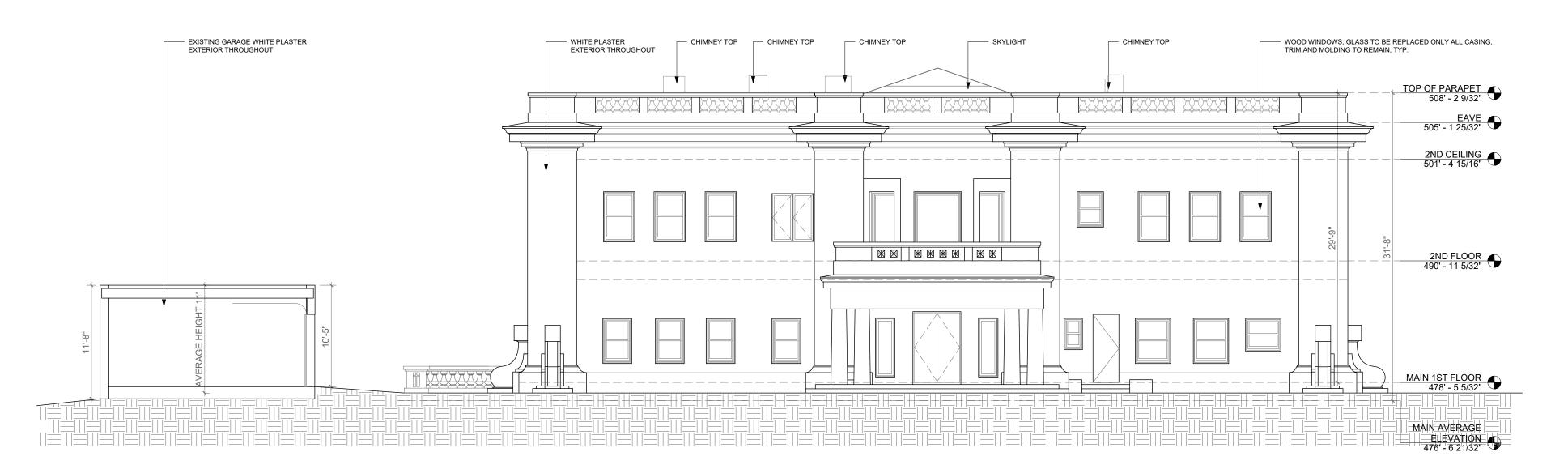
AS INDICATED

SHEET NUMBER

A201



1 EAST ELEVATION - PROPOSED 1/8" = 1'-0"



2 EAST ELEVATION - EXISTING 1/8" = 1'-0" PAYMUN

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LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

MING MANOI

OWNER(S)

ABBAS MASH

NOTES

REVISION DATE
PLANNING SUBMITTAL I 05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

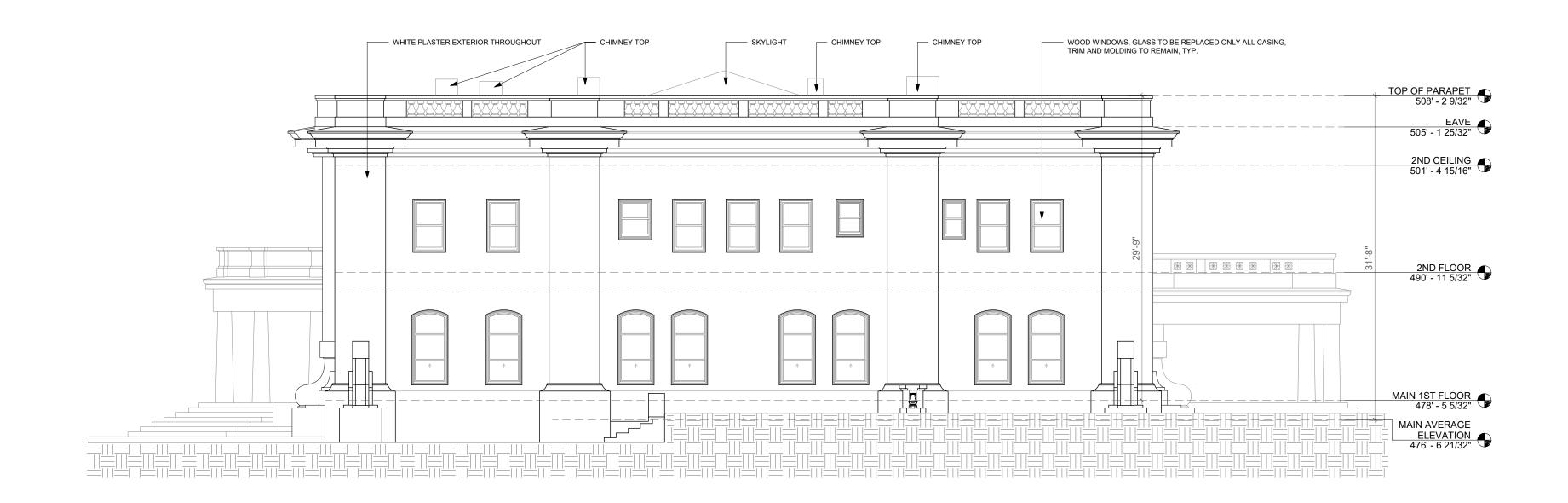
MAIN ELEVATIONS EAST EXISTING & PROPOSED

SCALE

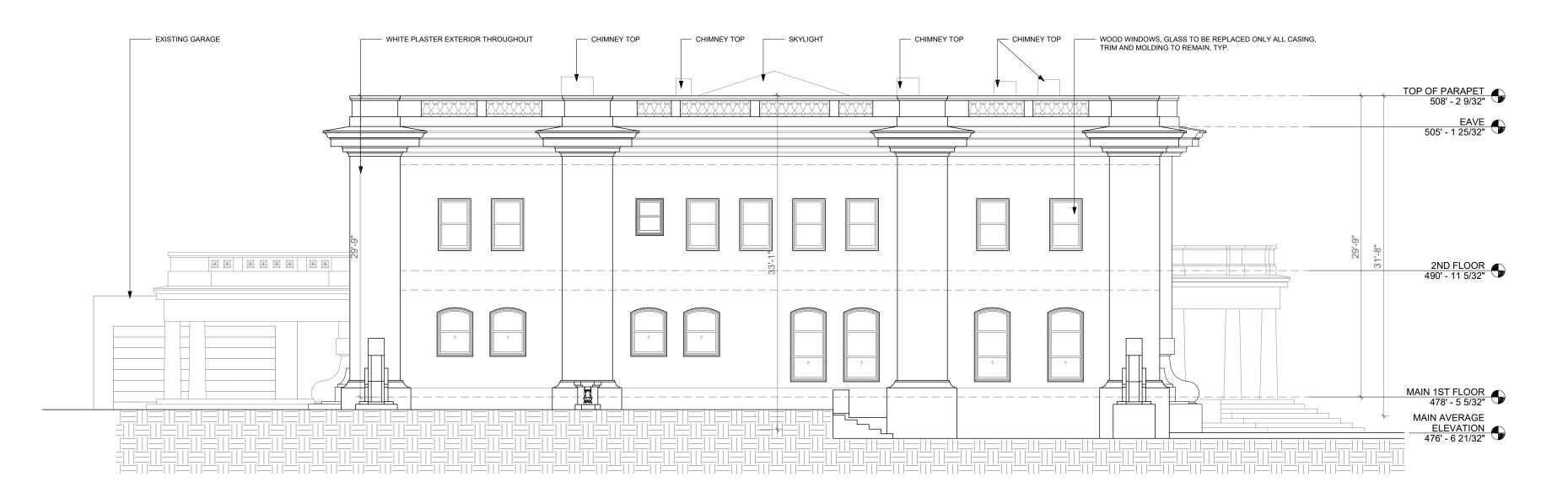
AS INDICATED

SHEET NUMBER

A202



1 NORTH ELEVATION - EXISTING
1/8" = 1'-0"



2 SOUTH ELEVATION - EXISTING
1/8" = 1'-0"

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DESIGNER & DRAFTER : SADAF DAYLAMI

SPRING MANSION

PROJECT

OWNER(S)

ABBAS MASH

NOTES

REVISION

PLANNING SUBMITTAL I 05/13/2023

DATE

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

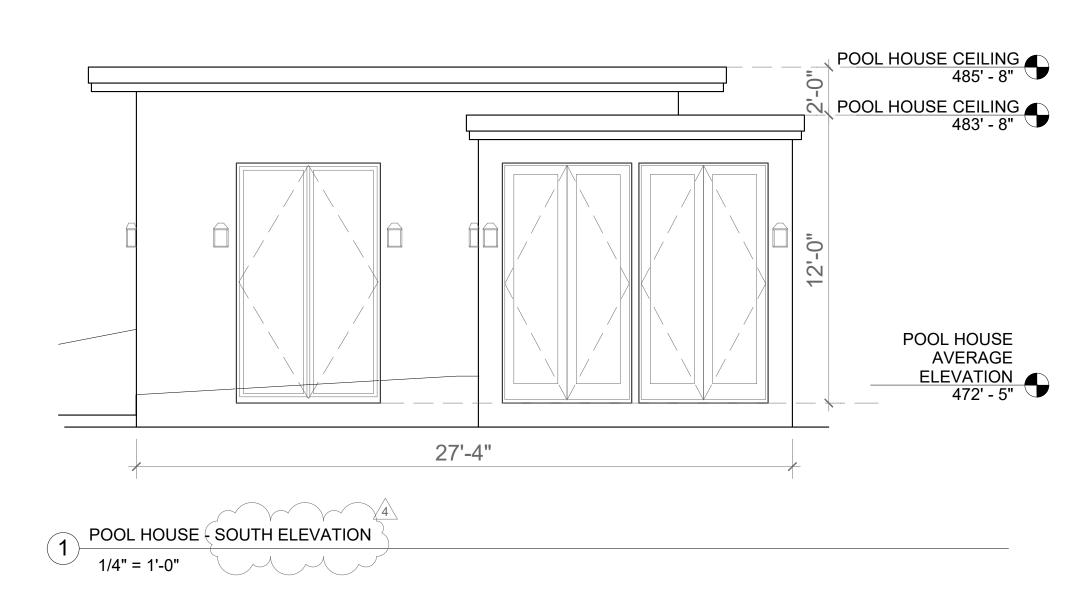
MAIN ELEVATIONS NORTH & SOUTH - EXISTING

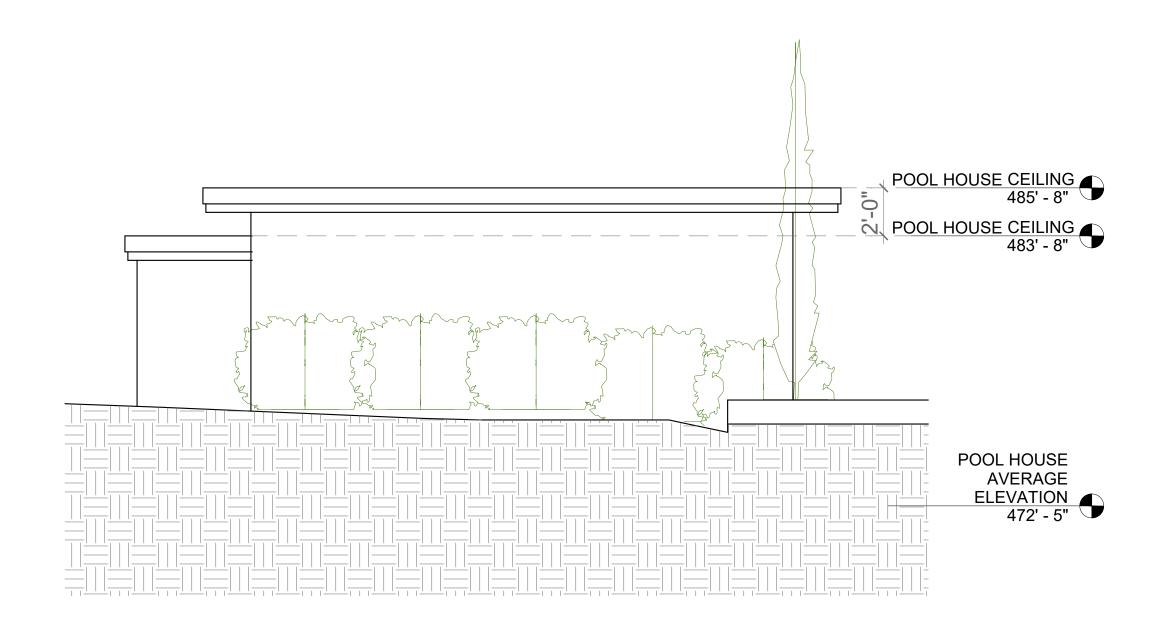
SCALE

AS INDICATED

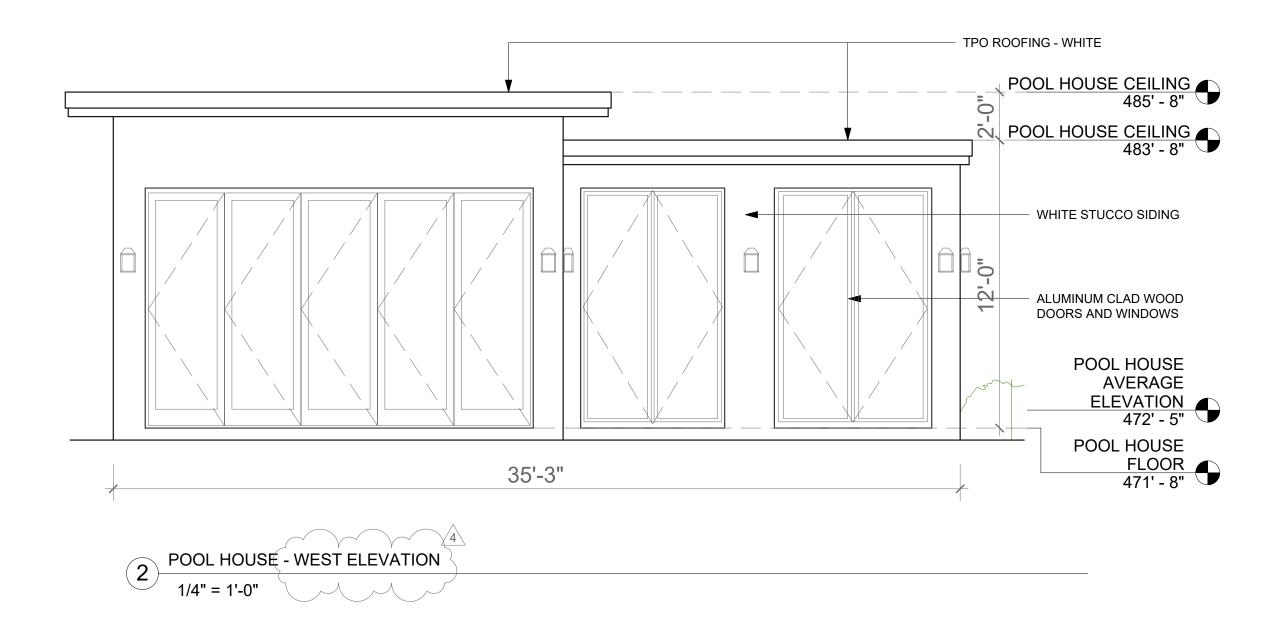
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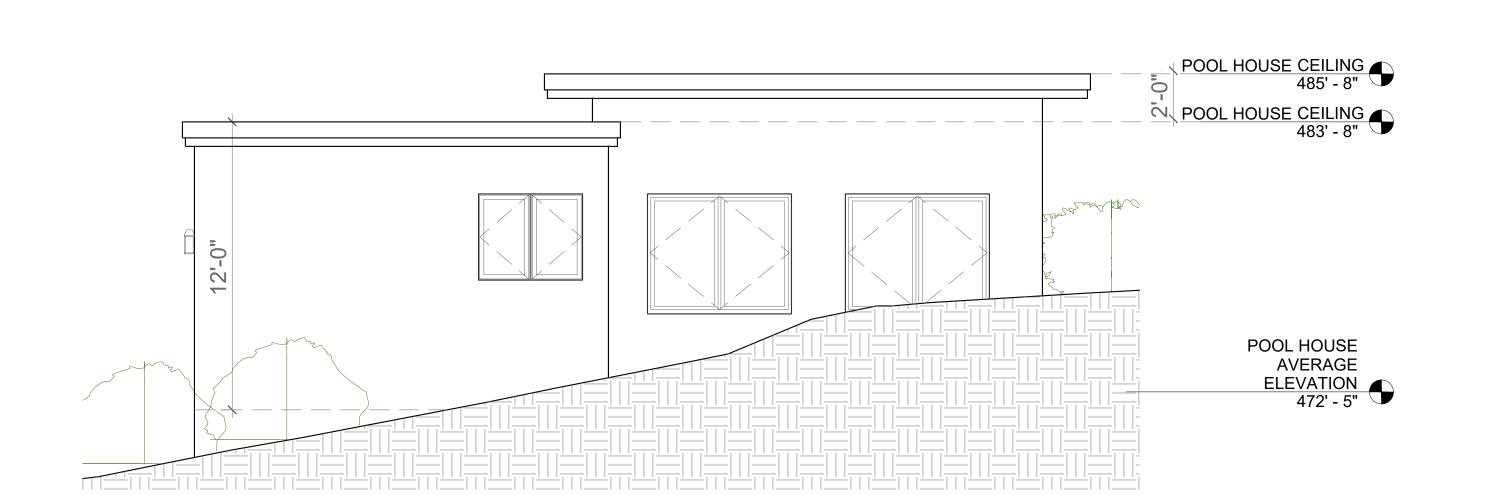
A203













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LEAD DESIGN CONSULTANT

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DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION DATE
PLANNING SUBMITTAL I 05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

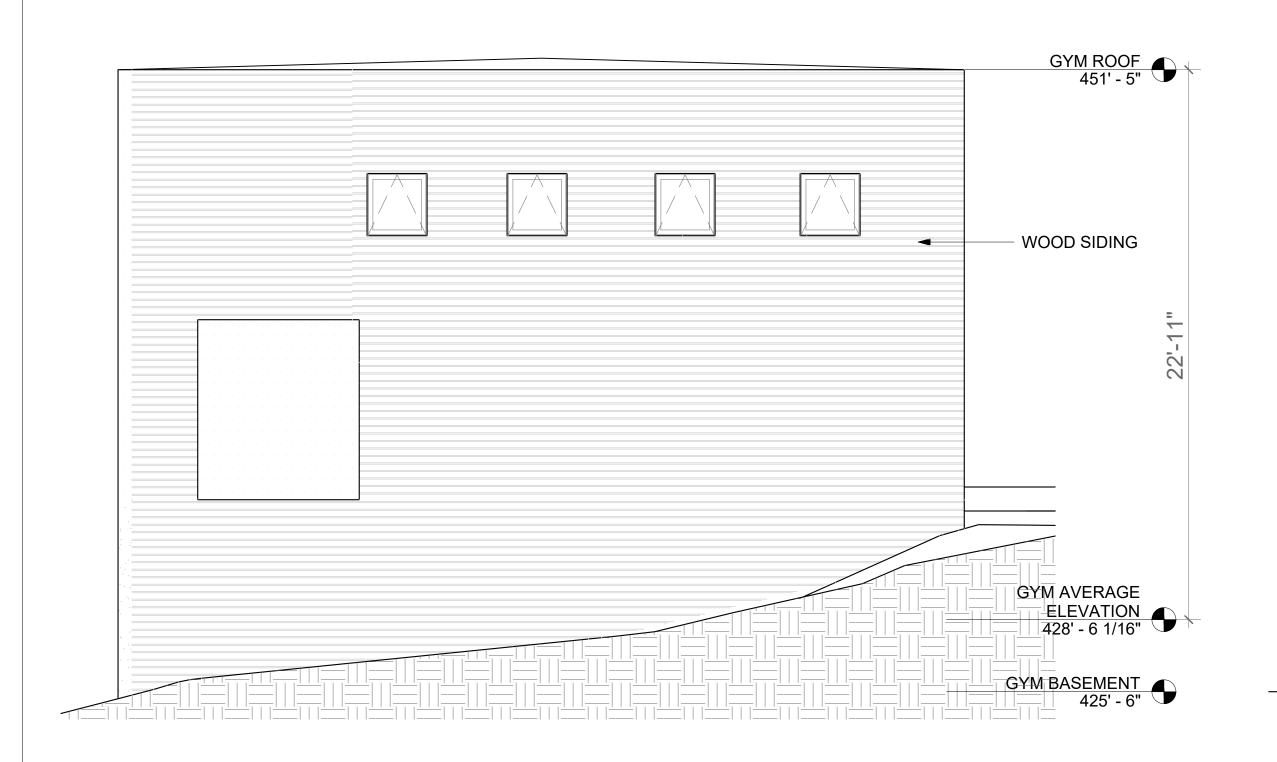
POOL HOUSE ELEVATION

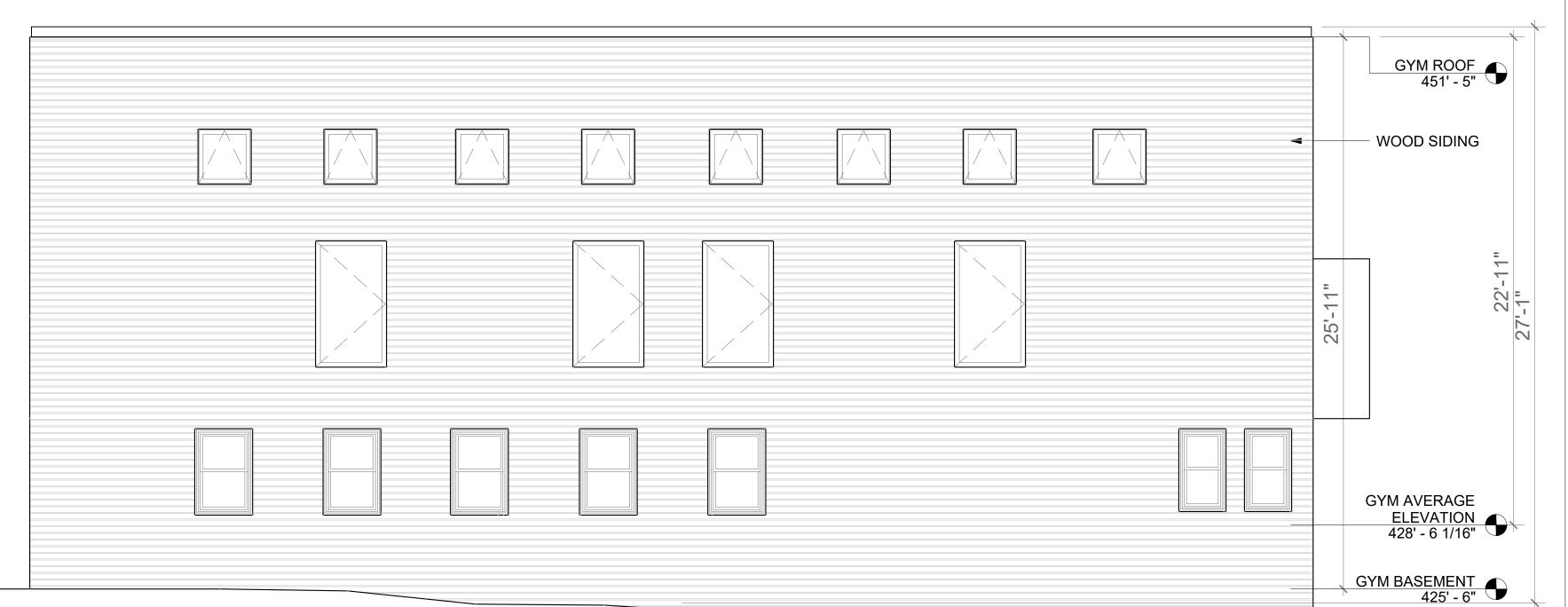
SCALE

AS INDICATED

SHEET NUMBER

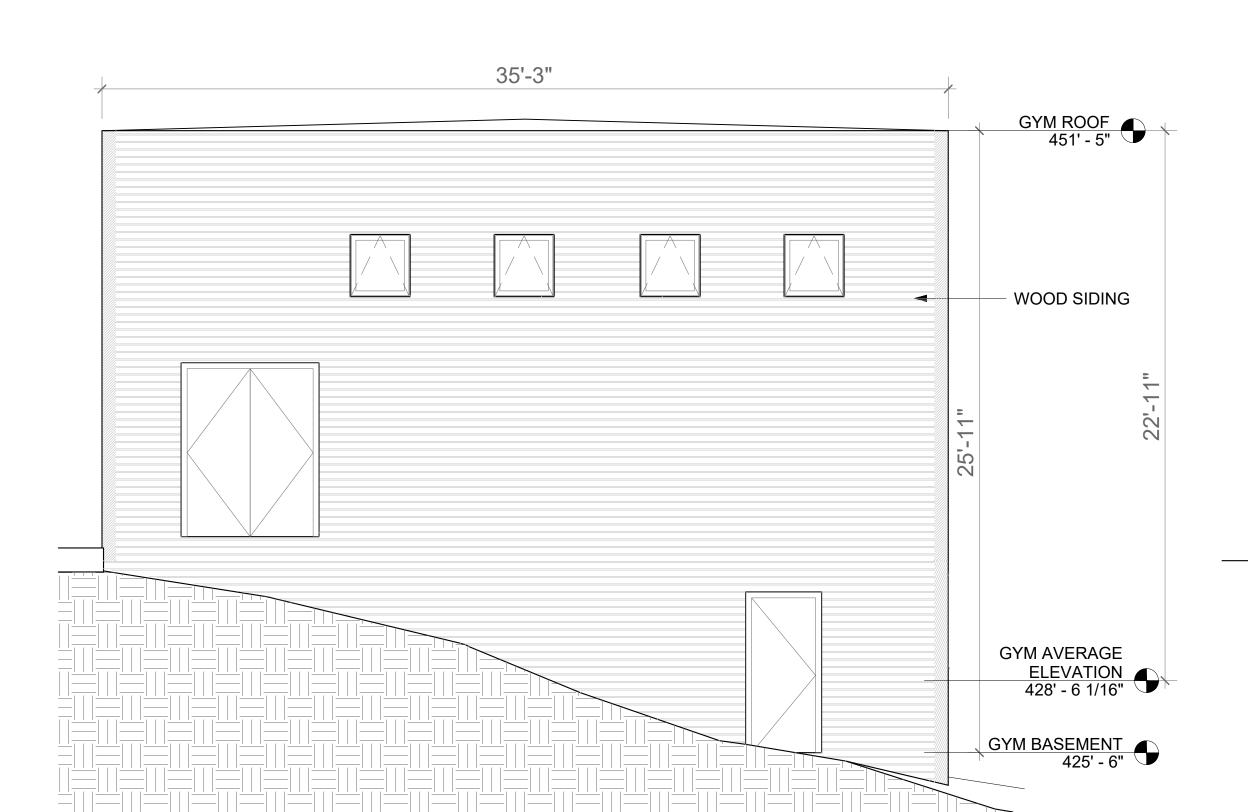
A204

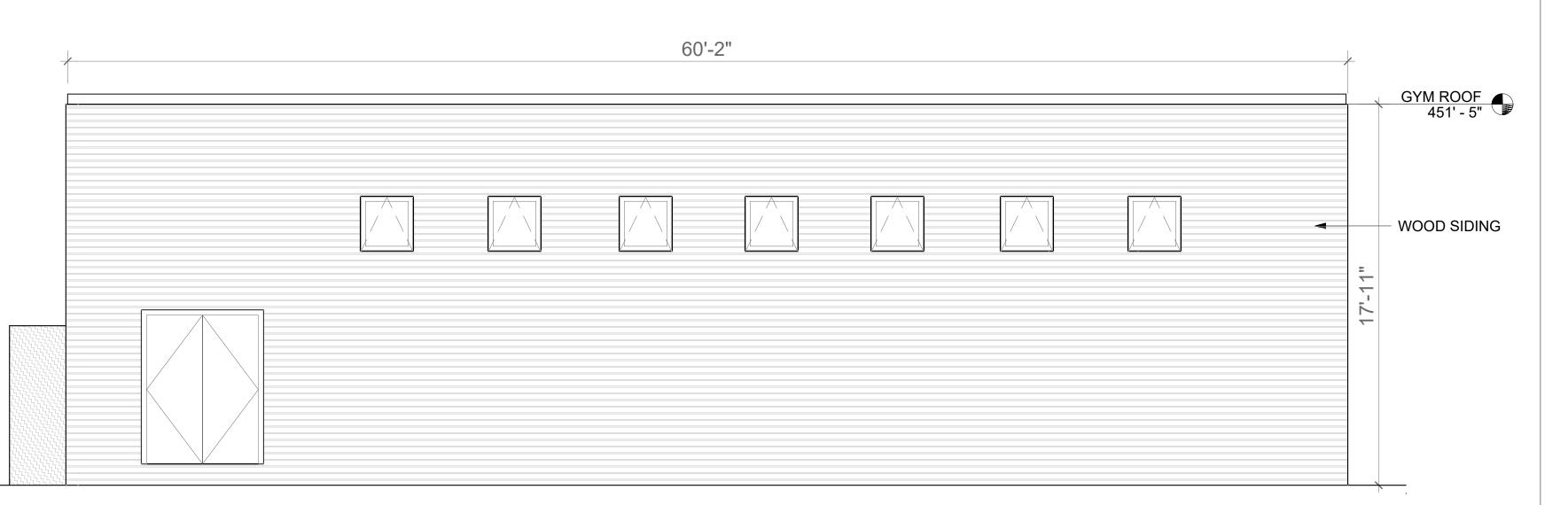




GYMNASIUM - SOUTH ELEVATION

GYMNASIUM - WEST ELEVATION 1/4" = 1'-0"





GYMNASIUM - NORTH ELEVATION

1/4" = 1'-0"

4 GYMNASION.
1/4" = 1'-0" GYMNASIUM - EAST ELEVATION PAYMUN

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> DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES DATE REVISION

PLANNING SUBMITTAL I 05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

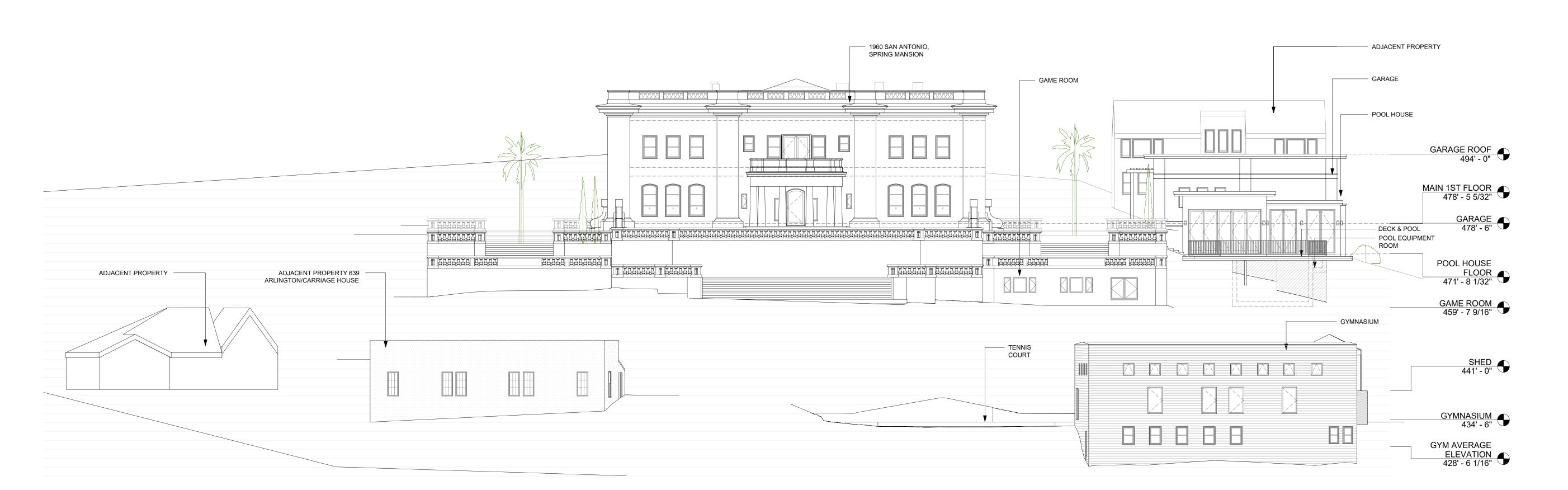
SHEET TITLE

GYMNASIUM ELEVATION **EXISTING**

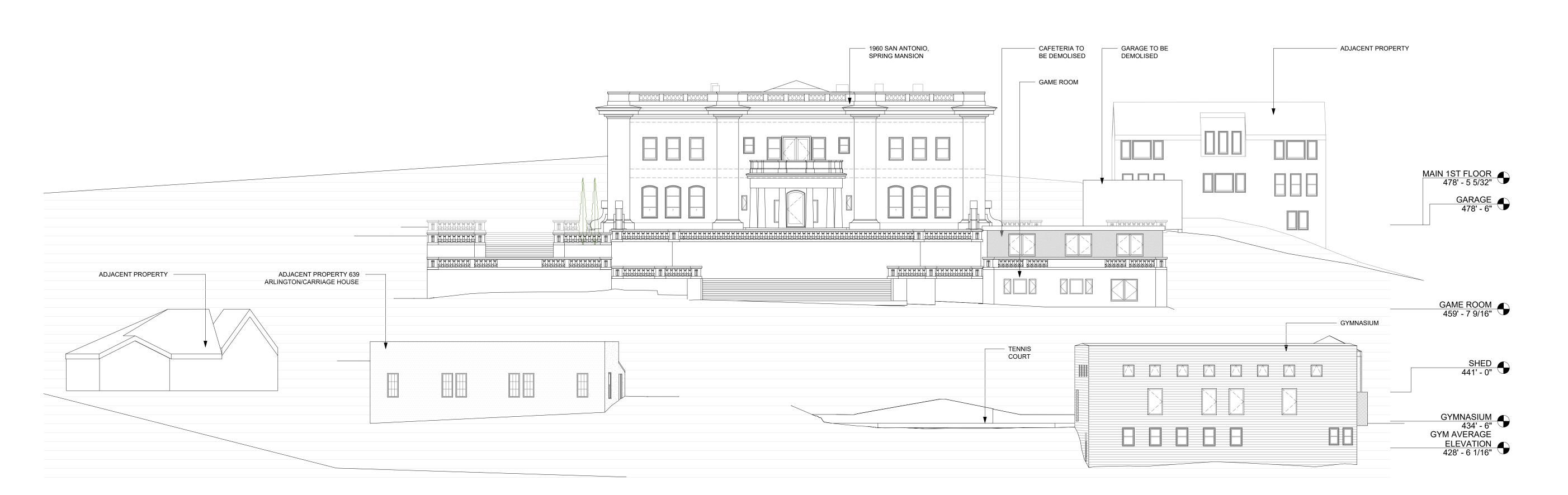
SCALE

AS INDICATED

SHEET NUMBER



1 SITE SECTION FROM ARLINGTON AVE - EXISTING 1/12" = 1'-0"



2 SITE SECTION FROM ARLINGTON AVE - PROPOSED 1/12" = 1'-0"

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DESIGNER & DRAFTER :
SADAF DAYLAMI

SPRING MANSION

PROJECT

OWNER(S)

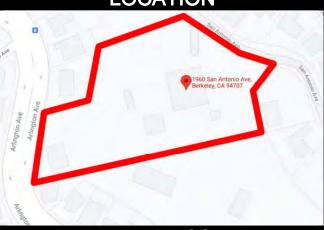
ABBAS MASH

NOTES

REVISION DATE

PLANNING SUBMITTAL I 05/13/2023

LOCATION

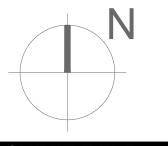


ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION



SHEET TITLE

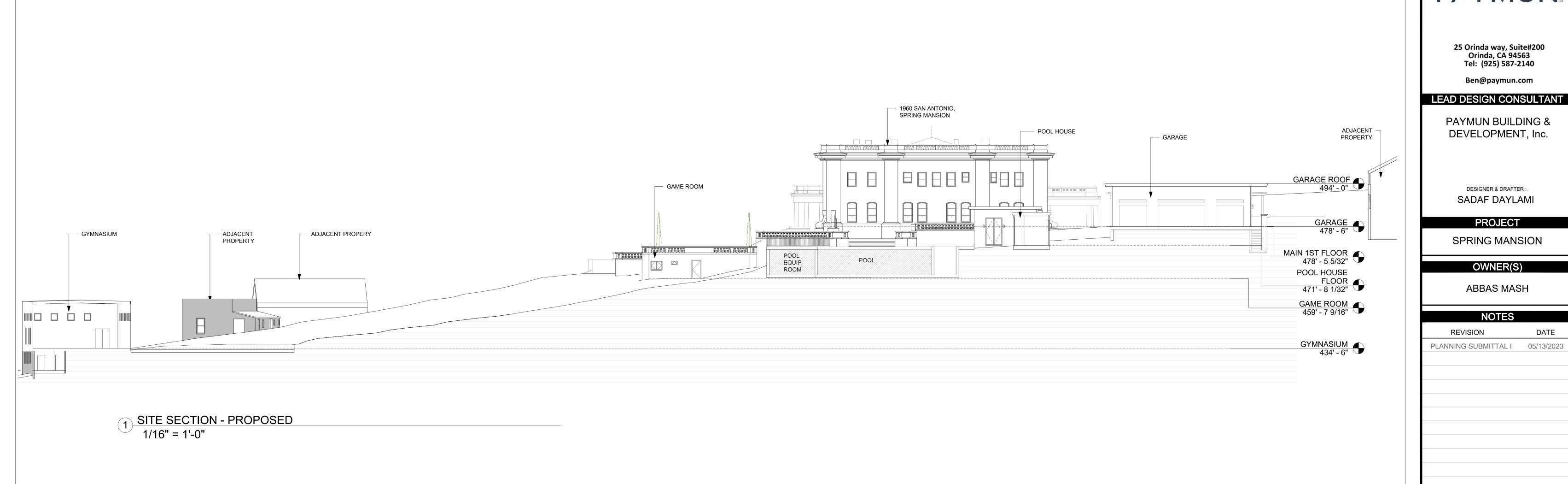
SITE SECTIONS

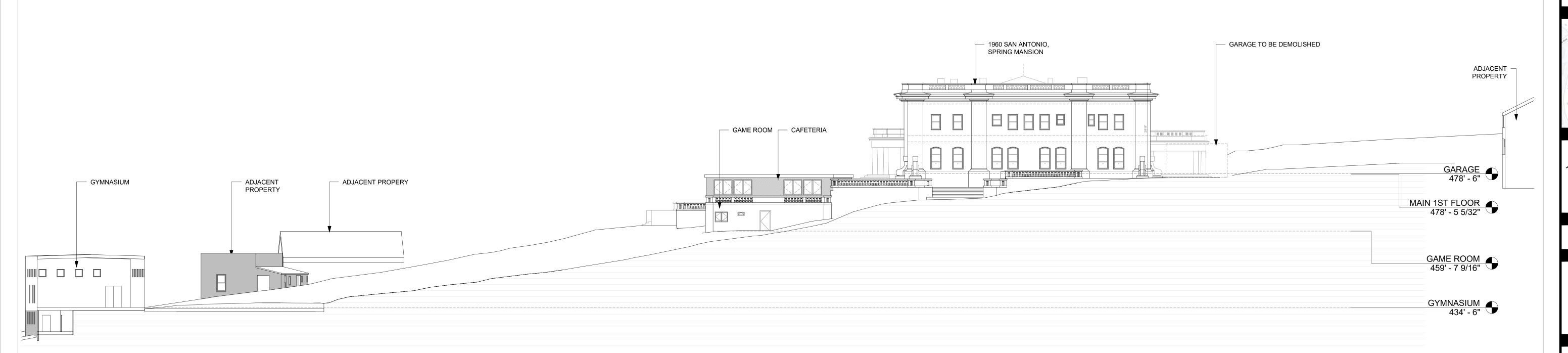
SCALE

AS INDICATED

SHEET NUMBER

A301





2 SITE SECTION - EXISTING 1/16" = 1'-0"

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DEVELOPMENT, Inc.

DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

DATE REVISION PLANNING SUBMITTAL I 05/13/2023

LOCATION

ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

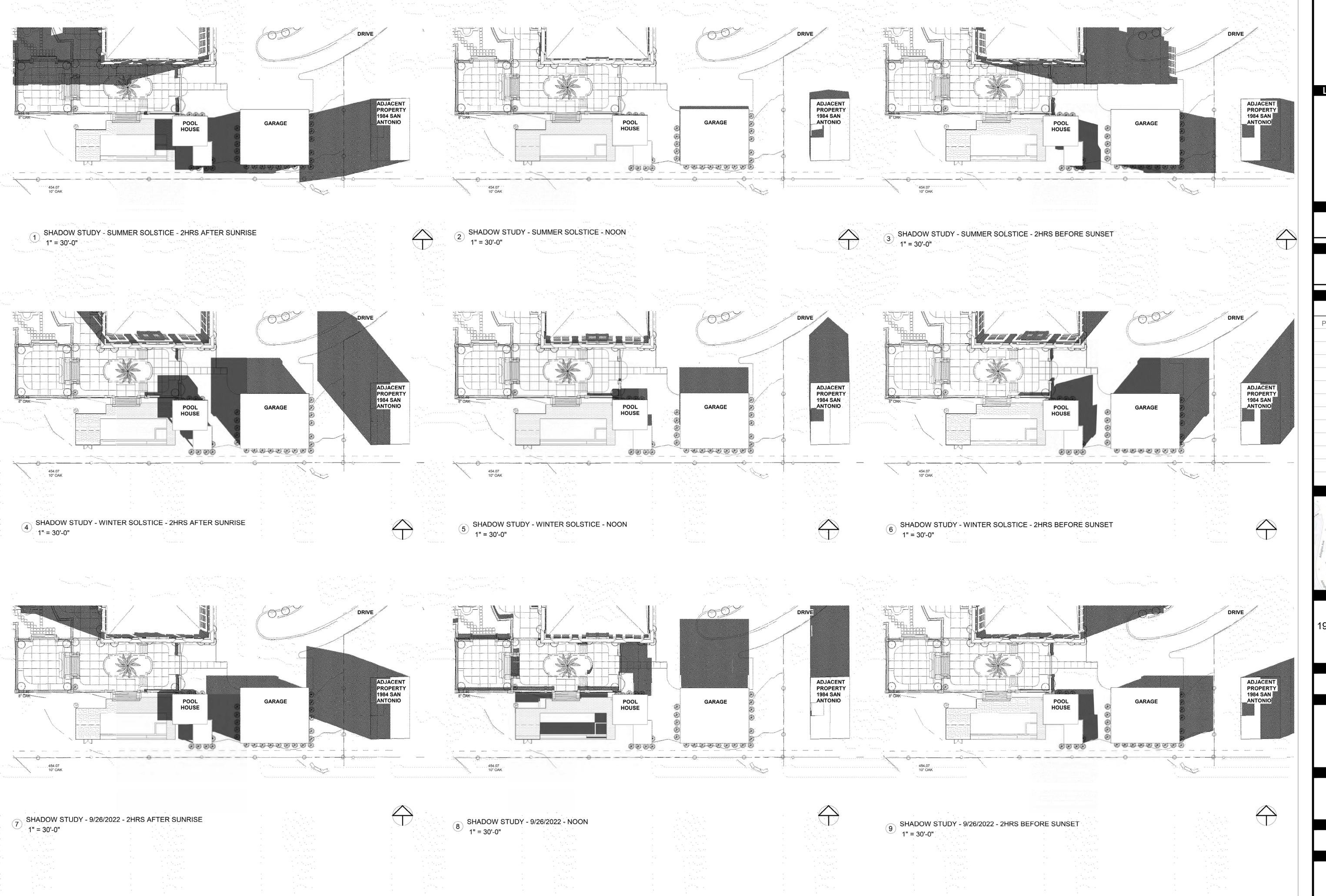
SHEET TITLE

SITE SECTIONS

SCALE

AS INDICATED

SHEET NUMBER



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DEVELOPMENT, Inc.

DESIGNER & DRAFTER : SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION DATE

PLANNING SUBMITTAL I 05/13/2023

LOCATION

Allegion Ave. Serkeley, CA 94707

ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

SHADOW STUDY

SCALE

AS INDICATED

SHEET NUMBER

A901

Page (













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LEAD DESIGN CONSULTANT

PAYMUN BUILDING & DEVELOPMENT, Inc.

DESIGNER & DRAFTER:

SADAF DAYLAMI

PROJECT

SPRING MANSION

OWNER(S)

ABBAS MASH

NOTES

REVISION DATE
PLANNING SUBMITTAL I 05/13/2023

LOCATION



ADDRESS

1960 SAN ANTONIO AVENUE BERKELEY, CA 94707

AREA

ORIENTATION

SHEET TITLE

GARAGE AND POOL HOUSE RENDERING

SCALE

AS INDICATED

SHEET NUMBER

A902

Page 54



INFORMATION CALENDAR September 12, 2023

To: Honorable Mayor and Members of the City Council

From: Dee Williams-Ridley, City Manager

Submitted by: Jordan Klein, Director, Planning and Development Department

Subject: LPO NOD: 803 Delaware Street, LMSAP2023-0002

INTRODUCTION

The attached Landmarks Preservation Commission Notice of Decision (NOD) is presented to the Mayor and City Council pursuant to Berkeley Municipal Code/Landmarks Preservation Ordinance (BMC/LPO) Section 3.24.240.A, which requires that "a copy of the Notice of Decision shall be filed with the City Clerk and the City Clerk shall present said copy to the City Council at its next regular meeting."

CURRENT SITUATION AND ITS EFFECTS

The Landmark Preservation Commission (LPC/Commission) has approved a Structural Alteration Permit (SAP) for the subject City Landmark property. This action is subject to a 15-day appeal period, which began on August 29, 2023.

BACKGROUND

BMC/LPO Section 3.24.300 allows City Council to review any action of the Landmarks Preservation Commission in granting or denying a Structural Alteration Permit. For Council to review the decision on its merits, Council must appeal the Notice of Decision. To do so, a Council member must move this Information Item to Action and then move to set the matter for hearing on its own. Such action must be taken within 15 days of the mailing of the Notice of Decision, or by September 12, 2023. Such certification to Council shall stay all proceedings in the same manner as the filing of an appeal.

If the Council chooses to appeal the action of the Commission, then a public hearing will be set. The Council must then rule on the designation within 30 days of closing the hearing, otherwise the decision of the Commission is automatically deemed affirmed.

Unless the Council wishes to review the determination of the Commission and make its own decision, the attached NOD is deemed received and filed.

INFORMATION CALENDAR September 12, 2023

LPO NOD: 803 Delaware Street/#LMSAP2023-0002

ENVIRONMENTAL SUSTAINABILITY & CLIMATE IMPACTS

Landmark designation provides opportunities for the adaptive re-use and rehabilitation of historic resources within the City. The rehabilitation of these resources, rather than their removal, achieves construction and demolition waste diversion, and promotes investment in existing urban centers.

POSSIBLE FUTURE ACTION

The Council may choose to appeal the decision, in which case it would conduct a public hearing at a future date.

FISCAL IMPACTS OF POSSIBLE FUTURE ACTION

There are no known fiscal impacts associated with this action.

CONTACT PERSON

Fatema Crane, Principal Planner, Planning and Development, 510-981-7410

Attachments:

1: Notice of Decision - 803 Delaware Street, #LMSAP2023-0002

Attachment 1, part 1



LANDMARKS

PRESERVATION

COMMISSION

Notice of Decision

DATE OF BOARD DECISION: July 6, 2023

DATE NOTICE MAILED: August 28, 2023

APPEAL PERIOD EXPIRATION: September 12, 2023

EFFECTIVE DATE OF PERMIT (Barring Appeal or Certification): September 13, 2023¹

803 Delaware Street – Delaware Historic District

Structural Alteration Permit #LMSAP2023-0002 to legalize one projecting sign and two site lights on the exterior of a designated City Landmark within a designated historic district.

The Landmarks Preservation Commission of the City of Berkeley, after conducting a public hearing, **APPROVED** the following request:

Structural Alteration Permit

APPLICANT: Amber Baker, Project Architect
Gunkel Architecture
1295 59th Street
Emeryville, CA 94608

ZONING DISTRICT: Mixed Use Residential (M-UR)

¹ Pursuant to BMC Chapter 3.24, the City Council may "certify" any decision of the LPC for review, which has the same effect as an appeal. In most cases, the Council must certify the LPC decision during the 14-day appeal period. However, pursuant to BMC Section 1.04.070, if any portion of the appeal period falls within a Council recess, the deadline for Council certification is suspended until the first Council meeting after the recess, plus the number of days of the appeal period that occurred during the recess, minus one day. If there is no appeal or certification, the Use Permit becomes effective the day after the certification deadline has passed.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2023-0002 803 Delaware Street September 12, 2023 Page 2 of 5

ENVIRONMENTAL REVIEW STATUS: Categorically exempt under the California Environmental Quality Act Guidelines, Section 15331 of the CEQA Guidelines for Historical Resource Rehabilitation.

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The application materials for this project is available online at:

https://berkeleyca.gov/construction-development/land-use-development/zoning-projects or https://permits.cityofberkeley.info/CitizenAccess/Default.aspx

FINDINGS FOR FINAL ACTION AND APPROVED PLANS ARE ATTACHED TO THIS NOTICE

COMMISSION VOTE: 8-0-0-1

YES: ADAMS, CRANDALL, ENCHILL, FINACOM, LEUSCHNER, MONTGOMERY,

SCHWARTZ, TWU

NO: NONE

ABSTAIN: NONE

ABSENT: LINVILL

TO APPEAL THIS DECISION (see Section 3.24.300 of the Berkeley Municipal Code):

To appeal a decision of the Landmarks Preservation Commission to the City Council you must:

- 1. Submit a letter clearly and concisely setting forth the grounds for the appeal to the City Clerk, located at 2180 Milvia Street, 1st Floor, Berkeley. The City Clerk's telephone number is (510) 981-6900.
 - a. Pursuant to BMC Section 3.24.300.A, an appeal may be taken to the City Council by the application of the owners of the property or their authorized agents, or by the application of at least fifty residents of the City aggrieved or affected by any determination of the commission made under the provisions of Chapter 3.24.
- 2. Submit the required fee (checks and money orders must be payable to 'City of Berkeley'):
 - a. The basic fee for persons other than the applicant is \$500. This fee may be reduced to \$100 if the appeal is signed by persons who lease or own at least 50 percent of the parcels or dwelling units within 300 feet of the project site, or at least 25 such persons (not including dependent children), whichever is less. Signatures collected per the filing requirement in BMC Section 3.24.300.A may be counted towards

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2023-0002 803 Delaware Street September 12, 2023 Page 3 of 5

qualifying for the reduced fee, so long as the signers are qualified. The individual filing the appeal must clearly denote which signatures are to be counted towards qualifying for the reduced fee.

- b. The fee for appeals of affordable housing projects (defined as projects which provide 50 percent or more affordable units for households earning 80% or less of Area Median Income) is \$500, which may not be reduced.
- c. The fee for all appeals by Applicants is \$2500.
- 3. The appeal must be received prior to 5:00 p.m. on the "APPEAL PERIOD EXPIRATION" date shown above (if the close of the appeal period falls on a weekend or holiday, then the appeal period expires the following business day).

If no appeal is received, the landmark permit will be final on the first business day following expiration of the appeal period.

NOTICE CONCERNING YOUR LEGAL RIGHTS:

If you object to this decision, the following requirements and restrictions apply:

- If you challenge this decision in court, you may be limited to raising only those issues you
 or someone else raised at the public hearing described in this notice, or in written
 correspondence delivered to the Landmarks Preservation Commission at, or prior to, the
 public hearing.
- 2. You must appeal to the City Council within fifteen (15) days after the Notice of Decision of the action of the Landmarks Preservation Commission is mailed. It is your obligation to notify the Land Use Planning Division in writing of your desire to receive a Notice of Decision when it is completed.
- 3. Pursuant to Code of Civil Procedure Section 1094.6(b) and Government Code Section 65009(c)(1), no lawsuit challenging a City Council decision, as defined by Code of Civil Procedure Section 1094.6(e), regarding a use permit, variance or other permit may be filed more than ninety (90) days after the date the decision becomes final, as defined in Code of Civil Procedure Section 1094.6(b). Any lawsuit not filed within that ninety (90) day period will be barred.
- 4. Pursuant to Government Code Section 66020(d)(1), notice is hereby given to the applicant that the 90-day protest period for any fees, dedications, reservations, or other exactions included in any permit approval begins upon final action by the City, and that any challenge must be filed within this 90-day period.
- 5. If you believe that this decision or any condition attached to it denies you any reasonable economic use of the subject property, was not sufficiently related to a legitimate public purpose, was not sufficiently proportional to any impact of the project, or for any other reason constitutes a "taking" of property for public use without just compensation under the California or United States Constitutions, your appeal of this decision must include the following information:
 - A. That this belief is a basis of your appeal.

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION #LMSAP2023-0002 **803 Delaware Street** September 12, 2023 Page 4 of 5

- B. Why you believe that the decision or condition constitutes a "taking" of property as set forth above.
- C. All evidence and argument in support of your belief that the decision or condition constitutes a "taking" as set forth above.

If you do not do so, you will waive any legal right to claim that your property has been taken, both before the City Council and in court.

PUBLIC COMMENT:

Communications to Berkeley boards, commissions or committees are public record and will become part of the City's electronic records, which are accessible through the City's website. Please note: e-mail addresses, names, addresses, and other contact information are not required, but if included in any communication to a City board, commission or committee, will become part of the public record. If you do not want your e-mail address or any other contact information to be made public, you may deliver communications via U.S. Postal Service or in person to the secretary of the relevant board, commission or committee. If you do not want your contact information included in the public record, please do not include that information in Please contact the secretary to the relevant board, commission or vour communication. committee for further information.

FURTHER INFORMATION:

Questions about the project should be directed to the project planner, Desiree Dougherty, at (510) 981-7431 or Ddougherty@berkeleyca.gov. All project application materials, including fullsize plans, may be viewed at the Permit Service Center (Zoning counter), 1947 Center Street, 3rd Fl., during regular business hours.

ATTACHMENTS:

1. Findings for Final Action

2. Project Plans, received FEBRUARY 28, 2023

ATTEST:

Fatema Crane, Secretary Landmarks Preservation Commission

City Clerk CC:

> Applicant: Amber Baker, Architect,

> > Gunkel Architecture, 1295 59th Street, Emeryville, CA 94608

Sharon Block and Selim Aykiran, 803 Delaware Street, Berkeley, Property Owner:

LANDMARKS PRESERVATION COMMISSION NOTICE OF DECISION **#LMSAP2023-0002 803 Delaware Street** September 12, 2023 Page 5 of 5

CA 94710

Findings and Conditions

July 6, 2023

FINDINGS REQUIRED UNDER CEQA

1. The project <u>is</u> categorically exempt from the provisions of the California Environmental Quality Act (CEQA, Public Resources Code §21000, et seq. and California Code of Regulations, §15000, et seq.) pursuant to Section 15331 of the CEQA Guidelines ("Historic Resource Restoration/Rehabilitation"). Furthermore, none of the exceptions in CEQA Guidelines Section 15300.2 apply, as follows: (a) the site is not located in an environmentally sensitive area, (b) there are no cumulative impacts, (c) there are no significant effects, (d) the project is not located near a scenic highway, and (e) the project site is not located on a hazardous waste site pursuant to Government Code Section 65962.5.

FINDINGS RELATED TO THE SECRETARY OF THE INTERIOR'S STANDARDS

Regarding the Secretary of the Interior's Standards (SOI) for Rehabilitation, the Landmarks Preservation Commission of the City of Berkeley makes the following findings:

- 1. The proposed project does not require a change of use. The property will retain its historic commercial use.
- 2. The project will retain the historic character of the property and will avoid removal of distinctive materials and the alteration of features that characterize the property.
- 3. The new signage, site lighting, and rear egress door upgrades will not resemble or replicate designs from the property's historic period. These new features are contemporary and will not result in a false sense of historical development.
- 4. Changes to the property that may have acquired significance in their own right are not affected by this project.
- 5. Distinctive materials, features, finishes, and construction techniques, or examples of craftsmanship that characterize this property, such as display windows, transom, trim detailing and recessed entry will be substantially retained and preserved with this project.
- 6. As conditioned herein, if deteriorated historic features will be affected by this request, then they would be repaired or replaced to match the materials, design, and finishes of the original items
- 7. The applicant does not propose chemical or physical treatments. However, standard conditions of Structural Alteration Permit approval would require any chemical or physical treatments to be undertaken using the gentlest means possible.

- 8. The project does not have the potential to affect any archaeological resources because the applicant proposes no excavation.
- 9. The proposed upgrades are designed with complimentary, high-quality materials in simplified, contemporary style employing colors and finishes that harmonize with the historic design elements of the building. Owing to these aspects, new work will be sufficiently differentiated from the historic design.
- 10. If the proposed improvements were removed in the future, they would not permanently impair the integrity or essential form of the subject building.

FINDINGS REQUIRED UNDER LANDMARKS PRESERVATION ORDINANCE

- 1. As required by Section 3.24.260 of the Landmarks Preservation Ordinance, the Commission finds that the proposed work is appropriate for and consistent with the purposes of the Ordinance, and will preserve the characteristics and features specified in the designation for this property. Specifically:
 - A. The proposed project will not adversely affect the architectural design of the City Landmark in the Delaware Historic District, located in the 800 block of Delaware Street. It proposes the legalization of one projecting sign and two site lights installed on the South (Delaware Street) façade, and accessible upgrades to the egress door at the rear (north) of the building.
 - B. The special character of the subject property may lie in its large display windows with classic detailing and simple trim design. This project would not adversely affect these qualities because the sign and light fixtures are mounted in such a way that fits with the architectural features of the building. The rear egress door would not alter any character defining features.

STANDARD CONDITIONS

The following conditions, as well as all other applicable provisions of the Landmarks Preservation Ordinance, apply to this Permit:

1. Conditions Shall be Printed on Plans

The conditions of this Permit shall be printed on the *second* sheet of each plan set submitted for a building permit pursuant to this Permit, under the title 'Structural Alteration Permit Conditions'. *Additional sheets* may also be used if the *second* sheet is not of sufficient size to list all of the conditions. The sheet(s) containing the conditions shall be of the same size as those sheets containing the construction drawings; 8-1/2" by 11" sheets are not acceptable.

2. Plans and Representations Become Conditions

Except as specified herein, the site plan, floor plans, building elevations and/or any additional information or representations, whether oral or written, indicating the proposed structure or manner of operation submitted with an application or during the approval process are deemed conditions of approval.

3. Subject to All Applicable Laws and Regulations

The approved use and/or construction is subject to, and shall comply with, all applicable City Ordinances and laws and regulations of other governmental agencies. Prior to construction, the applicant shall identify and secure all applicable permits from the Zoning Adjustments Board or Zoning Officer, Building and Safety Division, Public Works Department and other affected City divisions and departments.

4. Exercise and Lapse of Permits

- A. A permit for the construction of a building or structure is deemed exercised when a valid City building permit, if required, is issued, and construction has lawfully commenced.
- B. A permit may be declared lapsed and of no further force and effect if it is not exercised within one year of its issuance, except that permits for construction or alteration of structures or buildings may not be declared lapsed if the permittee has: (1) applied for a building permit; or, (2) made substantial good faith efforts to obtain a building permit and begin construction, even if a building permit has not been issued and/or construction has not begun.

5. Indemnification Agreement

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any

legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.

6. Halt Work/Unanticipated Discovery of Tribal Cultural Resources

In the event that cultural resources of Native American origin are identified during construction, all work within 50 feet of the discovery shall be redirected. The project applicant and project construction contractor shall notify the City Planning Department within 24 hours. The City will again contact any tribes who have requested consultation under AB 52, as well as contact a qualified archaeologist, to evaluate the resources and situation and provide recommendations. If it is determined that the resource is a tribal cultural resource and thus significant under CEQA, a mitigation plan shall be prepared and implemented in accordance with State guidelines and in consultation with Native American groups. If the resource cannot be avoided, additional measures to avoid or reduce impacts to the resource and to address tribal concerns may be required.

7. Archaeological Resources (Ongoing throughout demolition, grading, and/or construction)

Pursuant to CEQA Guidelines Section 15064.5(f), "provisions for historical or unique archaeological resources accidentally discovered during construction" should be instituted. Therefore:

- A. In the event that any prehistoric or historic subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant and/or lead agency shall consult with a qualified archaeologist, historian or paleontologist to assess the significance of the find.
- B. If any find is determined to be significant, representatives of the project proponent and/or lead agency and the qualified professional would meet to determine the appropriate avoidance measures or other appropriate measure, with the ultimate determination to be made by the City of Berkeley. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by the qualified professional according to current professional standards.
- C. In considering any suggested measure proposed by the qualified professional, the project applicant shall determine whether avoidance is necessary or feasible in light of factors such as the uniqueness of the find, project design, costs, and other considerations.

- D. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery) shall be instituted. Work may proceed on other parts of the project site while mitigation measures for cultural resources is carried out.
- E. If significant materials are recovered, the qualified professional shall prepare a report on the findings for submittal to the Northwest Information Center.
- **8. Human Remains** (Ongoing throughout demolition, grading, and/or construction)

In the event that human skeletal remains are uncovered at the project site during ground-disturbing activities, all work shall immediately halt and the Alameda County Coroner shall be contacted to evaluate the remains, and following the procedures and protocols pursuant to CEQA Guidelines Section 15064.5 (e)(1). If the County Coroner determines that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to Health and Safety Code Section 7050.5(c), and all excavation and site preparation activities shall cease within a 50-foot radius of the find until appropriate arrangements are made. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance and avoidance measures (if applicable) shall be completed expeditiously.

9. Paleontological Resources (Ongoing throughout demolition, grading, and/or construction)

In the event of an unanticipated discovery of a paleontological resource during construction, excavations within 50 feet of the find shall be temporarily halted or diverted until the discovery is examined by a qualified paleontologist (per Society of Vertebrate Paleontology standards [SVP 1995,1996]). The qualified paleontologist shall document the discovery as needed, evaluate the potential resource, and assess the significance of the find. The paleontologist shall notify the appropriate agencies to determine procedures that would be followed before construction is allowed to resume at the location of the find. If the City determines that avoidance is not feasible, the paleontologist shall prepare an excavation plan for mitigating the effect of the project on the qualities that make the resource important, and such plan shall be implemented. The plan shall be submitted to the City for review and approval.

ADDITIONAL CONDITIONS

The following additional conditions are attached to this Permit:

- **10.** No changes can be made to these approved plans without prior approval.
- **11. CITY PERMITS**. This Structural Alteration Permit (SAP) approval is contingent upon approval of the requisite Use Permit and Public Work Permit for the project scope.
- **12. PLANS COMPLIANCE.** Construction and building permit plans shall substantially conform to the Structural Alteration Permit (SAP) project plans dated/received February 28, 2023.

13. REPAIR AND REPLACEMENT OF CHARACTER-DEFINING FEATURES.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old or historic feature in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.

- **14.** Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
- **15. COLORS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit color and materials information for review and approval by Landmarks staff, in coordination with the LPC Chair as needed.
- **16. CLEAR GLASS.** All glass is assumed to be clear glass. Any proposed glass that is not clear glass, or includes signage, shall be indicated on all drawings, and shall be reviewed for approval by Landmarks staff.
- **17. DETAILS.** Prior to Landmarks plan checker sign-off of the Building Permit set of drawings, the applicant shall submit sign, light fixture, double door, and transom details for review and approval by the Landmarks plan checker.
- **18. SIGNAGE.** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit complete signage details, including colors, materials, letter heights, dimensions, placement on building, and installation details. All materials will be matte unless otherwise noted. All non-temporary signage and awnings not previously approved and not listed in this application are prohibited.
- **19. LIGHTING.** Prior to Landmarks plan checker sign-off of the building permit set of drawings, the applicant shall submit lighting details showing all existing and proposed site and building lighting. Exterior lighting, including for signage, shall be downcast and not cause glare on the public right-of-way and adjacent parcels.
 - Existing light fixtures shall either be replaced or refinished with a matte or flat finish.
- **20.** The applicant shall be responsible for identifying and securing all applicable permits from the Building and Safety Division and all other affected City divisions/departments prior to the start of work.
- 21. The applicant is responsible for complying with all the above conditions. Failure to comply with any condition could result in construction work being stopped, issuance of citations, as well as further review by the Landmarks staff, which may modify or impose additional conditions, or revoke approval.
- **22.** All building permit drawings and subsequent construction shall substantially conform to the approved plans as outlined in Condition #1. Any modifications must be reviewed by the Landmarks plan checker to determine whether the modification requires approval.

The applicant shall hold harmless, defend, and indemnify the City of Berkeley and its 23. officers, agents, and employees against any and all liability, damages, claims, demands, judgments or other losses (including without limitation, attorney's fees, expert witness and consultant fees and other litigation expenses), referendum or initiative relating to, resulting from or caused by, or alleged to have resulted from, or caused by, any action or approval associated with the project. The indemnity includes without limitation, any legal or administrative challenge, referendum or initiative filed or prosecuted to overturn, set aside, stay or otherwise rescind any or all approvals granted in connection with the Project, any environmental determination made for the project and granting any permit issued in accordance with the project. This indemnity includes, without limitation, payment of all direct and indirect costs associated with any action specified herein. Direct and indirect costs shall include, without limitation, any attorney's fees, expert witness and consultant fees, court costs, and other litigation fees. City shall have the right to select counsel to represent the City at Applicant's expense in the defense of any action specified in this condition of approval. City shall take reasonable steps to promptly notify the Applicant of any claim, demand, or legal actions that may create a claim for indemnification under these conditions of approval.



RETAIL TENANT **IMPROVEMENT**

803 DELAWARE ST., BERKELEY, CA 94710

DESCRIPTION OF WORK

TENANT IMPROVEMENT WITH MINOR STRUCTURAL ADJUSTMENT TO RETAIL SPACE.

PROJECT INFORMATION

PARCEL:	57-2098-46
ZONING:	MUR
LOT SIZE:	RETAIL CONDO UNIT WITHIN LOT
SPRINKLERS:	NONE - NO CHANGE
CONSTRUCTION TYPE:	VB (NO CHANGE)
OCCUPANCY:	M = RETAIL CONDO (NO CHANGE)
(E) HEIGHT:	+27'-0"
PROPOSED HEIGHT:	NO CHANGE
(E) STORIES:	2 STORIES
PROPOSED STORIES:	2 STORIES (NO CHANGE)
(E) PARKING:	SHARED LOT IN CONDO
(N) PARKING PROVIDED:	NONE - NO CHANGE
BUILDING FOOTPRINT	869 SF
TOTAL AREA OF BUILDING	1,754 SF
AREA OF WORK	780 SF (INTERIOR TENANT IMPROVEMENT)

SHEET INDEX

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	BUILDING	
A0.0	TITLE SHEET	•	
A0.1	GENERAL NOTES & ABBREVIATIONS	•	
A0.2	TITLE-24	•	
A0.3	TITLE-24	•	
A0.4	TITLE-24	•	
A0.5	TITLE-24	•	
A0.6	TITLE-24	•	
A0.7	TITLE-24	•	
A1.0	EXISTING SITE PLAN	•	
A2.0	EXISTING FIRST FLOOR & DEMO PLAN	•	
42. I	IMPROVEMENT FLOOR PLAN	•	
42.1	IMPROVEMENT BUILDING PLAN - FIRST FLOOR	•	
A2.2	IMPROVEMENT RCP	•	
A3.0	EXISTING AND IMPROVEMENT ELEVATIONS	•	
A4.0	DETAILS	•	
A4.I	ACCESSIBILITY DETAILS	•	
SI	STRUCTURAL NOTES	•	
S2	FOUNDATION SHEAR WALLS & FOUNDATION DETAILS	•	
S3	STEEL MOMENT FRAMING DETAILS	•	

FIRE SAFETY DURING CONSTRUCTION

LISTED DISPOSAL CONTAINER [CFC §330.4.2.4]

SHIFT [CFC §330.4.2.4]

CFC §3304.6.

PROVIDE FIREFIGHTER ACCESS IN THE BUILDING IN AN EVENT OF A FIRE.

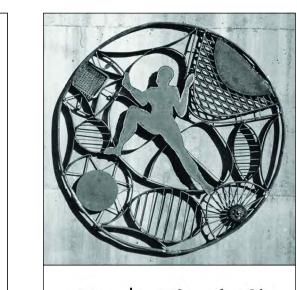
DURING CONSTRUCTION SITE OR AREA MUST BE CLEANED UP AT THE END OF THE DAY IN ORDER TO

2. COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN THE BUILDING. COMBUSTIBLE DEBRIS,

RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH WORK

MATERIALS SUSCEPTIBLE TO SPONTANEOUS IGNITION, SUCH AS OILY RAGS, SHALL BE STORED IN A

OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH





ШО

TITLE SHEET

BUILDING PERMIT

DATE 10/06/22

CODE COMPLIANCE

2019 CALIFORNIA BUILDING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2018 INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL CODE COUNCIL, ICC)

2019 CALIFORNIA RESIDENTIAL CODE - APPLIES TO ONE AND TWO FAMILY HOUSES AND TOWNHOMES LESS THAN 3 STORIES IN HEIGHT. (INCORPORATES BY ADOPTION AND REPRINTS THE 2018 INTERNATIONAL RESIDENTIAL CODE.)

2019 CALIFORNIA ENERGY CODE - CHECK THE CALIFORNIA ENERGY COMMISSION'S WEBSITE AT HTTP://WWW.ENERGY.CA.GOV FOR A DOWNLOADABLE VERSION. (PUBLISHED BY ICC).

2019 CALIFORNIA ELECTRICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2017 NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE NATIONAL FIRE PROTECTION AGENCY, NFPA)

2019 CALIFORNIA PLUMBING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2018 UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)

2019 CALIFORNIA MECHANICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2018 UNIFORM MECHANICAL CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO)

2019 CALIFORNIA FIRE CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2018 INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY ICC)

2019 CALGREEN CODE - APPLIES TO CERTAIN NEW BUILDINGS ONLY - ALL NEW RESIDENTIAL BUILDINGS 3 STORIES OR LESS AND ALL NEW NON-RESIDENTIAL BUILDINGS. HERS VERIFICATION REQUIRED BY T-24 ENERGY REPORT.

VICINITY MAP

SOUTHWES

_ A _

WALL TAG

ASSESSOR'S MAP

MAP of TRACT B of the BERKELEY L.T.I. ASSOCIATION 1979 (B) P.M. 4540 16410 (D) P.M. 6937 223/22 (C) P.M. 6259 202/50

THESE ITEMS AND CLARIFICATION AND COORDINATION OF THESE WITH

CONSTRUCTION PROCESS. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING

THE CONTRACTOR AS PART OF THE BUILDING CONTRACT AND

AGAINST ELEMENTS.

CODE COMPLIANCE OF ALL WORK NOT FULLY REFLECTED IN THESE DOCUMENTS AS WELL AS ANY REVISIONS TO THIS SCOPE WITH THE ENTITIES HAVING JURISDICTION. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE, STRUCTURALLY SOUND, FULLY OPERATIONAL, CODE COMPLIANT, FINISHED WORK WITH COMPLETE PROTECTION

OWNER SHARON BLOCK & SALIM AYKIRAN TURKISH TOWEL COMPANY **803 DELAWARE STREET** BERKELEY, CA 94710

STRUCTURAL

ARCHITECT

GUNKEL ARCHITECTURE

2295 SAN PABLO AVENUE

PROJECT MANAGER: AMBER BAKER AMBER@GUNKELARCHITECTURE.COM

BERKELEY, CA, 94702

(510) 984-1112

PROJECT TEAM

JEDCO COUNSULTING ENGINEERS 1000 CONTRA COSTA DRIVE EL CERRITO, CA 94530 (510) 703-0095 ENGINEER: FIRAS A. JANDALI FIRASJANDALI@YAHOO.COM

ENERGY CALCULATIONS

TTC@TURKISHTOWELCOLLECTION.COM

BRIGHT GREEN STRATEGIES 820 DELAWARE STREET BERKELEY, CA 94710 SHARON BLOCK

DRAWING NOTES

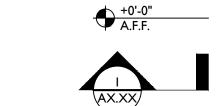
TYPICAL OWNER/DEVELOPER BUILDING PERMIT SET OF DRAWINGS: THESE DRAWINGS ARE INTENDED FOR BUILDING PERMIT APPROVAL AND (510) 863-1109 ARE NOT INTENDED TO BE A COMPREHENSIVE SET OF DRAWINGS INDICATING CONSTRUCTION DETAILS, WATER PROOFING, SPECIFIC FINISHES, SPECIFIC CABINETRY, SPECIFIC PLUMBING FIXTURES, LIGHTING FIXTURES, SPECIFIC DOORS, WINDOWS, & HARDWARE, OR M.E.P. & UTILITY ROUTING. OWNER/DEVELOPER IS RESPONSIBLE FOR THE SELECTION OF

INFO@BRIGHTGREENSTRATEGIES.COM

SYMBOLS

HEIGHT

SECTION









GRIDLINE



DEMOLITION NOTE

AX.XX























N.E.

NO.

N.I.C.

NOM.

FIRE EXTINGUISHER

FEDERAL

FED.

FIRE EXTINGUISHER &

NORTHEAST

NUMBER

NOMINAL

NOT IN CONTRACT

STOR

SUSP.

STORAGE

SUSPENDED

SOUTHWEST

SEE WINDOW SCHEDULE

GENERAL NOTES

SYM.

TECH.

TELE.

TEMP.

TER.

THK.

T.O.

T.O.C.

T.O.D.

T.O.M.

T.O.P.

T.O.S.

T.S.

T.T.D.

TYP.

U.B.C.

U.G.

U.L.

U.O.N.

V.C.T.

V.G.D.F.

VERT.

V.I.F.

WD.

WGL

W.H.

W.O.

W/O

WSCT.

W.S.P.

WT.

UR.

THRES.

SYMMETRICAL

TACKBOARD

TECHNOLOGY

TEMPERED or TEMPERATURE

TOP OF CURB or CONCRETI

TONGUE & GROOVE

TOP OF DECKING

TOP OF MASONRY

TOP OF PAVEMENT or

TOILET TISSUE DISPENSER

UNIFORM BUILDING CODE

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

VERTICAL GRAIN DOUGLAS

TELEPHONE

TERRAZZO

THRESHOLD

THICK

TOP OF

PARAPET

TOP OF STEEL

TOP OF WALL

T.S.C.D. TOILET SEAT COVER

DISPENSER

TELEVISION

UNDERGROUND

UNDERWRITERS

LABORATORY

UNFINISHED

URINAL

VERTICAL

VESTIBULE

VOLUME

VERIFY IN FIELD

V.T.R. VENT THRU ROOF (S..P.D.

WATER CLOSET

WASHER/DRYER

WIDE FLANGE

WATER HEATER

OF CALIFORNIA

WHERE OCCURS

WORKING POINT

WET STANDPIPE

W.W.F. WELDED WIRE FABRIC

WITHOUT

WAINSCOT

WEIGHT

AND

CHANNEL

POUND OR NUMBER

PENNY

ΑT

WOODWORK INSTITUTE

WIRE GLASS

WOOD

WINDOW

WEST OR WASHER

V.W.C. VINYL WALL COVERING

TYPICAL

TUBULAR STEEL

I. CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMISSION OF BIDS TO REVIEW EXISTING CONDITIONS OF AREAS THAT ARE TO BE BID.

2. ADMINISTRATIVE REQUIREMENTS: 2A. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION AND ADDITIONS IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF DRAWINGS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY AREA HAVING

3. USE OF ANY MATERIAL CONTAINING ASBESTOS IS PROHIBITED

JURISDICTION BEFORE PROCEEDING WITH THE WORK.

4. DO NOT SCALE DRAWINGS. DRAWINGS SHOULD BE USED AS A SUPPLEMENTAL TOOL FOR THE CONTRACTOR'S USE IN REVIEWING ACTUAL FIELD CONDITIONS PRIOR TO

5. DIMENSIONS FROM EXISTING SURFACE OR ASSEMBLIES ARE APPROXIMATE DUE TO THE AS-BUILT CONDITIONS VARYING FROM ACTUAL FIELD CONDITIONS. ALL DIMENSIONS ARE TO BE FIELD VERIFIED PRIOR TO COMMENCING WORK. DIMENSIONS ARE FROM/TO CENTERLINE OR FACE OF STUDS/SHEATHING U.O.N. PER PLANS.

6. MATCH LINES ARE INDICATORS OF WHERE ADJOINING FLOOR PLANS MEET. SEE PLANS ON BOTH SIDES OF MATCH LINE FOR INFORMATION OVERLAPPING THE LINE.

7. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR ALL WORK SHOWN, PRESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS. WHERE WORK OR EQUIPMENT IS INDICATED N.I.C. (NOT IN CONTRACT), SUCH WORK AND/OR EQUIPMENT SHALL BY PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE AND COOPERATE TO EFFECT SUCH INSTALLATION ALL REQUESTS FOR CLARIFICATIONS OF THESE DRAWINGS SHALL BE DIRECTED TO THE ARCHITECT OF RECORD. ALL REQUIRED WORK SHALL BE PERFORMED BY THE CONTRACTOR INCLUDING THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS THEY SHALL BE ONE AND THE SAME. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES ON THE PROJECTS. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS BETWEEN TRADES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT ALL TRADES COORDINATE INTERFACE BETWEEN THEMSELVES, IE. PLUMBING, ROUGH-IN CABINETRY, ETC.

8. EXISTING UTILITIES AND IMPROVEMENTS DAMAGED DURING THE COURSE OF THE WORK SHALL BE PROMPTLY REPAIRED. EXISTING UTILITIES AND IMPROVEMENTS DAMAGED FOR WHICH LOCATIONS WERE UNKNOWN, SHALL BE IMMEDIATELY BROUGHT TO THE OWNER'S AND ARCHITECT'S ATTENTION AND PROMPTLY REPAIRED AT HIS/HER DIRECTION. THE WORK REQUIRED TO REPAIR DAMAGED EXISTING UTILITIES AND IMPROVEMENTS FOR WHICH LOCATIONS WERE UNKNOWN WILL BE REVIEWED AND TAKEN UNDER CONSIDERATION AS EXTRA WORK.

9. ALL ITEMS NOTED TO BE SALVAGED SHALL BE RETURNED TO THE OWNER.

10. THE TERM "TYPICAL" (TYP.) SHALL BE CONSTRUED TO MEAN APPLYING TO ALL LIKE OR SIMILAR CONDITIONS IN THE AREAS DESIGNATED FOR WORK SCOPE (IE. WITHIN THE BOUNDARIES OF THIS PROJECT.).

II. PENETRATIONS IN FIRE RATED ASSEMBLIES AND BEARING WALLS SHALL BE PROTECTED AS REQUIRED BY 2019 CBC CHAPTER 7.

12. THE CONSTRUCTION DOCUMENTS, INCLUDING THE SPECIFICATIONS, PLANS AND DRAWINGS, ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY ONE SHALL BE AS BINDING AS IF CALLED FOR BY ALL. IN CASE OF CONFLICT, LARGE SCALE (DETAIL) DRAWINGS SHALL GOVERN OVER SMALL-SCALE DRAWINGS. THE SPECIFICATIONS SHALL GOVERN OVER BOTH THE CONSTRUCTION PROCEDURES MANUAL AND THE CONTRACT DRAWINGS EXCEPT AS NOTED HEREIN BELOW. SPECIAL PROVISIONS SHALL GOVERN OVER BOTH THE CONSTRUCTION DRAWINGS AND THE GENERAL CONDITIONS, AND SUBSEQUENT ADDENDA. INTERPRETATIONS, OR CHANGE ORDERS SHALL GOVERN OVER THE ORIGINAL DOCUMENTS, UNLESS A DIFFERENT ORDER OF PROCEDURE IS NOTED ELSEWHERE IN CONJUNCTION WITH A SPECIFIC PORTION OF THE DOCUMENTS.

IN CASE OF CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE DOCUMENT CONTAINING ADDITIONAL QUANTITIES SHALL GOVERN IN MATTERS OF QUANTITY; THE DOCUMENT REQUIRING A HIGHER DEGREE OF QUALITY SHALL GOVERN IN MATTERS OF QUALITY. IN CASE OF CONFLICT WITHIN THE DRAWINGS INVOLVING QUANTITIES OR WITHIN THE SPECIFICATIONS INVOLVING QUALITY, THE GREATER QUANTITY AND THE HIGHER QUALITY SHALL BE FURNISHED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL SUCH QUANTITY AND QUALITY CONFLICTS AND SHALL AGREE UPON RESOLUTION, IN WRITING, PRIOR TO PROCEEDING.

WHERE ON ANY DRAWING A PORTION OF THE WORK IS DRAWN OUT AND THE REMAINDER IS INDICATED IN OUTLINE, THE DRAWN-OUT PARTS SHALL APPLY TO ALL OTHER LIKE PORTIONS OF THE WORK. WHERE ORNAMENT OR OTHER DETAILS IS INDICATED AS STARTING, SUCH DETAIL SHALL BE CONTINUED THROUGHOUT THE COURSES OR PARTS IN WHICH IT OCCURS AND SHALL ALSO APPLY TO OTHER SIMILAR PARTS IN THE WORK, UNLESS OTHERWISE INDICATED.

13. ITEMS INDICATED TO BE VERIFIED OR FIELD VERIFIED ARE REQUIRED TO BE VERIFIED PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE WORK. ITEMS ARE ALWAYS TO BE VERIFIED FOR DESIGN INTENT AND COMPATIBILITY

14. THE CONTRACTOR SHALL MAINTAIN THE PUBLIC RIGHTS OF WAY, SIDEWALKS, CORRIDORS, ETC., AFFECTED BY THE CONSTRUCTION, AND KEEP THESE AREAS FREE OF ALL SOIL, DEBRIS, TRASH, ETC., ON A DAILY BASIS. CLEAN EGRESS SHALL BE MAINTAINED AT ALL TIMES FOR ALL ADJACENT BUILDING TENANTS, THEIR EMPLOYEES AND GUESTS.

15. THE ARCHITECT'S APPROVAL OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS UNLESS HE HAS (IN WRITING) CALLED THE ARCHITECT'S ATTENTION TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION NOR SHALL IT RELIEVE HIM OF RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.

16. GENERAL CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFICATION AND APPROVALS OF SUBSTITUTED MATERIALS AS REQUIRED BY GOVERNING CODES AND AGENCIES.

17. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTORS TO SUPPLY AND DISTRIBUTE ADEQUATE COPIES OF ALL DRAWINGS TO ALL TRADES FALLING UNDER THEIR RESPONSIBILITY AT ALL TIMES DURING THE PROGRESS OF THE JOB (IE. REVISIONS).

18. UPON COMPLETION OF THE JOB, THE GENERAL CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSPECTION OF SATISFACTORY COMPLETION, AND OPERATION AND MAINTENANCE INSTRUCTIONS OF ALL EQUIPMENT TO THE OWNER AND TENANT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL WORK AND MATERIALS IN CONFORMANCE WITH ANY CODE OR CODES OF FEDERAL, STATE, COUNTY OR MUNICIPALITY HAVING JURISDICTION OVER SUCH WORK. ALL APPLICABLE REQUIREMENTS IN THESE REGULATIONS ALL BE FOLLOWED THE SAME AS IF NOTED ON THE DRAWINGS. CONFLICTS BETWEEN WORK SET FORT ON THE DRAWINGS AND BUILDING CODES, LAWS OR REGULATIONS NOTED BY THE GENERAL CONTRACTOR SHALL BE SUBMITTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.

19. THE CONTRACTOR SHALL SUBMIT ALL PERTINENT SHOP DRAWINGS AND COLOR SAMPLES (INCLUDING CASEWORK) FOR THE ARCHITECT'S REVIEW. ALLOWING ADEQUATE TIME FOR REVIEW AND CORRECTIVE ACTION, SHOULD IT BE REQUIRED. BY SUBMITTING SHOP DRAWINGS, THE CONTRACTOR THEREBY REPRESENTS THAT HE HAS VERIFIED ALL FIELD MEASUREMENTS, METHODS OF ACCESS TO THE POINT OF INSTALLATION AND SIMILAR FIELD CRITERIA FOR CABINETRY/MILLWORK AND ALL PREFABRICATED ASSEMBLIES OTHER THEN BUILDING STANDARD WORK.

20. THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH AND AGENCIES.

21. NO EXTRA WORK OR CHARGE SHALL BE MADE UNLESS WRITTEN AND COUNTERSIGNED BY THE ARCHITECT AND OWNER OR WRITTEN ORDER FROM THE ARCHITECT IS OBTAINED. THIS ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHARGE AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO PRESENTED AS DESCRIBED ABOVE.

22. CONSTRUCTION DEBRIS AND WASTES SHALL BE DEPOSITED AT AN APPROPRIATE SITE. THE CONTRACTOR SHALL AT ALL TIMES, KEEP PREMISES FREE FROM ACCUMULATION OF DEBRIS CAUSED BY ITS OPERATIONS. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE BUILDING AND LEAVE THE WORK "READY FOR MOPPING AND WAXING."

23. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND FIELD VERIFYING DEMOLITION REQUIREMENTS IN RELATION TO CONSTRUCTION DRAWINGS. THE ARCHITECT IS TO BE NOTIFIED OF ANY AND ALL CONFLICTS, DISCREPANCIES OR

24. CONTRACTOR TO REPAIR AND PATCH ALL AREAS DISTURBED DUE TO THIS

25. THE HEIGHT OF ANY NEW ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 17" AND A MAXIMUM OF 19" AS MEASURED TO THE TOP OF THE TOILET SEAT. CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. CONTROLS FOR FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF TOILET AREAS NO MORE THEN 44" ABOVE THE FLOOR. THE FORCE TO ACTIVATE THE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS.

26. ANY NEW ACCESSIBLE URINALS SHALL HAVE A RIM PROJECTING A MINIMUM OF 14" FROM THE WALL AND AT A MAXIMUM OF 17" ABOVE THE FLOOR. FLUSH CONTROLS SHALL BE HAND OPERATED AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE

27. WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.

28. ANY NEW FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO MORE THAN 5 POUNDS. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

29. TOILET ROOM ACCESSIBLE DOOR IDENTIFICATION SYMBOLS ARE TO BE PROVIDED PER CCR, TITLE 24 AT ACCESSIBLE TOILET FACILITIES.

30. ANY NEW DRINKING FOUNTAIN SHALL BE ACTIVATED BY A CONTROL WHICH IS EASILY OPERATED BY A PERSON W/ DISABILITIES SUCH AS A HAND-OPERATED LEVER TYPE CONTROL LOCATED WITHIN 6" OF THE FRONT OF THE DRINKING FOUNTAIN. ETC. THE BUBBLER SHALL BE SUBSTANTIALLY PARALLEL TO THE FRONT EDGE OF THE DRINKING

31. ALL NEW GYPSUM BOARD TO BE INSTALLED CONSISTENT WITH 2019 CBC SECTION

32. ALL NEW GLAZING IS TO BE CONSISTENT WITH 2019 CBC CHAPTER 24

33. ALL NEW EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. NO DEADBOLTS, NO SLIDING BOLTS, ETC. (CBC SECTION 1010.1.9)

34. ALL NEW HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" AND 44" ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE. LOCKED DOORS SHALL OPERATE AS ABOVE IN THE EGRESS DIRECTION.

35. MAXIMUM EFFORT TO OPERATE ANY NEW DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE RATED DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED BUT NOT TO EXCEED 15 POUNDS, WHEN APPROVED BY LOCAL AUTHORITIES.

36. THE BOTTOM 10" OF ALL NEW DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.

37. ANY NEW DOORS AND FRAMES WITH 20 MINUTES TO AND INCLUDING 90 MINUTES RATINGS SHALL HAVE SMOKE SEAL GASKETS AND SELF CLOSERS OR AUTOMATIC CLOSERS CONNECTED TO FIRE ALARM.

38. WORK NOTED AS "OFCI" (OWNER-FURNISH, CONTRACTOR-INSTALL) SHALL MEET ALL APPLICABLE CODES & REGULATORY REQUIREMENTS, AND SHALL BE INSTALLED & FULLY OPERATIONAL PRIOR TO FINAL APPROVAL & OCCUPANCY OF THIS PROJECT

39. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF CGC (CALIFORNIA GREEN BUILDING STANDARDS CODE). WATER EFFICIENCY REQUIREMENTS: PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS, FOUNDATIONS, AND SHOWER-HEADS) SHALL COMPLY WITH THE PRESCRIPTIVE REDUCED FLOW RATES SPECIFIED IN CGC 5.303.2.3.1 THROUGH 5.303.45.303.3.1 THROUGH 5.303.3.4. TOILETS: MAX. I.28 GALLONS PER FLUSH. URINALS: MAX. 0.125 GALLONS PER FLUSH. SHOWER-HEADS: MAX. FLOW RATE OF NOT MORE THAN I.8 GALLONS PER MINUTE AT 80 PSI. LAVATORY FAUCETS: MAX. FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI.KITCHEN FAUCETS: MAX. FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAX RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. FOOD WASTE DISPOSERS: DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN I GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE/NO-LOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8 GPM OF WATER.

40. CGC MECHANICAL REQUIREMENTS THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AII FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.2-1999, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION. PER CGC 5.504.1

AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM. PER CGC 5.504.3.

IN MECHANICALLY VENTILATED BUILDINGS, PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH AIR FILTRATION MEDIA FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY THAT PROVIDES AT LEAST A MERV VALUE OF 13. MERV 13 FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY, AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL. PER CGC 5.504.5.3.

INDOOR MOISTURE CONTROL. BUILDINGS SHALL MEET OR EXCEED THE CBC TITLE 24, PART 2, SECTIONS 1203 (VENTILATION) AND CHAPTER 14 (EXTERIOR WALLS).

OUTDOOR AIR DELIVERY. FOR ALL VENTILATED SPACES, MEET THE MINIMUM REQUIREMENTS OF SECTION 120.1 (REQUIREMENTS FOR VENTILATION) OF THE 2019 CALIFORNIA ENERGY CODE, OR LOCAL CODE, WHICHEVER IS MORE STRINGENT.

CARBON DIOXIDE (CO2) MONITORING. BUILDINGS EQUIPPED WITH DEMAND CONTROL VENTILATION, CO2 SENSORS AND VENTILATION CONTROLS SHALL BE SPECIFIED AND INSTALLED IN ACCORDANCE WITH THE 2019 CALIFORNIA ENERGY CODE SECTION 120(C)(4).

41. CGC MATERIALS REQUIREMENTS: FINISH MATERIALS SHALL COMPLY WITH SECTIONS CGC 5.504.4.1. THROUGH 5.504.4.6. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE STANDARDS LISTED IN CGC 5.504.4.1. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH TABLE CGC 5.504.4.3 UNLESS MORE STRINGENT LOCAL LIMITS APPLY.

VERIFICATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.

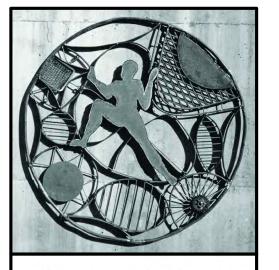
COMPOSITE WOOD PRODUCTS: HARDWOOD, PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 5.504.4.5.

DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. CGC 5.504.4.5.3. RESILIENT FLOORING SYSTEMS: 80% OF FLOORING MUST COMPLY WITH THE ONE OF THE FOLLOWING: THE VOC-EMISSION LIMITS DEFINED IN THE 2014 CHPS CRITERIA AND LISTED ON ITS HIGH PERFORMANCE PRODUCTS DATABASE; PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD PROGRAM; CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE FLOOR SCORE PROGRAM; OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH 2010 SPECIFICATIONS.

VERIFICATION OF COMPLIANCE. DOCUMENTATION SHALL BE PROVIDED FOR VERIFYING THAT RESILIENT FLOORING MATERIALS MEET THE POLLUTANT EMISSION LIMITS.

42. PROHIBIT SMOKING WITHIN 25 FEET OF BUILDING ENTRIES, OUTDOOR INTAKES AND OPERABLE WINDOWS. POST SIGNAGE WHEN LOCAL ORDINANCES OR POLICIES ARE NOT IN PLACE PER CGC 5.504.7.

43. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH REQUIREMENTS IN THE CALIFORNIA ENERGY CODE AND IN COMPLIANCE WITH CGC 5.106.8.



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BUILDING PERMIT

DATE 10/06/22

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Toject Name.		5 Delaware				WICC-FIXI-01-L	rage 1 of 12			
Project Address: 8	03 Delaware S	Stree	et Berkeley 9471	1.0		Calculation Date/Ti	ime: 1	3:23, Fri, A	ug 26, 2022	
nput File Name: 8	03 Delaware l	ight	ing.cibd19x							
A. GENERAL INFORMATION	ON									
1 Project Location (city)		Berkeley	Berkeley		Standards Version			Compliance2019	
2 CA Zip Code	e		94710		9	Compliance Softwa	ware (version)		EnergyPro 8.3	
3 Climate Zone	mate Zone		3		10	Weather File	her File		OAKLAND_724930_CZ2010.epw	
4 Total Conditioned Flo	al Conditioned Floor Area in Scope		880 ft ²		11	Building Orientation	ntation (deg)		(S) 180 deg	
5 Total Unconditioned	Floor Area		0 ft ²	0 ft ²		Permitted Scope of	oe of Work		ExistingAlteration	
6 Total # of Stories (Hal	Total # of Stories (Habitable Above Grade)		de) 1	1		Building Type(s)			Nonresidential	
7 Total # of dwelling un	nits		0		14	Gas Type		NaturalGas		
B. PROJECT SUMMARY Table Instructions: Table B sopermit application.				are included in the performance calcular	ation.	If indicated as not i	included,		t must show complianc	
Table Instructions: Table B s					ation.	If indicated as not i	included,		·	
Table Instructions: Table B s permit application.	Build	ling		omplying via Performance Covered Process: Commercial	ation.	Performance 7	The follow	Building wing building ace and sho	g Components Complying components are ON uld be documented on	ng Prescriptively LY eligible for prescriptive the NRCC form listed if withi
Table Instructions: Table B s	Build	ding	Components Co	omplying via Performance		Performance 7	The follow complian the scope	Building wing building ace and sho	g Components Complying components are ON uld be documented on the application (i.e. cor	ng Prescriptively LY eligible for prescriptive
Table Instructions: Table B sopermit application. Envelope (see Table G)	Build D	ding	Components Co	complying via Performance Covered Process: Commercial Kitchens		Performance 1	The follov complian the scope on the NI	Building wing building ace and sho e of the per RCC-PRF-E).	g Components Complying components are ON uld be documented on the application (i.e. cor	ng Prescriptively LY eligible for prescriptive the NRCC form listed if with
Table Instructions: Table B s permit application.	Build C	ding	Components Co Performance Not Included	omplying via Performance Covered Process: Commercial		Performance 1 Not Included 1 Performance 1	The follow complian the scope on the NI Indoor Li	Building wing building ace and sho e of the per RCC-PRF-E).	g Components Complying components are ON uld be documented on mit application (i.e. conconditioned)§140.6	ng Prescriptively LY eligible for prescriptive the NRCC form listed if with npliance will not be shown
Table Instructions: Table B sopermit application. Envelope (see Table G) Mechanical (see Table H)	Build C C	ding	Components Co Performance Not Included Performance	Covered Process: Commercial Kitchens Covered Process: Commercial		Performance Not Included Performance I Not Included O	The follow complian the scope on the NI Indoor Lig Outdoor	Building wing building nce and sho e of the per RCC-PRF-E).	g Components Complying components are ON uld be documented on mit application (i.e. conconditioned)§140.6	ng Prescriptively LY eligible for prescriptive the NRCC form listed if with npliance will not be shown NRCC-LTI-E
Table Instructions: Table B sopermit application. Envelope (see Table G)	Build	ding	Components Co Performance Not Included Performance Not Included	complying via Performance Covered Process: Commercial Kitchens		Performance Not Included Performance Not Included Performance Performance S	The follow complian the scope on the NI Indoor Lig Outdoor	Building wing building and sho e of the per RCC-PRF-E). Ighting (Unc. Lighting §1	g Components Complying components are ON uld be documented on mit application (i.e. conconditioned)§140.6	ng Prescriptively LY eligible for prescriptive the NRCC form listed if with npliance will not be shown NRCC-LTI-E NRCC-LTO-E NRCC-LTS-E
Table Instructions: Table B sopermit application. Envelope (see Table G) Mechanical (see Table H)	Build C C D D D D D D D D D D D	Illing	Components Co Performance Not Included Performance Not Included Performance	Covered Process: Commercial Kitchens Covered Process: Commercial		Performance Not Included Performance Not Included Performance Not Included Performance Not Included	The follor complian the scope on the NI Indoor Light Outdoor Sign Light Electrical escalator	Building wing building and sho e of the per RCC-PRF-E). Ighting (Und Lighting §140.8) I power system requirement applicable (if	g Components Complying components are ON uld be documented on mit application (i.e. conconditioned)§140.6 40.7 Mandatory Measters, commissioning, s	ng Prescriptively LY eligible for prescriptive the NRCC form listed if within pliance will not be shown NRCC-LTI-E NRCC-LTO-E NRCC -LTS-E ures olar ready, elevator and I should on the NRCC form
Table Instructions: Table B sopermit application. Envelope (see Table G) Mechanical (see Table H) Domestic Hot Water (see Table III)	Build C C D D D D D D D D D D D	Manager Andrews Andrew	Components Co Performance Not Included Performance Not Included Performance Not Included	Covered Process: Commercial Kitchens Covered Process: Commercial		Performance Not Included Performance Not Included Performance Not Included Performance Not Included	The follow compliant the scope on the NI Indoor Light Outdoor Sign Light Electrical escalator listed if a NRCC-PR.	Building wing building and sho e of the per RCC-PRF-E). ighting (Und Lighting §140.8) I power system requirement in policable (in F-E.)	g Components Complying components are ON uld be documented on mit application (i.e. conconditioned)§140.6 40.7 Mandatory Measterns, commissioning, sents are mandatory and	ng Prescriptively LY eligible for prescriptive the NRCC form listed if within pliance will not be shown NRCC-LTI-E NRCC-LTO-E NRCC -LTS-E ures olar ready, elevator and I should on the NRCC form
Table Instructions: Table B sopermit application. Envelope (see Table G) Mechanical (see Table H) Domestic Hot Water (see Table III)	Build D D D D D D D D D D D D D	dling	Components Co Performance Not Included Performance Not Included Performance Not Included	Covered Process: Commercial Kitchens Covered Process: Commercial		Performance Not Included Performance Not Included Performance Not Included Performance Not Included	The follow compliant the scope on the NI Indoor Light Outdoor Sign Light Electrical escalator listed if a NRCC-PR.	Building wing building and sho e of the per RCC-PRF-E). ighting (Und Lighting §140.8) I power system requirement in policable (in F-E.)	g Components Complying components are ON uld be documented on mit application (i.e. conconditioned)§140.6 40.7 Mandatory Measters, commissioning, sents are mandatory and i.e. compliance will not tribution S110.11	ng Prescriptively LY eligible for prescriptive the NRCC form listed if withinpliance will not be shown NRCC-LTI-E NRCC-LTO-E NRCC -LTS-E ures olar ready, elevator and I should on the NRCC form be shown on the

NRCC-PRF-01-E Page 1 of 12

Project Name:	803 Delaware	NRCC-PRF-01-E	Page 2 of 12
Project Address:	803 Delaware Street Berkeley 94710	Calculation Date/Time:	13:23, Fri, Aug 26, 2022
Input File Name:	803 Delaware lighting.cibd19x		
C1 COMPLIANCE PE	SHITS FOR DEREORMANCE COMPONENTS (Annual TDV Energy Use ART	1/f+ 2 vr\	

COMPLIES						
Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹			
Space Heating	43.09	66.24	-23.1			
Space Cooling	88.64	24.78	63.8			
Indoor Fans	266.42	43.95	222.4			
Heat Rejection						
Pumps & Misc.						
Domestic Hot Water	26.31	21.31	5.0			
Indoor Lighting	99.94	99.94				
ENERGY STANDARDS COMPLIANCE TOTAL	524.40	256.22	268.18 (51.1%			

☐ This project is pursuing CalGreen Tier 1	iect is pursuing CalGreen Tier 1			
Miscellaneous Energy Component	Standard Design (TDV)	Proposed Design (TDV)	Compliance Margin (TDV) ¹	
Receptacle	105.29	105.29		
Process				
Other Ltg				
Process Motors				
COMPLIANCE TOTAL PLUS MISCELLANEOUS COMPONENTS	629.69	361.51	268.2 (42.6%	

		NRCC-PRF-01-E	Page 3 of 12
Project Address: 803	3 Delaware Street Berkeley 94710	Calculation Date/Time:	13:23, Fri, Aug 26, 2022
Input File Name: 803	3 Delaware lighting.cibd19x	·	

ENERGY USE SU							
Ener	gy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margin (MBtu)
Sp	pace Heating		2.3	-2.3	19.4		19.4
Sį	oace Cooling	2.5	0.7	1.8			
I	ndoor Fans	8.3	1.3	7.0			
He	eat Rejection						
Pu	ımps & Misc.						
Dom	estic Hot Water	0.8	0.6	0.2			
Inc	door Lighting	3.0	3.0	0.0			>
Cor	npliance Total	14.6	7.9	6.7	19.4	0.0	19.4
	Receptacle	3.2	3.2	0.0			
	Process						
	Other Ltg						
Pro	ocess Motors						
	TOTAL	17.8	11.1	6.7	19.4	0.0	19.4

This project uses the Simplified Geometry Performance Modeling Approach which is not capable of moderequirements are met. PRESCRIPTIVE COMPLIANCE documentation (form NRCC-LTI-02-E) for the require required.	
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Report Version: NRCC-PRF-01-E-12092021-6844

This Section Does Not Apply

803 Delaware

Project Name:

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Generated at: 2022-08-26 13:24:08 Report Version: NRCC-PRF-01-E-12092021-6844 CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-08-26 13:24:08 CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Assembly Name

Report Generated at: 2022-08-26 13:24:08

Project Name:	803 Delaware	NRCC-PRF-01-E	Page 4 of 12
Project Address:	803 Delaware Street Berkeley 94710	Calculation Date/Time:	13:23, Fri, Aug 26, 2022
Input File Name:	803 Delaware lighting.cibd19x		

1	2	3	4
Opaque Surfaces & Orientation	Total Gross Surface Area (ft²)	Total Fenestration Area (ft²)	Window to Wall Ratio (%)
North-Facing ¹	225 ft²	16 ft²	07.
East-Facing ²	540 ft ²	12 ft ²	02.
South-Facing ³	225 ft²	53 ft ²	23.
West-Facing ⁴	540 ft ²	12 ft²	02.3
Total	1,530 ft²	92 ft²	06.0
of	0 ft ²	0 ft ²	00.00

¹ North-Facing is oriented to within 45 degrees of true north, including 45°00'00" east of north (NE), but excluding 45°00'00" west of north (NW).

² East-Facing is oriented to within 45 degrees of true east, including 45°00'00" south of east (SE), but excluding 45°00'00" north of east (NE). ³ South-Facing is oriented to within 45 degrees of true south, including 45°00'00" west of south (SW), but excluding 45°00'00" east of south (SE).

⁴ West-Facing is oriented to within 45 degrees of true west, including 45°00'00" north of due west (NW), but excluding 45°00'00" south of west (SW).

1	2	3	4	5	6	7	8	9
Surface Name	Surface Type	Area (ft²)	Framing Type	Cavity R-Value	Continuous R-Value	Units	Value	Description of Assembly Layers
R-0 Floor Crawlspace7	ExteriorFloor	880	NA	0	NA	U-Factor	0.166	Air - Floor - 3 1/2 in. Air - Cavity - Wall Roof Ceiling - 4 in. or more Plywood - 1/2 in. Carpet - 3/4 in.
R-0 Wall9	ExteriorWall	1530	NA	0	NA	U-Factor	0.300	Siding - Wood - bevel - 10 in lapped - 3/4 in. Vapor permeable felt - 1/8 in. Air - Cavity - Wall Roof Ceiling - 4 in. or more Gypsum Board - 1/2 in.

¹ Status: N - New, A – Altered, E – Existing

Project Name: 803 Delaware

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance	Report Version: NRCC-PRF-01-E-12092021-6844	Report Generated at: 2022-08-26 13:24:08

Project Name:	803 Delaware		NRCC-PRF-01-E	Page 5 of 12		
Project Address:	803 Delaware Street Berkeley 947	Calculation Date/Time:	13:23, Fri, Aug 26, 2022			
Input File Name:	803 Delaware lighting.cibd19x					
G4. OPAQUE DOOR	G4. OPAQUE DOOR SUMMARY					
	1			3		

0.500

1	2	3	4	5	6	7	8	9
Fenestration Assembly Name / Tag or I.D.	Fenestration Type / Product Type / Frame Type	Certification Method ¹	Assembly Method	Area ft²	Overall U-factor	Overall SHGC	Overall VT	Status
Single Wood Clear	VerticalFenestration FixedWindow NonMetalFraming	Default Performance	SiteBuilt	82	1.04	0.76	0.77	Е
Single Non Metal Clear	VerticalFenestration FixedWindow NonMetalFraming	Default Performance	SiteBuilt	10	1.04	0.76	0.77	N

Newly installed fenestration shall have a certified NFRC Label Certificate or use the CEC default tables found in Table 110.6-A and Table 110.6-B. Center of Glass (COG) values are for the glass-only, determined by the manufacturer, and are shown for ease of verification. Site-built fenestration values are calculated per Nonresidential Appendix NA6 and are used in the analysis. ² Status: N - New, A - Altered, E - Existing

1	2	3	4	5	6	7	8	9	10	11	12
			Heating	g			Cooling				
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtuh)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	Status
System 1	MiniSplitHP (Split3Phase)	2	19	0	HSPF	12.50	12	SEER/EER	26.10 / 13.80	NA	N

Report Generated at: 2022-08-26 13:24:08

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Project Address:										303 Delaware Rage 0 01 12					
,	I	803 Delaware	Delaware Street Berkeley 94710 Calculation Date/Time: 13:23, Fri, Aug 26, 2022						13:23, Fri, A	Aug 26,	2022				
Input File Name:		803 Delaware	lighting.cibo	19x											
H2. FAN SYSTEMS	SUM	MARY						:							
1	2	3	4	5	6		7	8	9	10		11	12	13	
		Design OA			Supply I	Fan					Return Fan				
Name or Item Tag	Qty	CFM	CFM	Modeling Method	Powe	er	Power Units	Control	СҒМ	Modeling Me	ethod	Power	Power Units	Control	
System 1	2	0	400	BrakeHorsePower	0.092	2	bhp	ConstantVolume	NA	NA		NA	NA	NA	
Status: N - New, A - Alter	red, E – I	Existing								•					
H3. EXHAUST FAN	SUM	MARY												Т -	
1							4	5		6	l	7		8	
				2		3			-		 			<u> </u>	
System	ID		7	Zone Name		Qty	CFM	Motor BHF	Po	ower Per Flow (W/cfm)	Tota	al Static Press	sure (in. H ₂ O)	Status ¹	
Front3 Status: N - New, A - Alter 14. Wet System E	ed, E – I	nent (boilers,		One Name 1-Front	(Po		Tota	al Static Press		Status ¹ Z	
Front3 Status: N - New, A - Alter H4. Wet System E This Section Does No H5. PUMPS	guipn ot App	nent(boilers,		One Name 1-Front	(Qty	CFM	Motor BHF	Po	(W/cfm)	Tota				
Front3 Status: N - New, A - Alter H4. Wet System E This Section Does No H5. PUMPS This Section Does No	quipn ot App	nent(boilers,		One Name 1-Front	(Qty	CFM	Motor BHF	Po	(W/cfm)	Tota				
	quipn ot App ot App	nent(boilers,		One Name 1-Front	(Qty	CFM	Motor BHF	Po	(W/cfm)	Tota				
Front3 Status: N - New, A - Alter H4. Wet System E This Section Does No H5. PUMPS This Section Does No H6. SYSTEM SPECI	quipn ot App ot App	nent(boilers,	chillers,coo	1-Front sling towers,etc.)	(Qty 1	216	Motor BHF 0.092	Po	(W/cfm) 0.370		1.75	5		
Front3 Status: N - New, A - Alter H4. Wet System E This Section Does No H5. PUMPS This Section Does No H6. SYSTEM SPECI	quipn quipn ot App ot App	nent(boilers,	chillers,coc	Ing towers,etc.)		Qty 1	CFM 216 3 andow Interlo	Motor BHF 0.092	Po	(W/cfm) 0.370	r Specia	1.75	nd Controls		



NRCC-PRF-01-E Page 8 of 12

Efficiency Unit

Lighting Control Credits

Report Version: NRCC-PRF-01-E-12092021-6844

Calculation Date/Time: 13:23, Fri, Aug 26, 2022

Tank Insulation R-value (Int/Ext)

Standby Loss Fraction

Tailored Method (Watts)

Report Generated at: 2022-08-26 13:24:08

Zone Name 1-Front		Retail - Sales	7.33	220	220	880	NA	
		Ventilation Function		Supply OA CFM	Exhaust CFM	Conditioned Area (sf)	Controls, or Both	
			Mechanical Ve	ntilation			DCV or Occupant Sensor	
1 2		2	3	4	5	6	7	
H7. NONRESIDENT	AL VENTILATION							
nput File Name:	803 Delaware lig	hting.cibd19x						
roject Address:	803 Delaware St	reet Berkeley 94710	C	Calculation Date/Time:		13:23, Fri, Aug 26, 2022		
Project Name:	803 Delaware			NRCC-PRF-01-E		Page 7 of 12		

He. Hell-Rise Residential DWELLING ONLY AND HOTEL VENTILATION	
This Section Does Not Apply	

H9. ZONAL SYSTEM A	ND TERMINAL UNIT S	UMMARY										
1	2	3	4	5	6	7	8	9	10	11	12	13
System ID Zone Name	Contain Time		Rated Capacity (kBtuh)		Ai	rflow (cfm)		Fan				
System io	Zone Name	System Type	Qty	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	VSD
System 1	1-Front	MiniSplitHP	2	19.00	12.00	400	NA	NA	0.092	bhp		

H10. EVAPORATIVE COOLER SUMMAR	RY	
This Section Does Not Apply		
H11. HEAT RECOVERY SUMMARY		

This Section Does Not Apply

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Mechanical NRCI-MCH-01-E - Must be submitted for all buildings

Plumbing NRCI-PLB-01-E - Must be submitted for all buildings

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-08-26 13:24:08

Report Generated at: 2022-08-26 13:24:08

803 Delaware

Input File Name: 803 Delaware lighting.cibd19x

K1. INDOOR CONDITIONED LIGHTING GENERAL INFO

³Lighting information for existing spaces modeled is not included in the table

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

803 Delaware

Building Totals:

² See NRCC-LTI-01-E for unconditioned spaces

I1. WATER HEATER EQUIPMENT SUMMARY

Element Type

803 Delaware Street Berkeley 94710

Conditioned Floor Area ² (ft²)

26.00

Installed Lighting Power

Project Name: Project Address:

Retail Sales Area (Retail

Merchandise Sales)

¹ See Table 140.6-C

Project Name:

iect Name:	803 Delaware	NRCC-PRF-01-E	Page 10 of 12
		Calculation Date/Time:	
ut File Name:	803 Delaware lighting.cibd19x		
DECLARATION OF RE	FOLLIRED CERTIFICATES OF INSTALLATION		

Report Version: NRCC-PRF-01-E-12092021-6844

L. DECLARATION OF R	DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION						
compliance. These doc	ections shall be made by Documentation Author to indicate which Certificates of Installation must be submitted for the features to be recognized for cuments bust be retained and provided to the building inspector during construction and can be found online at: a.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCI/						
Building Component	Form/Title						
Envelope	NRCI-ENV-01-E - Must be submitted for all buildings						

Project Address:	803 Delaware Street Berkeley 94710	Calculation Date/Time:	13:23, Fri, Aug 26, 2022
Input File Name:	803 Delaware lighting.cibd19x		
M. DECLARATION OF F	REQUIRED CERTIFICATES OF ACCEPTANCE		
compliance. These doc	ections shall be made by Documentation Author to indicate which Certific uments must be provided to the building inspector during construction a nore information visit:https://www.energy.ca.gov/title24/2019standard	and must be completed	through an Acceptance Test Technician Certification
Building Component		Form/Title	
Envelope	NRCA-ENV-02-F - NRFC label verification for fenestration		

NRCC-PRF-01-E Page 11 of 12

aer (/ 1/ / er /: / er /	note information visitinities, y, www.energy.eurgov, and 24, 2015 standards, 2015 _comprainte_about interest, not including the angle of the comprainter and the compr
ding Component	Form/Title
Envelope	NRCA-ENV-02-F - NRFC label verification for fenestration
	NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed HVAC units. Note: MCH02-A can be performed in conjunction with MCH-07-A Supply Fan VFD Acceptance (if applicable) since testing activities overlap
Mechanical	NRCA-MCH-03-A Constant Volume Single Zone HVAC
	NRCA-MCH-11-A Automatic Demand Shed Controls
	NRCA-MCH-13-A Automatic FDD for Air Handling Units and Zone Terminal Units Acceptance

Report Generated at: 2022-08-26 13:24:08 CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Project Name:	803 Delawar	re	NRCC-PRF-01-E	Page 9 of 1	2		
Project Address:	803 Delawar	e Street Berkeley 94710	Calculation Date/Tir	me: 13:23, Fri, A	Aug 26, 2022		
Input File Name:	803 Delawar	e lighting.cibd19x					
K4. INDOOR COND	ITIONED LIGHTI	NG MANDATORY LIGHTING CONTROLS					
Building Level Cont	rols						
		1				2	
	·	Mandatory Demand Response §110.12(c)			Shut-Off Cont	trols §130.1(c)	
Area Level Control	(includes all lig	ghting controls installed in conditioned space to meet ma	indatory requireme	nts per §130.1)			
4		5	6	7	8	9	10
Area Descrip	otion	Area Category Primary Function Area	Area Controls 130.1(a)	Multi-Level Controls 130.1(b)	Shut-Off Controls 130.1(c)	Primary Daylighting 130.1(d)	Secondary Daylighting 140.5(d)

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

803 Delaware

Project Address: 803 Delaware Street Berkeley 94710

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

I certify the following under penalty of perjury, under the laws of the State of California: 1. The information provided on this Certificate of Compliance is true and correct.

plans and specifications submitted to the enforcement agency for approval with this building permit application.

Input File Name: 803 Delaware lighting.cibd19x

RESPONSIBLE PERSON'S DECLARATION STATEMENT

Responsible Envelope Designer Name: Gunkel Architecture

Documentation Author Name: Sharon Block Company: Bright Green Strategies, Inc. Address: 820 Delaware Street

City/State/Zip: Berkeley CA 94710

Company: Gunkel Architecture Address: 1295 59th Street

Phone: 510-984-1112

City/State/Zip:

City/State/Zip:

City/State/Zip: Emeryville CA 94608

Responsible Lighting Designer Name:

Responsible Mechanical Designer Name: - specify -

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Phone: 510-863-1109

Project Name:

Report Version: NRCC-PRF-01-E-12092021-6844

Signature Date: 2022-08-26

2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer)

inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requiren

of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations,

5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable

Signature:

Date Signed:

Title:

Signature:

Date Signed:

Date Signed:

Report Version: NRCC-PRF-01-E-12092021-6844

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License #:

License #:

License #:

Report Generated at: 2022-08-26 13:24:08

Calculation Date/Time: 13:23, Fri, Aug 26, 2022

CEA/ HERS Certification Identification (if applicable): 3074

03 B

TITLE 24

BUILDING PERMIT

DATE 10/06/22

A0.3

* 8 No	. C-30424	和
12/ 1/	31/23 RENEWAL DATE	1
AL OF	CALIF	V

Report Generated at: 2022-08-26 13:24:08

Page 560

STATE OF CALIFORNIA **Domestic Water Heating System** NRCC-PLB-E This document is used to demonstrate compliance for nonresidential occupancies with requirements in §110.1, §110.3, §120.3, and §140.5, and with requirements in §141.0 for additions and alterations, for domestic water heating scopes using the prescriptive path. For high-rise residential and hotel/motel occupancies compliance is demonstrated with requirements in §110.1, §110.3, §120.3, §150.0 and §150.1(c)8, and with requirements §150.2 for additions. Retail Renovation Report Page: Project Name: 803 Delaware Street Date Prepared: Project Address: A. GENERAL INFORMATION 01 Project Location (city) 02 Climate Zone 03 Occupancy Types Within Project (select all that apply) ☐ High-Rise Residential ☐ Hotel/Motel ☐ Healthcare Facility ☐ Other (Write In) ☐ State Building B. PROJECT SCOPE This table includes domestic water heating systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive paths outlined in §140.5 \$150.1(c)8, and \$141.0(a), or \$141.0(b)2N for additions or alterations. Solar water heating systems are documented on the NRCC-SRA compliance document. Combined hydronic water heating systems are documented on the NRCC-MCH compliance document. My project consists of (check all that apply): New system (DHW system being installed for the first time in newly ndividual System (serving nonresidential spaces) constructed building) System Alteration (equipment, distribution or controls) ¹FOOTNOTES: Point of use water heaters, or other non-central systems used to serve nonresidential spaces, are considered individual systems. ² Dwelling units refers to hotel/motel guest rooms and units in a high-rise residential occupancy.

CERTIFICATE OF COMPLIANCE NRCC-PLB-E Retail Renovation Report Page:
803 Delaware Street Date Prepared: Project Name: (Page 2 of 6) Project Address: 8/26/2022 C. COMPLIANCE RESULTS Table C will indicate if the project data input into the compliance document is compliant with water heating requirements. If this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D. or the table indicated as not compliant for guidance. Domestic Hot Water Equipment **Distribution Systems** Controls **Compliance Results** Table F Table G Table H COMPLIES D. EXCEPTIONAL CONDITIONS This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form. This table is includes remarks made by the permit applicant to the Authority Having Jurisdiction.

Domestic Water Heating System CERTIFICATE OF COMPLIANCE Retail Renovation Report Page: 803 Delaware Street Date Prepared: Project Name: Project Address: F. DOMESTIC HOT WATER EQUIPMENT This table is used to demonstrate compliance with mandatory equipment requirements in §110.1 and §110.3. For high-rise residential and hotel/motel occupancies, compliance with prescriptive requirements in §150.1(c)8 must also be demonstrated and with §150.2 for addition and alteration scopes. Equipment Schedule: Individual Systems 01 Max GPM/ First Rated Uniforn Name or **Equipment Type** Volume (gal) Hour Rating Energy Factor Minimum Required Uniform Energy Factor (UEF)¹ Item Tag (FHR) (UEF) D WHITE Electric Storage 0 <= FHR <18 RE230LN* ¹FOOTNOTE: Compliant equipment may be found in the Modernized Appliance Efficiency Database System (MAEDBS) on the Energy Commission website: https://cacertappliances.energy.ca.gov/Pages/Search/AdvancedSearch.aspx Water Heating Equipment All Occupancies

No Not Applicable Infired storage tank insulation shall have Internal + External >=R-16 OR External >=R-12. Label required New state buildings 60% of energy for service water heating from site solar energy or recovered energy lsolation valves for instantaneous water heater with input rating >6.8 kBTUH or 2 kW has been specified

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance

Report Version: 2019.1.003 Schema Version: rev 20200601

Registration Date/Time:

Registration Provider: Energysoft Report Generated: 2022-08-26 13:32:50

System Components

☑ Equipment ☑ Distribution ☑ Controls

☐ Distribution ☐ Controls

CALIFORNIA ENERGY COMMISSION

8/26/2022

Registration Number:

STATE OF CALIFORNIA

Domestic Water Heating System

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance

Registration Date/Time: Report Version: 2019.1.003 Schema Version: rev 20200601

Report Generated: 2022-08-26 13:32:50

Report Generated: 2022-08-26 13:32:50

Registration Provider: Energysoft

CALIFORNIA ENERGY COMMISSION

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance

STATE OF CALIFORNIA

Report Version: 2019.1.003 Schema Version: rev 20200601

Registration Date/Time:

Registration Provider: Energysoft Report Generated: 2022-08-26 13:32:50

CALIFORNIA ENERGY COMMISSION

NRCC-PLB-E

(Page 3 of 6)

8/26/2022

STATE OF CALIFORNIA

Registration Number:

Domestic Water Heating System CALIFORNIA ENERGY COMMISSION NRCC-PLB-E CERTIFICATE OF COMPLIANCE NRCC-PLB-E Retail Renovation Report Page:
803 Delaware Street Date Prepared: Project Name: (Page 4 of 6) Project Address: 8/26/202

G. DOMESTIC HOT WATER DISTRIBUTION SYSTEM This table is used to demonstrate compliance for nonresidential occupancies with distribution requirements in §120.3 and §140.5. For high-rise residential and hotel/motel occupancies, compliance is demonstrated with requirements §110.3(c), §120.3, §150.0, §150.1 Mandatory Pipe Insulation All Occupancies or systems serving nonresidential spaces, pipe insulation for the following applications is specified to comply with Table 120.3-A (see below) per §120.3: Recirculating system piping, including supply and return piping of the water heater \boxtimes The first 8 ft of hot and cold outlet piping, including between storage tank and heat trap, for a nonrecirculating storage system Pipes that are externally heated ulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather shall be installed with a cover suitable for outdoor service per §120.3(b) and §150.0(j)3 TABLE 120.3-A PIPE INSULATION THICKNESS

Nominal Pipe Diameter (in) Conductivity Range Fluid Temperature Range (°F) (Btu-in per hour nsulation Mean Rating Temp (°F) 1 to < 1.5 per ft² per °F) Minimum Insulation Required 105-140 0.22 - 0.28 1.0 in or R-7.7 1.5 in or R-12.5

Registration Number: Registration Date/Time: Registration Provider: Energysoft CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Report Generated: 2022-08-26 13:32:50 Report Version: 2019.1.003 Schema Version: rev 20200601

STATE OF CALIFORNIA **Domestic Water Heating System**

H. DOMESTIC HOT WATER CONTROLS

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance

CALIFORNIA ENERGY COMMISSION NRCC-PLB-E CERTIFICATE OF COMPLIANCE NRCC-PLB-E Retail Renovation Report Page: (Page 5 of 6) Project Name: 803 Delaware Street Date Prepared: 8/26/2022 Proiect Address:

This table is used to demonstrate compliance with control requirements in \$110.3 for all occupancies. For high-rise residential and hotel/motel occupancies, compliance is also monstrated with requirements in §150.1(c)8. Requirement Applicable Construction documents require manufacturer certification that service water-heating systems are equipped with automatic \boxtimes perature controls capable of adjusting temperature settings per §110.3(a). Systems with capacity > 167,000 BTUH equipped with outlet temperature controls per $\frac{§110.3(c)1}{}$ unless covered by California Plumbing Code 613.0. Controls for circulating pumps or electrical heat trace systems are capable of automatically turning off the system per 03 110.3(c)2 unless systems serves healthcare facility. For recirculation systems serving multiple dwelling units, design includes automatic pump controls per §150.1(c)8Bii, or §150.2 For recirculation systems serving individual dwelling units, design includes manual on/off controls as specified in Reference pendix RA4.4.9 per §150.1(c)8. For replacement single heat pump water heaters serving individual dwelling units in climate zone 1-15, design includes mmunication interface that meets demand responsive control requirements of \$110.12(a) per \$150.2(b)1Hiii.

I. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCI/ Field Inspector Pass Fail NRCI-PLB-01-E - Must be submitted for all buildings J.DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE There are no Certificates of Acceptance applicable to service water heating requirements. K. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION There are no NRCV forms required for this project. Registration Date/Time: Registration Provider: Energysoft

Report Version: 2019.1.003

Schema Version: rev 20200601

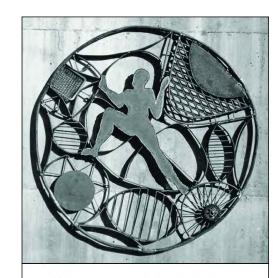
STATE OF CALIFORNIA **Domestic Water Heating System** NRCC-PLB-E

CALIFORNIA ENERGY COMMISSION CERTIFICATE OF COMPLIANCE NRCC-PLB-E Retail Renovation Report Page: Project Name: (Page 6 of 6) 803 Delaware Street Date Prepared: Project Address: 8/26/2022

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT I certify that this Certificate of Compliance documentation is accurate and complete. Sharon Block Bright Green Strategies, Inc. 2022-08-26 820 Delaware Street 3074 Berkeley CA 94710 510-863-1109 RESPONSIBLE PERSON'S DECLARATION STATEMENT I certify the following under penalty of perjury, under the laws of the State of California: The information provided on this Certificate of Compliance is true and correct. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer) The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirement of Title 24, Part 1 and Part 6 of the California Code of Regulations. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

esponsible Designer Name: AMBER BAKER Responsible Designer Signature: Date Signed: GUNKEL ARCHITECTURE 2022-08-26 1295 59TH ST. EMERYVILLE, CA 94608

Registration Date/Time: Registration Provider: Energysoft CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Report Version: 2019.1.003 Report Generated: 2022-08-26 13:32:50 Schema Version: rev 20200601



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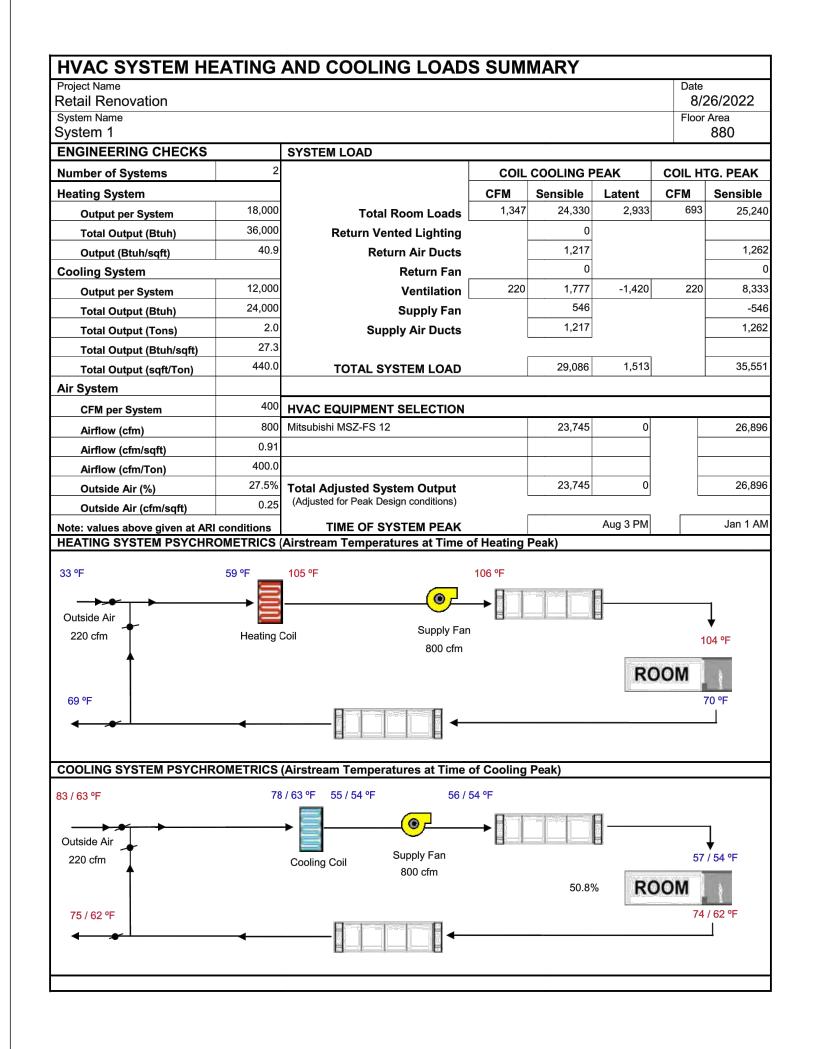


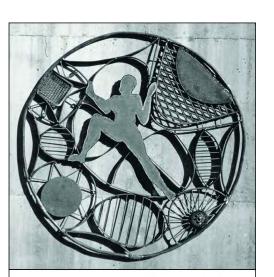
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TITLE 24

BUILDING PERMIT

DATE 10/06/22





GUNKEL ARCHITECTURE



RENOVATION 803 DELAWARE STREET BERKELEY, CA 94710

TITLE 24

BUILDING PERMIT

DATE 10/06/22

CERTIFICATE OF COMPLIANCE					NRCC-L
+	rate compliance with requirements in £1	(10.0 £110.12/a) £120.0 £120.1 £140.6	and \$1.41 O/h)2 for in	door lighting scones using the	
path.	rate compilance with requirements in §1	10.9, §110.12(c), §130.0, §130.1, §140.6	ana <u>9141.0(b)2</u> Jor in	aoor lighting scopes using the	orescriptive
Project Name:		Retail Renovation Report Page:			(Page 1 c
Project Address:	8	303 Delaware Street Date Prepared:			8/26/2
A. GENERAL INFORMATION					
01 Project Location (city)	Berkeley	04 Total Condition	ned Floor Area (ft²)	880	
02 Climate Zone	3	05 Total Uncondi	itioned Floor Area (ft²)	0	
03 Occupancy Types Within Project	ct (select all that apply):	06 # of Stories (labitable Above Grade	1	
	et (sereet un that appry).	00 # 01 3101163 (1	iabitable Above Grade	/ +	
1 , , ,	et (select all that apply).	00 # 01 Stories (1	labitable Above Grade	, 1	
Retail	et (sereet an triat appry).	oo # or stories (i	labitable Above Grade	1	
Retail	et (sereet all that appry).	oo # or stories (i	abitable Above Grade	, 1	
Retail					
Retail		rmit application and are demonstrating c			<u>0.6</u> or
Retail			ompliance using the p		
Retail	tems that are within the scope of the pe	rmit application and are demonstrating c	ompliance using the p	rescriptive path outlined in §14	
● Retail ● Support Areas B. PROJECT SCOPE This table includes any lighting systems states for alterations. Scott	tems that are within the scope of the pe	rmit application and are demonstrating o	ompliance using the p	rescriptive path outlined in <u>§14</u> Unconditioned Sp	aces
● Retail ● Support Areas B. PROJECT SCOPE This table includes any lighting systems states for alterations. Scott	tems that are within the scope of the pe ope of Work 01	rmit application and are demonstrating of Conditioned Space 02	ces 03	rescriptive path outlined in <u>§14</u> Unconditioned Sp 04	aces 05
Retail	tems that are within the scope of the peope of Work 01 sts of (check all that apply):	rmit application and are demonstrating of Conditioned Space 02	ces 03	rescriptive path outlined in <u>§14</u> Unconditioned Sp 04	aces 05
■ Retail ■ Support Areas B. PROJECT SCOPE This table includes any lighting system Scott My Project Consist New Lighting System	tems that are within the scope of the peope of Work 01 sts of (check all that apply):	rmit application and are demonstrating of Conditioned Space 02	ces 03	rescriptive path outlined in <u>§14</u> Unconditioned Sp 04	aces 05

Registration Number: Registration Date/Time: Registration Provider: Energysoft CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Report Generated: 2022-08-26 17:18:05 Report Version: 2019.1.003 Schema Version: rev 20200601

STATE OF CALIFORNIA **Indoor Lighting** CALIFORNIA ENERGY COMMISSION CERTIFICATE OF COMPLIANCE NRCC-LTI-E Retail Renovation Report Page: 803 Delaware Street Date Prepared: (Page 2 of 7) Project Name: 8/26/2022 Project Address:

		Allowed Light	ing Power per	§140.6(b) (Wa	atts)			Adjusted Ligi	nting Power per	§14	0.6(a) (Watts)	Compliance Result
Lighting in	01	02	03	04		05	1	06	07		08	09
conditioned and unconditioned spaces must not be combined for compliance per §140.6(b)1	Complete Building §140.6(c)1	Area Category §140.6(c)2	Area Category Additional §140.6(c)2G (+)	Tailored §140.6(c)3 (+)	=	Total Allowed (Watts)	2	Total Designed (Watts)	Adjustments PAF Lighting Control Credits §140.6(a)2 (-)	=	Total Adjusted (Watts) *Includes Adjustments	05 must be >= 08 §140.6
Conditioned	(See Table I)	(See Table I) 811.8	0	(See Table K)	=	812	+	(See Table F) 896	(See Table P)	_	806	COMPLIES
Unconditioned		311.8	0		=	012	≥	830	30	=	800	COMPLIES
								Controls C	ompliance (See	Tab	le H for Details)	COMPLIES

D. EXCEPTIONAL CONDITIONS This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS	
This table includes remarks made by th	ne permit applicant to the Authority Having Jurisdiction.
F. INDOOR LIGHTING FIXTURE SCH	EDULE

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance

This table include	es all permanent designed	lighting and all pe	ortable lighting	in offices.						
Designed Watta	ge: Conditioned Spaces									
01	02	03	04	05	06	07	08	09	1	.0
Name or Item	Complete Luminaire	Modular	Small Aperture &	Watts per			Excluded per	Design Watts	Field In	spector
Tag	Description	(Track) Fixture	Color Change ¹	luminaire ²	determined	of Luminaires	§140.6(a)3	Design wates	Pass	Fail
P1	LED 2	No	No	64	Mfr. Spec	2	No	128		
P2	LED 2	No	No	64	Mfr. Spec	2	No	128		
Pogistration Num	· 	•		D. dat	ration Date/Time:			D'	tion Providor	

Report Version: 2019.1.003

Schema Version: rev 20200601

Report Generated: 2022-08-26 17:18:05

CERTIFICATE OF COMPLIANCE Retail Renovation Report Page:
803 Delaware Street Date Prepared: Project Name: Project Address:

NDOOR LI	GHTING FIXTURE SCHEDULE								
R1	LED	No	No	32	Mfr. Spec	12	No	384	
R2	LED3	No	No	48	Mfr. Spec	4	No	192	
R3	LED	No	No	32	Mfr. Spec	2	No	64	
					Total Design	ed Watts: CON	DITIONED SPACES	896	

¹FOOTNOTE: Design Watts for small aperture and color changing luminaires which qualify per <u>§140.6(a)4B</u> is adjusted to be 75% of their rated wattage. Table F automatically makes this adjustment, the permit applicant should enter full rated wattage in column 05. ²Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per §130.0(c) Wattage used must be the maximum rated for the luminaire, not

G. MODULAR LIGHTING SYSTEMS	
This section does not apply to this project.	
H. INDOOR LIGHTING CONTROLS (Not including PAFs)	

This table includes lighting controls for conditioned and unconditioned spaces. When a control having a * is shown, the notes section of this table provides more detail on how compliance is achieved. The lighting controls section of the Compliance Summary Table on the first page will show "DOES NOT COMPLY" if the notes are left blank. **Building Level Controls**

	01				02			0	3
Mandatory F	Demand Response §110.12(c)			Shut-off o	ontrols <u>§130.1(c)</u>			Field In	spector
Walldatory E	pernand Response <u>\$110.12(c)</u>			Shat-on c	Ontrois <u>3130.1(c)</u>			Pass	Fail
Re	equired > 10,000 SF			Whole Buildi	ng Auto Time Swi	itch			
Area Level Controls									
04	05	06	07	08	09	10	11	1	2
					D . (c)				

Area Description	Complete Building or Area Category Primary Function Area	Area Controls §130.1(a)	Multi-Level Controls §130.1(b)	Shut-Off Controls §130.1(c)	Primary/Sky lit Daylighting §130.1(d)	Daylighting	Interlocked Systems §140.6(a)1	Field I	nspector
					9130.1(0)			Pass	Fail

Registration Date/Time: Registration Provider: Energysoft Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Report Version: 2019.1.003 Report Generated: 2022-08-26 17:18:05 Schema Version: rev 20200601

STATE OF CALIFORNIA

STATE OF CALIFORNIA

Indoor Lighting CALIFORNIA ENERGY COMMISSION NRCC-LTI-E CERTIFICATE OF COMPLIANCE NRCC-LTI-E Retail Renovation Report Page:
803 Delaware Street Date Prepared: Project Name: (Page 4 of 7) Project Address: 8/26/2022

H. INDOOR LIGHTING CONTROLS (Not including PAFs) *NOTES: Controls with a * require a note in the space below explaining how compliance is achieved. EX: Conference 1: Primary/Skylight Daylighting: Exempt because less than 120 watts of general lighting; EXCEPTION 1 Plan Sheet Showing Daylit Zones: to §130.1(d)2

I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS

Each area complying using the Complete Building or Area Category Methods per §140.6(b) are included in this table. Column 06 indicates if additional lighting power allowances per §140.6(c) or adjustments per §140.6(a) are being used .

conditioned Spaces								
01	02	03	04	05	06			
Area Description	Complete Building or Area Category Primary	Allowed Density	Area (ft²)	Allowed Wattage	Additional Allowance / Adjustment			
Area Description	Function Area	(W/ft ²)	Area (IL-)	(Watts)	Area Category	PAF		
Front	Retail Merchandise Sales	1	685	685	No	Yes		
Back	Restrooms	0.65	195	126.8	No	Yes		
		880	811.8	See Tables J,	or P for detail			

Registration Date/Time:

J. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM

This section does not apply to this project.

K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE This section does not apply to this project.

L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY

This section does not apply to this project.

M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING This section does not apply to this project.

N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED ORNAMENTAL/SPECIAL EFFECTS This section does not apply to this project.

Registration Number:

CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Report Version: 2019.1.003 Schema Version: rev 20200601

Registration Provider: Energysoft Report Generated: 2022-08-26 17:18:05

STATE OF CALIFORNIA

Indoor Lighting CALIFORNIA ENERGY COMMISSION NRCC-LTI-E CERTIFICATE OF COMPLIANCE NRCC-LTI-E Retail Renovation Report Page: (Page 5 of 7) Project Name: 803 Delaware Street Date Prepared: 8/26/2022 Project Address:

O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE This section does not apply to this project.

P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF)) This table includes all areas indicated in Table I or Table K as using a PAF credit described in <u>§140.6(a)2</u>.

Conditioned Spaces																
01					()2			03	04	05	06	07			
				PA	F per §	140.6(a	<u>)2</u> 1		Lur	ninaires Contro	olled for PAF Cre	edit	Control			
Area Description	1	2A	2B	2C	3A	3B	4	5	6	7	Luminaire	Luminaire	Number of	Lighting	Credit Pow	
	Pick up to one					Pick up to one Pick			k up to one		Name or Item Tag	Design Watts		Controlled (Watts)	Adjustmen (Watts)	
Front											R1	32	10	320	32.0	
Front	×										R2	48	4	192	19.2	
Front											P1	64	2	128	12.8	
Front											P2	64	2	128	12.8	
Back											R1	32	2	64	6.4	
Back	\boxtimes										R3	32	2	64	6.4	
	08									09						
All spaces applying PAF 5, 6 or 7 include a daylight design											Total Power	Adjustment (W	Vatts) CONDITI	ONED SPACES:	89.6	

meeting requirements in §140.3(d). See Table S. ¹ FOOTNOTES: PAFs outlined in Table 140.6-A include 1) Daylight dimming plus OFF; 2A) Occupant sensors in offices [dlte/] 125 ft²; 2B) Occupant sensors in offices 126 - 250 ft²; 2C) Occupant sensors in offices 251 - 500 ft²; 3A) Institutional tuning, non-daylit areas and 3B) Institutional tuning, daylit areas; 4) Demand response; 5) Clerestory fenestration; 6) Horizontal slats; 7) Light shelves.

Q. RATED POWER REDUCTION COMPLIANCE FOR ALTERATIONS This section does not apply to this project.

R. 80% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS

This section does not apply to this project.

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Registration Date/Time: Report Version: 2019.1.003

Schema Version: rev 20200601

Registration Provider: Energysoft Report Generated: 2022-08-26 17:18:05 STATE OF CALIFORNIA **Indoor Lighting**

STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION NRCC-LTI-E CERTIFICATE OF COMPLIANCE Project Name: Retail Renovation Report Page: (Page 6 of 7) 803 Delaware Street Date Prepared: Project Address: 8/26/2022

S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF) This table documents clerestories, horizontal slats or light shelves meet the requirements in §140.3(d) if a Power Adjustment Factor was claimed on Table P. These features must be

documented on the architectural plans or where appropriate within the construction documents. This PAF also must be verified in the field with an acceptance test per Table U. Compliance Strategy

T. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCI/ Field Inspector

Form/Title Pass Fail NRCI-LTI-01-E - Must be submitted for all buildings NRCI-LTI-05-E- Must be submitted for a Power Adjustment Factor (PAF) to be recognized for compliance.

U. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Selections have been made based on information provided in this document. If any selection have been changed by the permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and any with "-A" in the form name must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: http://www.energy.ca.gov/title24/attcp/providers.html Systems/Spaces To Be Field

Verified

Pass Fail NRCA-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls. NRCA-LTI-04-A - Must be submitted for demand responsive lighting controls.

Registration Date/Time: Registration Provider: Energysoft CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance Report Generated: 2022-08-26 17:18:05 Report Version: 2019.1.003 Schema Version: rev 20200601



ARC

CALIFORNIA ENERGY COMMISSION

NRCC-LTI-E

(Page 3 of 7)

8/26/2022



0

TITLE 24

BUILDING PERMIT

DATE 10/06/22

STATE OF CALIFORNIA

Indoor Lighting
NRCC-LTI-E

CERTIFICATE OF COMPLIANCE

Project Name:
Retail Renovation Report Page:
Retail Renovation Report Page:
803 Delaware Street Date Prepared:
8/26/2022

DOCUMENTATION AUTI	HOR'S DECLARATION STATEMENT								
I certify that this Certifi	cate of Compliance documentation is accurate and compl	ete.							
Documentation Author Name: Sharon Block		Documentation Author Signature:							
Company: Bright Green Strategies, In	с.	Signature Date:							
Address: 820 Delaware Street		CEA/ HERS Certification Identificati 3074	ion (if applicable):						
City/State/Zip: Berkeley CA 94710		Phone: 510-863-1109							
I certify the following under pend 1. The information prov 2. I am eligible under D 3. The energy features of Title 24, Part 1 and 4. The building design find plans and specification 5. I will ensure that a continuous inspections. I understimes	S DECLARATION STATEMENT alty of perjury, under the laws of the State of California: vided on this Certificate of Compliance is true and correct. ivision 3 of the Business and Professions Code to accept responsibility for the bui and performance specifications, materials, components, and manufactured devic d Part 6 of the California Code of Regulations. eatures or system design features identified on this Certificate of Compliance are ons submitted to the enforcement agency for approval with this building permit a completed signed copy of this Certificate of Compliance shall be made available wi tand that a completed signed copy of this Certificate of Compliance is required to	es for the building design or system of consistent with the information pro- pplication. th the building permit(s) issued for the	design identified on this Certificate of Compliance conform to the requirements vided on other applicable compliance documents, worksheets, calculations, he building, and made available to the enforcement agency for all applicable						
Responsible Designer Name: A Company: Gunkel Architecture	MBER BAKER UNKEL ARCHITECTURE	Responsible Designer Signature: Date Signed: 2022-08-26	Andu Lee Baker						
	95 59TH ST. 1ERYVILLE, CA 94608		17581 0) 984-1112 × 106						

Registration Number:

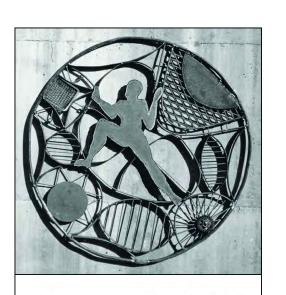
CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance

Registration Date/Time:

Report Version: 2019.1.003 Schema Version: rev 20200601

Registration Provider: Energysoft

Report Generated: 2022-08-26 17:18:05



UNKEL ARCHITECTURE

1295 59TH ST EMERYVILLE CA 9

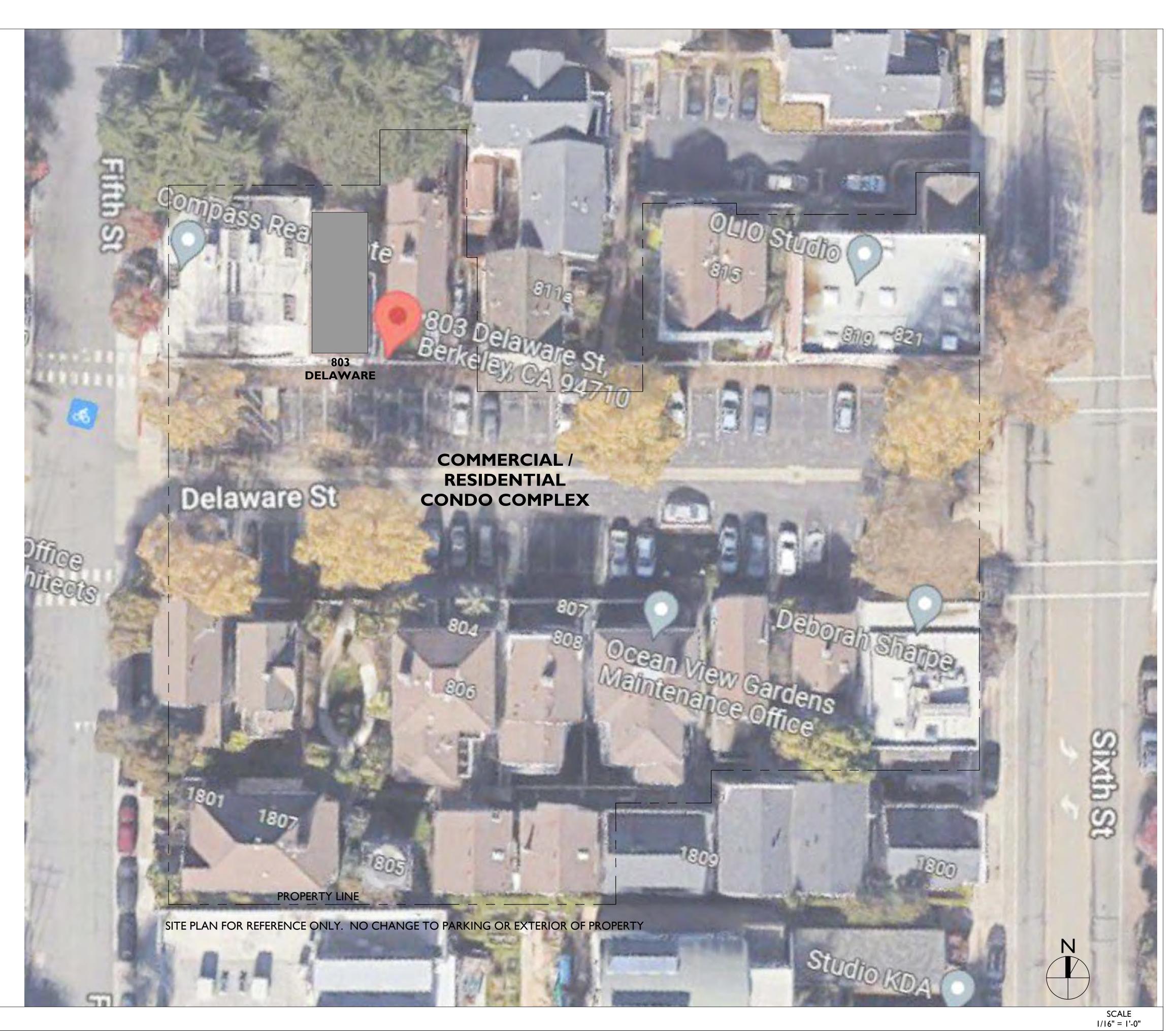


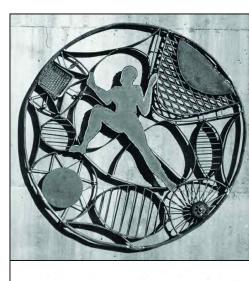
RENOVATION
803 DELAWARE STREET
BERKELEY, CA 94710

TITLE 24

BUILDING PERMIT

DATE 10/06/22







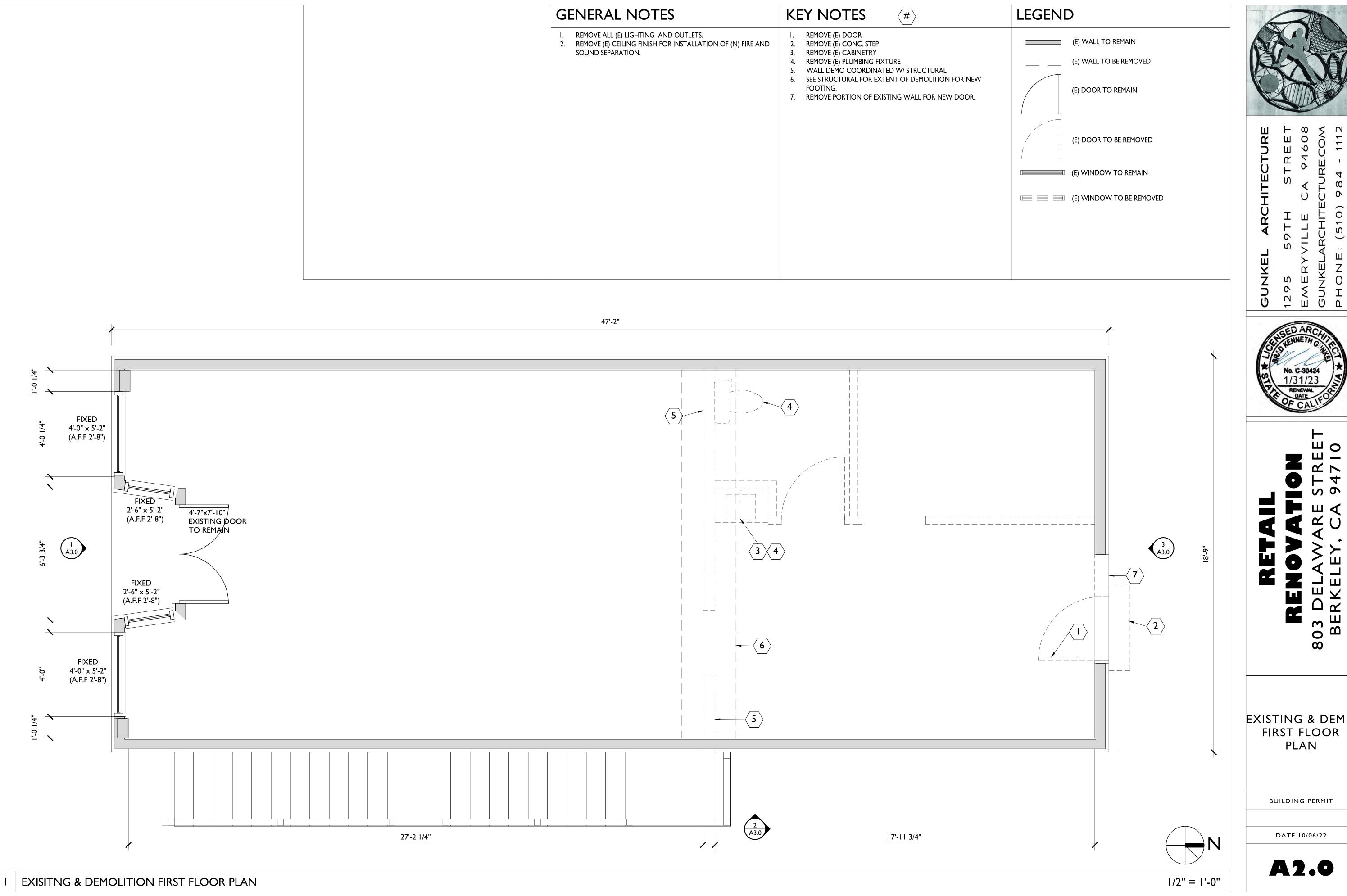
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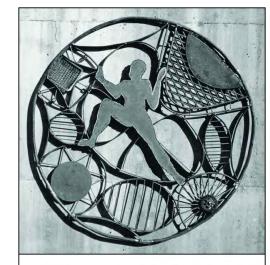
EXISTING SITE PLAN

BUILDING PERMIT

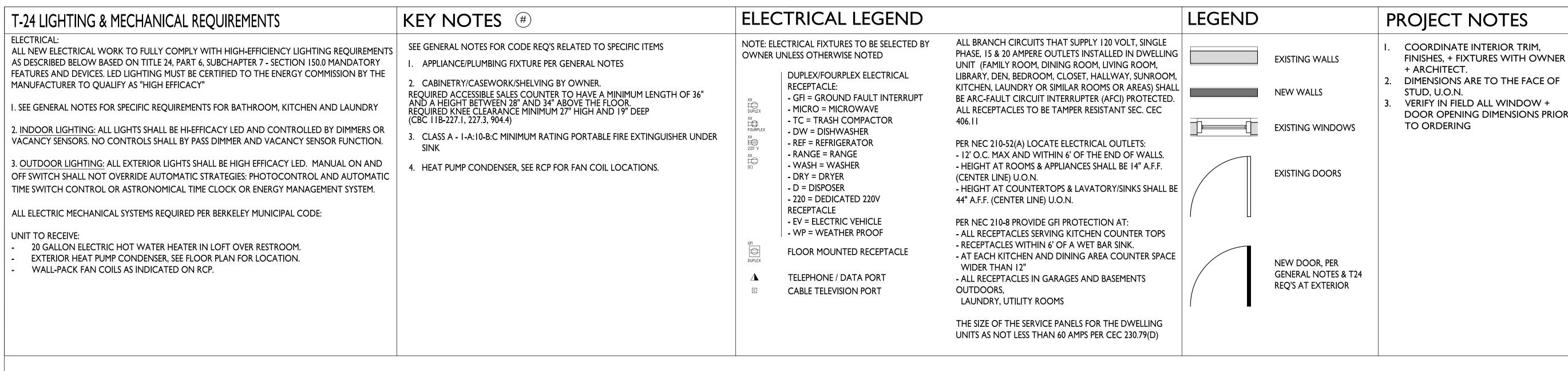
DATE 10/06/22

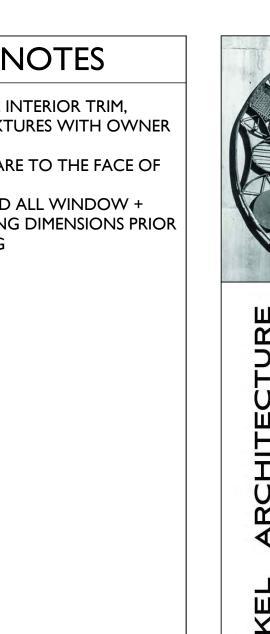
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EXISTING & DEMO FIRST FLOOR







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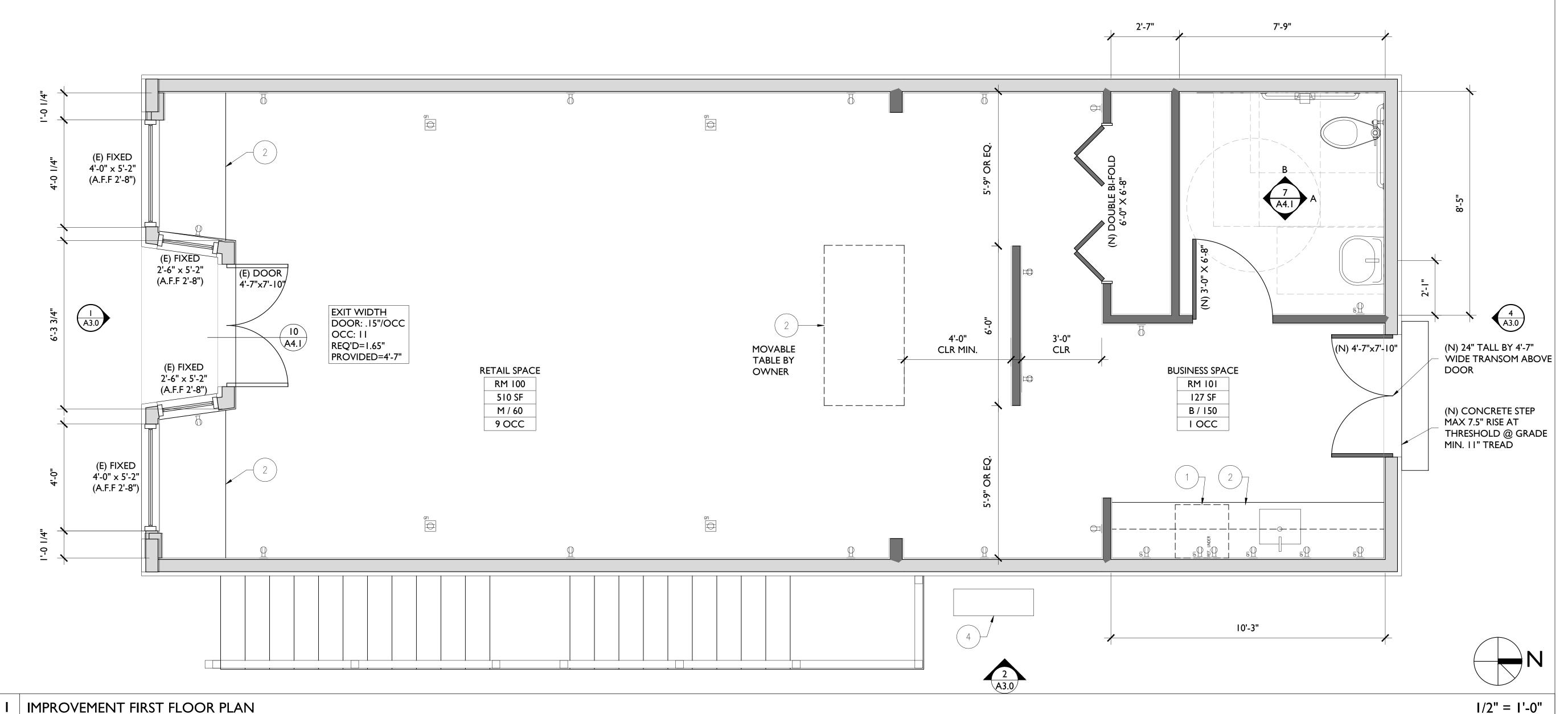


IMPROVEMENT FLOOR PLAN

BUILDING PERMIT

DATE 10/06/22

A2.1



LIGHTING SCHEDULE TAG DESCRIPTION TYPE SINGLE RECESSED CAN LED DOUBLE RECESSED CAN LED SURFACE 'RECESSED' LIGHT LED **DISPLAY SCONCE** LED LED VANITY SCONCE

PENDANT - COUNTER

PENDANT - WINDOW

EXTERIOR SCONCE

EXTERIOR SCONCE

LED TAPE LIGHT

LED

LED

LED

LED

LED

T-24 LIGHTING REQ'MNTS

ELECTRICAL:

- DROPPED BEAM, S.S.D., CLADDING TO BE COORD. W/ OWNER COORDINATE EXACT LOCATION OF PENDANT LIGHTS W/ OWNER
- 20 GALLON ELECTRIC HOT WATER HEATER ABOVE RESTROOM CEILING IN LOFT. SEE 3/A4.0 FOR
- MINI-SPLIT FAN COIL MOUNTED ON WALL, COORDINATE W/ OWNER.
- NEW FIRE/SOUND RATED CEILING ASSEMBLY, SEE 4/A4.0 FOR DETAIL

GENERAL NOTES

KEYNOTES

EDGE OF SOFFIT

- ALL CEILINGS TO BE FINISHED WITH 5/8 " GYP BOARD U.O.N.
- CEILINGS SEPARATING OCCUPANCIES TO BE FINISHED WITH I HOUR TYPE 'C' GYP. BD. CEILINGS BETWEEN UNITS TO BE CONSTRUCTED WITH RC CHANNELS AND SOUND
- INSULATION TO ACHIEVE A MIN. STC RATING OF 50, AND MIN. I.I.C. RATING OF 45. SMOKE ALARMS LISTED IN ACCORDANCE WITH UL 217 AND STATE FIRE MARSHAL APPROVE
- FOR SMOKE ALARM. [CFC §907.2.10]
- SMOKE ALARMS MUST BE INTERCONNECTED IN ACCORDANCE WITH CFC §907.2.10.5.
- SMOKE ALARMS INSTALLED LESS THAN 20-FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE MUST BE AN IONIZATION SMOKE ALARM WITH AN ALARM-SILENCING SWITCH, OR PHOTOELECTRIC SMOKE ALARM. [CFC §907.2.10.8 (NFPA 72 §29.8.3.4 ITEM 4)]
- SMOKE ALARMS MUST BE INSTALLED MIN 3-FOOT HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. [CFC §907.2.10.8 (NFPA 72 §29.8.3.4 ITEM 5)]
- CARBON MONOXIDE ALARM MUST BE LISTED IN ACCORDANCE WITH UL 2034. [CFC §915.4.2] 9. CO ALARMS MUST BE INTERCONNECTED IN ACCORDANCE WITH CFC §915.4.4.
- 10. SMOKE AND CO ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING'S ELECTRICAL SYSTEM, AND SHALL HAVE A BATTERY BACKUP POWER SUPPLY [CFC §907.2.10.6 AND CFC §915.4.1].

UNLESS OTHERWISE NOTED ALL NEW ELECTRICAL WORK TO FULLY COMPLY WITH

HIGH-EFFICIENCY LIGHTING REQUIREMENTS AS DESCRIBED BELOW BASED ON TITLE 24, PART 6, SUBCHAPTER 7 - SECTION -3 = 3-WAY150.0 MANDATORY FEATURES AND DEVICES, SUBSECTION K

RESIDENTIAL LIGHTING. LED AND FLUORESCENT LIGHTING - DASHED LINE INDICATES CIRCUIT MUST BE CERTIFIED TO THE ENERGY COMMISSION BY THE MANUFACTURER TO QUALIFY AS "HIGH EFFICACY"

I. SEE GENERAL NOTES FOR SPECIFIC REQUIREMENTS FOR BATHROOM, KITCHEN, AND LAUNDRY

2. OTHER ROOMS: ALL LIGHTS SHALL BE LED. DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8 PER CEC 150.0(k) (CLOSETS <70 SF AND HALLWAYS ARE EXEMPT)

3. OUTDOOR LIGHTING: ALL EXTERIOR LIGHTS SHALL BE LED. MANUAL ON AND OFF SWITCH SHALL NOT OVERRIDE AUTOMATIC STRATEGIES: PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL OR ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT SYSTEM.

NOTE: ELECTRICAL FIXTURES TO BE SELECTED BY OWNER

ELECTRICAL LEGEND AND NOTES

- LIGHT SWITCH TYPE: - D = DIMMER CONTROL
 - S = OCCUPANT SENSOR
 - | LIGHT FIXTURE TYPE:
 - P/M = PHOTOCONTROL/MOTION SENSOR
 - CONTROLLED - "A" = DAMP RATED
 - F = FLUORESCENT W/ ELEC BALLAST
- VS = VACANCY SENSOR
- MS = MOTION SENSOR ₩ WALL MOUNTED SCONCE
- ₩ WALL MOUNTED LIGHT
- LED RECESSED LIGHTS COORD. W/ OWNER & ARCH.
- CONCEALED LINEAR STRIP LIGHT (12"=13W; 18"=15W; 24"=20W; 48"=32W U.O.N.)
- SURFACE MOUNTED STRIP LIGHT (12"=13W; 18"=15W; 24"=20W; 48"=32W U.O.N.)
- PENDANT OR FLUSH MOUNT LIGHT

LINE VOLTAGE TRACK WITH LOW VOLTAGE HEADS MR-16 GIMBAL RING TYPE

LINE VOLTAGE FLUSH MOUNT LIGHT (24"X48" 2-LAMP U.O.N.)

SMOKE ALARM (PHOTOELECTRIC)

LED BAR WITH MOTION SENSOR

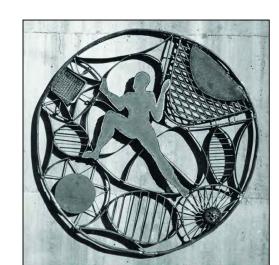
- CARBON MONOXIDE ALARM EXHAUST FAN
- C = COMBINED LIGHT AND FAN

COLD AIR RETURN

- WALL MECHANICAL AIR REGISTER CEILING MECHANICAL AIR REGISTER
- WOOD SOFFIT TO MATCH WOOD SIDING
- STUCCO EXTERIOR SOFFIT
- LEVEL SOFFITED GYP. BD. CEILING

RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, AIR-TIGHT (ASTME283) AND SEALED WITH A GASKET OR CAULKED BETWEEN HOUSING AND CEILING

LOCATE ELECTRICAL WALL MOUNTED LIGHT SWITCH: - HEIGHT AT ROOMS & APPLIANCES SHALL BE 44" A.F.F. (CENTER LINE) U.O.N.



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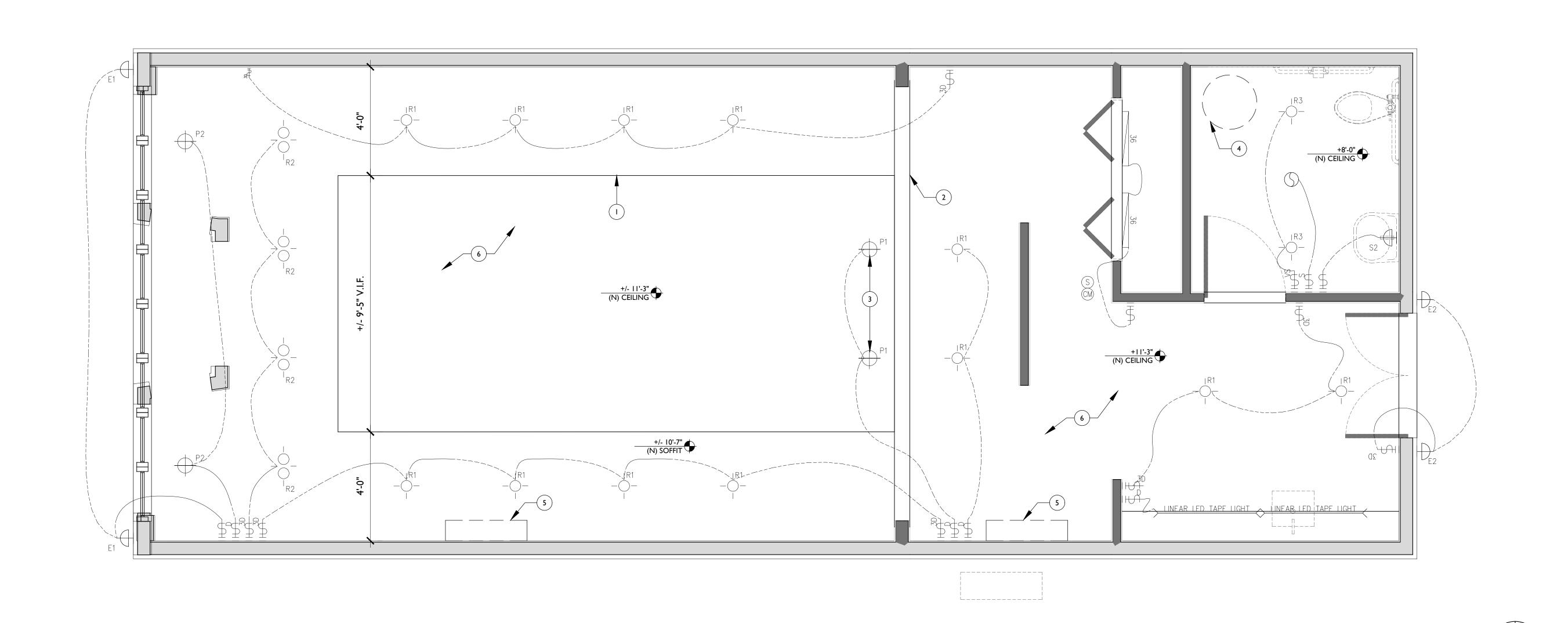
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IMPROVEMENT RCP

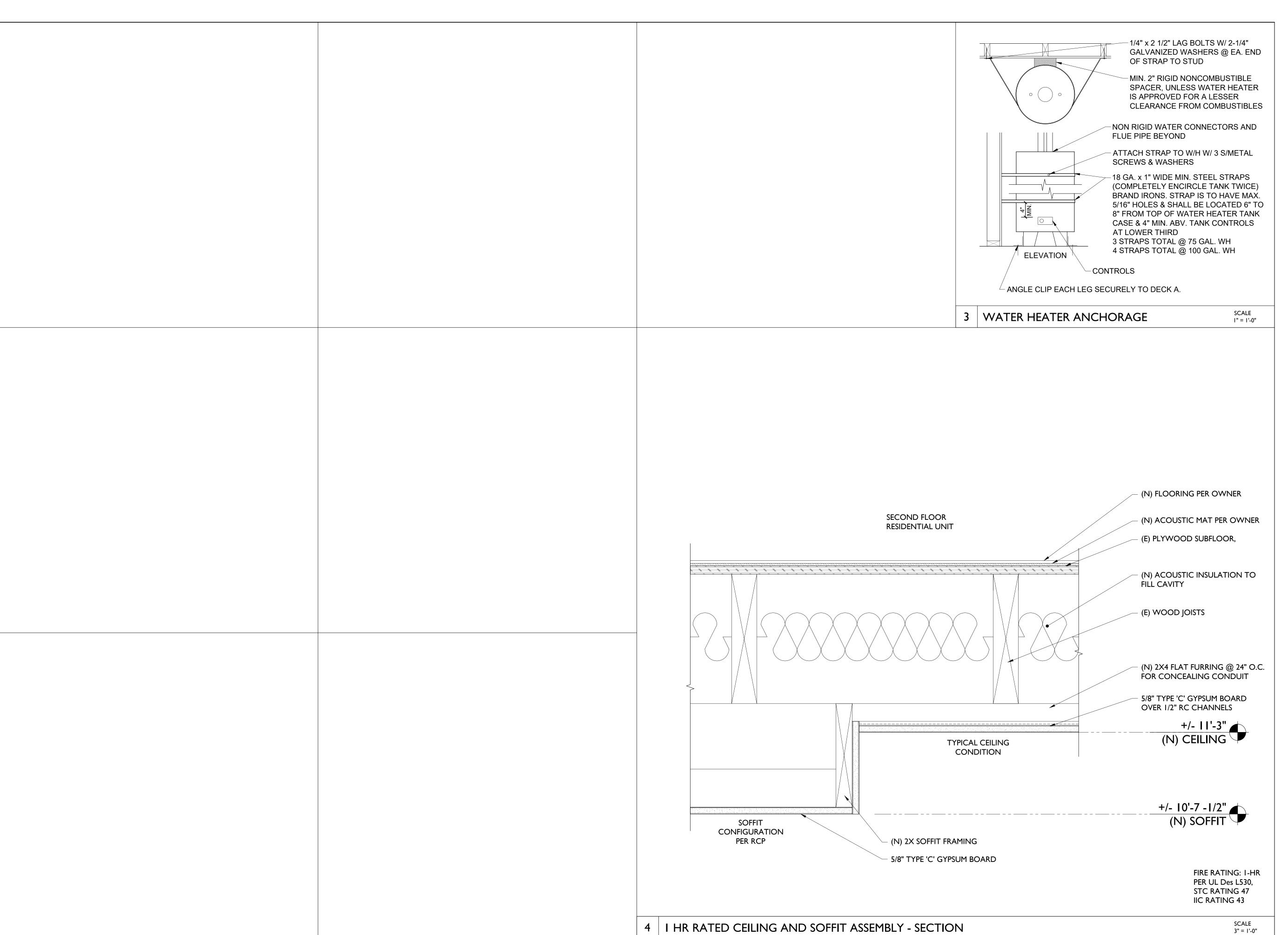
BUILDING PERMIT

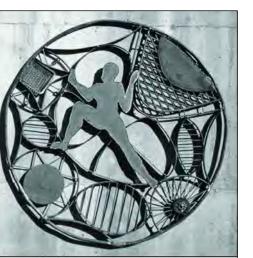
DATE 10/06/22

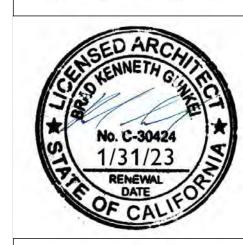
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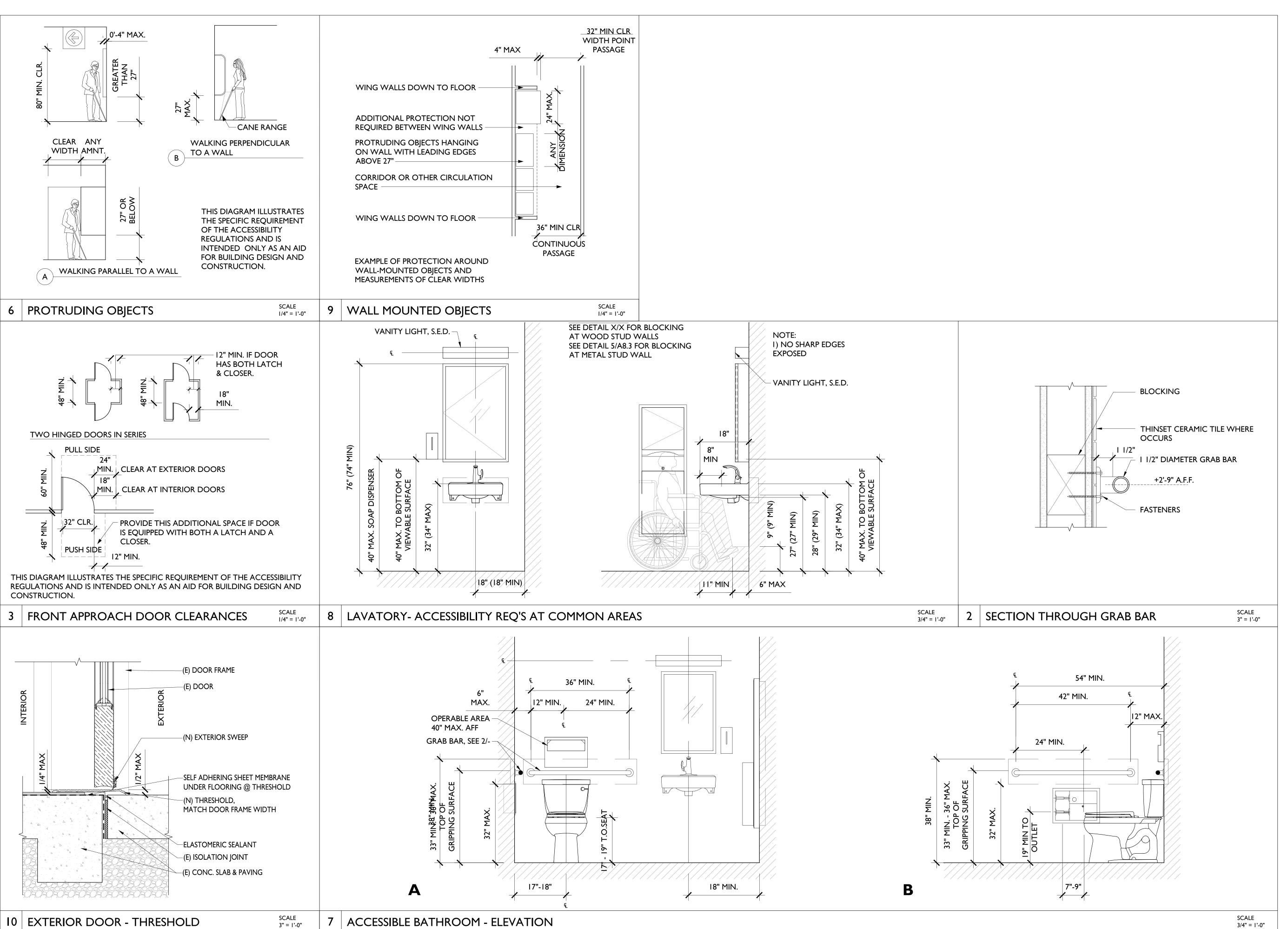


SO 803 DEI BERKE

DETAILS

BUILDING PERMIT

DATE 10/06/22





GUNKELARCHITECTUR

GUNKELARCHITECTURE.CO/



RENOVATION 803 DELAWARE STREET BERKELEY, CA 94710

ACCESSIBILITY DETAILS

DATE 10/06/22

JEDCO

CONSULTING ENGINEERS

FIRAS JANDALI

1000 CONTRA COSTA DR

EL CERRITO, CA 94530

PHONE: (510) 703 0095

ENGINEER

SHEET NOTES

PLAN KEY

DRAWING REVISIONS

DATE DESCRIP.

TAG

FASTENING SCHEDULE TABLE R602.3(1)

TABLE R602.3(1) FASTENING SCHEDULE

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND LOCATION			
	Blocking between ceiling joists or rafters to top plate 4-8d box (2\frac{1}{2}', \times 0.131"); or 3-3d common (2\frac{1}{2}', \times 0.132"); or 3-3d common (2\frac{1}{2}', \times 0.142"); or 3-3d common (2\frac{1}{2}', \times 0.142"); or 3-3d common (2\frac{1}{2}', \times 0.142"); or 3-3d common (2\					
1	Blocking between ceiling joists or rafters to top plate	3-8d common (2 ¹ / ₂ " × 0.131"); or 3-10d box (3" × 0.128"); or 3-3" × 0.131" nails	Toe nail			
2	Ceiling joists to top plate	3-8d common $(2^1/_2" \times 0.131")$; or 3-10d box $(3" \times 0.128")$; or	Per joist, toe nail			
3	partitions [see Sections R802.3.1, R802.3.2 and Table	3-16d common $(3^{1}/_{2}" \times 0.162")$; or	Face nail			
4	[see Sections R802.3.1 and R802.3.2 and Table	Table R802.5.1(9)	Face nail			
5		3-10d common (3" \times 0.148"); or	Face nail each rafter			
6	Rafter or roof truss to plate	3-10d common nails (3" × 0.148"); or 4-10d box (3" × 0.128"); or	on opposite side of each rafter or			
7		3-10d common $(3^{1}/_{2}" \times 0.148")$; or 4-10d box $(3" \times 0.128")$; or	Toe nail			
,	to minimum 2" ridge beam	2-16d common $(3^{1}/_{2}" \times 0.162")$; or 3-10d box $(3" \times 0.128")$; or	End nail			
		Wall	•			
		16d common $(3^1/_2" \times 0.162")$	24" o.c. face nail			
8	Stud to stud (not at braced wall panels)	3" × 0.131" nails	16" o.c. face nail			
9		3" × 0.131" nails	12" o.c. face nail			
	(as others want paniets)		16" o.c. face nail			
10	Ruilt-up header (2" to 2" header with 1 " spacer)		_			
10	Built up neuter (2 to 2 neuter with 72 spacer)	$16d \text{ box } (3^{1}/_{2}" \times 0.135")$	12" o.c. each edge face nail			
11	Continuous header to stud	$4-8d \text{ common } (2^1/_2" \times 0.131"); \text{ or }$	Toe nail			
		16d common (3 ¹ / ₂ " × 0.162")	16" o.c. face nail			
12	Top plate to top plate		12" o.c. face nail			
13		12-16d box $(3^1/_2" \times 0.135")$; or 12-10d box $(3" \times 0.128")$; or				
	Double top plate splice SDCs D_0 , D_1 , or D_2 ; and braced wall line spacing $\geq 25'$	$12-16d (3^{1}/_{2}" \times 0.135")$	caen side of end joint)			

TABLE R602.3(1)—continued

TEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND LOCATION
	Bottom plate to joist, rim joist, band joist or	16d common (3 ¹ / ₂ " × 0.162")	16" o.c. face nail
14	blocking (not at braced wall panels)	16d box (3 ¹ / ₂ " × 0.135"); or 3" × 0.131" nails	12" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	3-16d box $(3^{1}/_{2}" \times 0.135")$; or 2-16d common $(3^{1}/_{2}" \times 0.162")$; or 4-3" × 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box $(2^{1}/_{2}" \times 0.113")$; or 3-16d box $(3^{1}/_{2}" \times 0.135")$; or 4-8d common $(2^{1}/_{2}" \times 0.131")$; or 4-10d box $(3" \times 0.128")$; or 4-3" $\times 0.131"$ nails	Toe nail
		3-16d box $(3^{1}/_{2}" \times 0.135")$; or 2-16d common $(3^{1}/_{2}" \times 0.162")$; or 3-10d box $(3" \times 0.128")$; or 3-3" $\times 0.131"$ nails	End nail
17	Top plates, laps at corners and intersections	3-10d box (3" × 0.128"); or 2-16d common (3 $\frac{1}{2}$ " × 0.162"); or 3-3" × 0.131" nails	Face nail
18	1" brace to each stud and plate	3-8d box $(2^{1}/_{2}" \times 0.113")$; or 2-8d common $(2^{1}/_{2}" \times 0.131")$; or 2-10d box $(3" \times 0.128")$; or 2 staples $1^{3}/_{4}"$	Face nail
19	$1'' \times 6''$ sheathing to each bearing	3-8d box $(2^1/_2" \times 0.113")$; or 2-8d common $(2^1/_2" \times 0.131")$; or 2-10d box $(3" \times 0.128")$; or 2 staples, 1" crown, 16 ga., $1^3/_4$ " long	Face nail
20	$1'' \times 8''$ and wider sheathing to each bearing	3-8d box $(2^{1}/_{2}" \times 0.113")$; or 3-8d common $(2^{1}/_{2}" \times 0.131")$; or 3-10d box $(3" \times 0.128")$; or 3 staples, 1" crown, 16 ga., $1^{3}/_{4}$ " long Wider than 1" × 8" 4-8d box $(2^{1}/_{2}" \times 0.113")$; or 3-8d common $(2^{1}/_{2}" \times 0.131")$; or 3-10d box $(3" \times 0.128")$; or 4 staples, 1" crown, 16 ga., $1^{3}/_{4}$ " long	Face nail
		Floor	
21	Joist to sill, top plate or girder	4-8d box $(2^1/_2" \times 0.113")$; or 3-8d common $(2^1/_2" \times 0.131")$; or 3-10d box $(3" \times 0.128")$; or 3-3" × 0.131" nails	Toe nail
		8d box $(2^{1}/_{2}" \times 0.113")$	4" o.c. toe nail
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d common (2 ¹ / ₂ " × 0.131"); or 10d box (3" × 0.128"); or 3" × 0.131" nails	6" o.c. toe nail
23	1" × 6" subfloor or less to each joist	3-8d box $(2^{1}/_{2}" \times 0.113")$; or 2-8d common $(2^{1}/_{2}" \times 0.131")$; or 3-10d box $(3" \times 0.128")$; or 2 staples, 1" crown, 16 ga., $1^{3}/_{4}"$ long	Face nail

STRUCTURAL STEEL

1.STRUCTURAL STEEL SHALL CONFORM WITH ASTM A-36 UNLESS NOTED OTHERWISE ON THE PLANS.

2.FABRICATION, ERECTION AND MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF THE AISC SPECIFICATION FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.

3.ALL STRUCTURAL STEEL SHALL BE ERECTED PLUMB AND TRUE TO LINE TEMPORARY BRACING SHALL BE INSTALLED AND SHALL BE LEFT IN PLACE UNTIL THE PERMANENT STRUCTURAL SYSTEM IS PROVIDING SUPPORT.

4.PLACE NON-SHRINK GROUT UNDER ALL BASE PLATES OR BEARINGS BEFORE ADDING VERTICAL LOADS.

5.AT WOOD TO STEEL PARALLEL CONTACTS, BOLT WOOD TO STEEL WITH 1/2" DIAMETER BOLTS AT A MAXIMUM SPACING OF 36 INCHES CENTER TO CENTER UNLESS OTHERWISE NOTED ON PLANS.

6.ALL CONNECTIONS SHALL USE THE STANDARD AISC GAGE AND PITCH, A307 BOLTS UNLESS OTHERWISE NOTED ON PLANS.

7.HOLES FOR UNFINISHED BOLTS SHALL BE OF THE SAME NOMINAL DIAMETER AS THE BOLT PLUS 1/16TH".

8.WELDING SHALL BE DONE BY THE ELECTRIC ARC PROCESS IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY STANDARDS. USING ONLY CERTIFIED WELDERS. ALL BUTT WELDS SHALL HAVE COMPLETE PENETRATION.

9.ALL EXPOSED BUTT WELDS SHALL BE GROUNDD SMOOTH.

10.WRAP ANY STRUCTURAL STEEL TO BE EMBEDDED IN CONCRETE WITH WELDED WIRE FABRIC. DO NOT PAINT ANY STEEL TO BE EMBEDDED IN CONCRETE DRILL EMBEDDED STEEL COLUMNS AND BEAMS TO PASS ANY CONTINUOUS REINFORCING.

11.ALL STRUCTURAL STEEL TO RECEIVE ONE COAT OF SHOP PRIMER AFTER FABRICATION.

12.ALL METAL STUDS, JOISTS, TRACKS OR PLATES SHALL BE "WESTERN METAL LATH COMPANY" PRODUCTS AS SPECIFIED IN THEIR LATEST CATALOG OR AN APPROVED EQUAL. METAL STUD WALLS SHALL BE BLOCKED AT ALL CEILING LEVELS.

FASTENING SCHEDULE—continue

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND	LOCATION				
		Floor						
24	2" subfloor to joist or girder	2-16d common $(37_2^{\circ} \times 0.162^{\circ})$						
25	2" planks (plank & beam—floor & roof)	3-16d box $(3^{1}/_{2}" \times 0.135")$; or 2-16d common $(3^{1}/_{2}" \times 0.162")$	At each bearing	ng, face nail				
26	Band or rim joist to joist	3-16d common (3 ¹ / ₂ " × 0.162") 4-10 box (3" × 0.128"), or 4-3" × 0.131" nails; or 4-3" × 14 ga. staples, ⁷ / ₁₆ " crown	End 1	nail				
		20d common (4" × 0.192"); or	Nail each layer as f at top and bottom a					
27	Built-up girders and beams, 2-inch lumber	10d box (3" × 0.128"); or 3" × 0.131" nails	24" o.c. face nail at staggered on oppos					
2,	layers	And: 2-20d common (4" × 0.192"); or 3-10d box (3" × 0.128"); or 3-3" × 0.131" nails	Face nail at ends and at each splice					
28	Ledger strip supporting joists or rafters	4-16d box $(3^1/_2" \times 0.135")$; or 3-16d common $(3^1/_2" \times 0.162")$; or 4-10d box $(3" \times 0.128")$; or 4-3" \times 0.131" nails	At each joist or r	rafter, face nail				
29	Bridging to joist	2-10d (3" × 0.128")	Each end, toe nail					
		SPACING OF FASTENERS						
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER® B. C	Edges (inches) ^h	Intermediate supports ^{c, e} (inches)				
	Wood structural panels, subfloor, roof an [see Table R602.3(3) for	d interior wall sheathing to framing and particleboard v wood structural panel <i>exterior</i> wall sheathing to wall fi	wall sheathing to frami raming]	ng				
30	³ / ₈ " - ¹ / ₂ "	6d common (2" × 0.113") nail (subfloor, wall) ⁱ 8d common (2 ¹ / ₂ " × 0.131") nail (roof)	6	12 ^f				
31	¹⁹ / ₃₂ " – 1"	8d common nail $(2^1/_2" \times 0.131")$	6	12 ^f				
32	11/8"-11/4"	10d common (3" × 0.148") nail; or 8d ($2^{1}/_{2}$ " × 0.131") deformed nail	6	12				
		Other wall sheathing ⁹						
33	¹ / ₂ " structural cellulosic fiberboard sheathing	1 ¹ / ₂ " galvanized roofing nail, ⁷ / ₁₆ " head diameter, or 1" crown staple 16 ga., 1 ¹ / ₄ " long	3	6				
34	²⁵ / ₃₂ " structural cellulosic fiberboard sheathing	1 ³ / ₄ " galvanized roofing nail, ⁷ / ₁₆ " head diameter, or 1" crown staple 16 ga., 1 ¹ / ₄ " long	3	6				
35	1/2" gypsum sheathing ^d	1 ¹ / ₂ " galvanized roofing nail; staple galvanized, 1 ¹ / ₂ " long; 1 ¹ / ₄ " screws, Type W or S	7	7				
36	⁵ / ₈ " gypsum sheathing ^d	1 ³ / ₄ " galvanized roofing nail; staple galvanized, 1 ⁵ / ₈ " long; 1 ⁵ / ₈ " screws, Type W or S	7	7				
	Wood structural	panels, combination subfloor underlayment to framing						
37	³ / ₄ " and less	6d deformed $(2" \times 0.120")$ nail; or 8d common $(2^{1}/_{2}" \times 0.131")$ nail	6	12				
38	⁷ / ₈ " – 1"	8d common (2 ¹ / ₂ " × 0.131") nail; or 8d deformed (2 ¹ / ₂ " × 0.120") nail	6	12				
		10d common (3" × 0.148") nail; or						

HEADER: USE 4X12 HEADER FOR ALL 1ST FLOOR DOORS AND OPENING U.O.N.AND 4X10 HEADER FOR ALL 2ND FLOOR DOORS AND OPENING U.O.N.

- HOLD DOWN: SEE SHEAR WALL SCHEDULE
- TIE DOWN: SEE SHEAR WALL SCHEDULE (TS) 4X4 POST CONT. TO FND U.O.N.
- 4X4 POST U.O.N.
- 4X4 KING POST U.O.N.

ABBREVIATIONS EXISTING

T.B. TIE BEAM

G GRADE

FBM: FLOOR BEAM (N) NEW CBM: CEILING BEAM CENTER LINE RBM: RIDGE BEAM G.B. GRADE BEAM HBM: HEADER BEAM

C.J.: CEILING JOIST R.R.: ROOF RAFTER F.J.: FLOOR JOIST

A. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR GUTTER. 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS. B. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH.

C. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.

D. FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 9-FOOT PANELS SHALL BE APPLIED VERTICALLY. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa

WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 mph OR LESS, NAILS SHALL FOR WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE 9 INCHES CENTER. WHERE THE ULTIMATE WING SPEED IS GREATER THAN 130mph, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORT SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS " 4 INCHES ON CENTER TO GABLE EN WALL FRAMING

G. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253.

FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208. H. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE. PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

ALL CONCRETE SHALL MEET THE FOLLOWING MINIMUM SPECIFICATIONS:

DESIGN STRENGTH AT 28 DAYS 2500 PSI U.O.N. CEMENT CONTENT SHALL BE A MINIMUM OF 5 SACKS PER CUBIC YARD FOR 1" - 1 1/2" MAXIMUM

AGGREGATE SIZE. MAXIMUM SLUMP SHALL BE 4 INCHES. AGGREGATE SIZE SHALL BE COMPATIBLE WITH POURING, PLACING AND FINISHING CONDITIONS

3. CEMENT SHALL CONFORM TO ASIM C-150 TYPE 1 OR 2.

4. CONCRETE AGGREGATES SHALL CONFORM TO ASIM C-33.

5. REMOVE ALL DEBRIS FROM THE FORMS BEFORE POURING ANY CONCRETE. NO WOOD FORM SPREADERS OR WOOD STAKES SHALL BE USED IN AREAS TO BE POURED WITH CONCRETE.

6. ALL FORM WORK SHALL REMAIN IN PLACE FOR THE PERIODS OF TIME SPECIFIED IN THE ACI CODE

2. ALL CONCRETE SHALL CONFORM WITH REQUIREMENTS OF THE LATEST EDITION OF THE ACI CODE.

MINIMUM. 7. ALL CONCRETE SHALL BE CURED BY AN APPROVED METHOD.

8. FOLLOW ALL ACI RECOMMENDATIONS FOR PLACING AND CURING CONCRETE DURING HOT OR COLD WEATHER CONDITIONS

9. ALL CONCRETE SHALL BE MOISTURE RESISTANT AND HAVE "XYPEX" ADDITIVE

CONCRETE REINFORCING

1.REINFORCING STEEL SHALL CONFORM TO ASTM A615 GRADE 60 FOR #5 AND LARGER BARS GRADE 40 FOR #4 AND SMALLER. 2.REINFORCING STEEL SHALL BE FABRICATED ACCORDING TO THE "MANUAL OF STANDARD

PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION". 3.REINFORCING DOWELS, BOLTS, ANCHORS AND OTHER ITEMS TO BE EMBEDDED IN CONCRET

SHALL BE SECURELY POSITIONED BEFORE PLACING CONCRETE. 4.ALL REBARS TO BE WELDED SHALL BE CONTINUOUSLY INSPECTED BY A QUALIFIED LABORATORY. CONTRACTOR MUST FURNISH TO THE LABORATORY MILL CERTIFICATE SHOWING CHEMICAL ANALYSIS. ALL PREHEATING AND WELDING SHALL BE DONE IN ACCORDANCE WITH

AWS STANDARDS. 5.CONCRETE COVERAGE SHALL BE FROM THE FACE OF THE BAR AND SHALL DENOTE CLEAR COVERAGE. THE FOLLOWING MINIMUM COVERAGE SHALL BE OBSERVED:

CONCRETE POURED AGAINST EARTH -3" CONCRETE POURED IN FORMS AND EXPOSED TO EARTH OR WEATHER -2" BARS IN BEAMS OR COLUMNS

BARS IN WALLS OR INTERIOR FACE -3/4"

BARS IN INTERIOR SLABS 6.ALL BARS SHOWN CONTINUOUS IN PLANS SHALL HAVE IF SPLICED A MINIMUM SPLICE LENGTH OF 40 X REBAR DIAMETER.

PIPES AT CONCRETE FOUNDATIONS

ALL PIPE SHALL BE ENCASED IN SLEEVES. PIPES CLEAR SLEEVES BY 1/2". CAULK WITH PLASTIC MATERIAL. IF PIPE IS IN PLACE PRIOR TO POURING CONCRETE, WRAP PIPE WITH 1" GLASS WOOL. STEP FOOTING IF PIPE PASSES BELOW OR IN SPREAD FOOTING PORTION OF FOUNDATION. NO DIGGING IS ALLOWED FOR PIPE TRENCH PARALLEL TO FOOTING BELOW LINES INDICATED.

FOUNDATION DESIGN ASSUMPTIONS:

THE FOLLOWING ASSUMPTIONS SHALL BE FIELD-CONFIRMED AND VALIDATED BY A CALIFORNIA PROFESSIONAL GEO-TECHNICAL ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITY: 1. CONSERVATIVELY (SEE FOUNDATION PLAN) CONSIDER OC SPACING OF 6.25 FT. TO BE

RESISTED BY 18" DIA PIERS (TRIBUTARY WIDTH FOR EACH PIER) 2. CONSERVATIVELY (SEE BUILDING SECTION) CONSIDER HEIGHT OF SOIL TO BE RETAINED BY INTERIOR SOLDIER PIERS 6.0 FT

3. ACTIVE SOIL PRESSURE 60. PSF / FT DEPTH

4. PASSIVE SOIL RESISTANCE 300. PSF / FT OF SOIL DEPTH STARTING 4. FT. BELOW BOTTOM OF RETAINED SOIL. (10.FT.BELOW EXISTING RETAINED GRADE).

5. PASSIVE RESISTANCE ACTS ON 2 X TIMES THE PIER DIAMETER. 6. PIERS SHALL HAVE 10. FT. MINIMUM EMBEDMENT INTO BEDROCK.

7. ANY BACKFILL BEHIND RETAINING WALLS OR GRADE BEAMS SHALL BE COMPACTED TO 90%

8. SUB DRAIN AND ITS OUTLET DESIGN TO BE PROVIDED BY OTHERS AND APPROVED PRIOR TO ANY CONSTRUCTION ACTIVITY.

FOUNDATION EXECUTION PHASES:-

PHASE 1: ALL PIERS AND THEIR CONNECTION TO THE EXISTING FOUNDATION (DOWELED) AND THE BEAM CONNECTING THE PIERS.

PHASE 2: DEMOLISH THE REQUESTED LENGTH OF THE EXISTING CROSS GRADE BEAM. 7 DAY MINIMUM TIME SPAN SHOULD BE SEPARATE BETWEEN PHASE 1 AND 2.

PHASE 3: RECONSTRUCTION OF EXISTING AND NEW CROSS GRADE BEAMS.

NOTES OF CONSTRUCTION SEQUENCE, SRFACE WATER DRAINAGE, AND DIRT SPOILS

CONSTRUCTION SHALL FOLLOW THE FOLLOWING SEQUENCE: FIRST THE NEW PIERS (FOUR PIERS), HAUNCHES, AND NEW GRADE BEAMS ALONG THE

WESTERN EXTERIOR SIDE OF THE HOUSE SECOND THE NEW LOWER GRADE BEAM IN THE CRAWL SPACE 4' EAST OF THE WESTERN EXTERIOR SIDE

THE NEW UPPER GRADE BEAM IN THE CRAWL SPACE INCLUDING: THE NEW FOUNDATION ALONG THE NORTH EXTERIOR AND THE SOUTH EXTERIOR (a)

(b) THE REROUTING OF THE EXISTING INTERIOR TIE BEAM FOURTH USING THE NEW LOWER GRADE BEAM IN THE CRAWL SPACE, SHORE UP THE EXISTING

FRAMING; THE MAIN BEAMS IN THE EXISTING LOWER FLOOR FRAMING: THEN CONSTRUCT THE NEW FRAMING IN THE EXISTING WESTERN EXTERIOR WALL.

CONSTRUCTION SHALL COMPLY WITH ALL RECOMMENDATION OF HALLENBECK / ALLWEST REPORT 7745 GP DATED 09-25-17

PERTAINING TO THIS PROJECT INCLUDING: (1) PROPER COLLECT-AND-CONVEY OF SURFACE DRAINAGE WATER TO THE GRIZZLY PEAK

OUEAD WALL COLLEGE

SHEAR WALL SCHEDULE																		
	MIN. FRAMING WIDTH (Nom.)					PLYWOOD				SOLE PLATE ATTACHMENT			HOLD DOWN HARDWARE					
TYPE	ALLOW. SHEAR (LB/FT)	ABUTTING PANEL EDGES	INTERMED.	SILL PLATE	SOLE PLATE	PLYWOOD RATED SHEATHING	EDGE NAILING (EN)	FIELD NAILING (FN)	SILL BOLTS (SB)	NAILING (SPN)		MIN.WIDTH FMG. BELOW SHEAR WALL	HOLD DOWNS (PHD)		HOLD DOWN ANCHOR BOLT	HD ANCHOR BOLT EMBED.	TIE STRAPS (TS)	TENSION TIES (TT)
A	-	2X	2X	2X	2X	15/32"	10d @ 4"	10d @ 8"	5/8" @32"	16d @ 6"	1/4" X 6" @ 12"	2X	HDU2	SSTB20	5/8 X 16"	12"	ST6236	HTT16
B	-	3X	2X	3X	3X	15/32"	10d @ 3"	10d @ 6"	5/8" @16"	16d @ 4"	1/4" X 6" @ 12"	3X	LSTHD8	SSTB20	5/8 X 16"	12"	ST6236	HTT16

1. ALL NAILS SHALL BE COMMON WIRE NAILS.

2. USE FULL SIZE SHEATHING PANELS WHERE POSSIBLE. MINIMUM PANEL DIMENSION IS 2'-0". 3. RE-TIGHTEN ALL HOLD DOWN AND TENSION TIE BOLTS JUST PRIOR TO CLOSING-UP WALL.

4. GUN NAILING SHALL NOT BREAK THE FACE PLIES OF THE SHEATHING. INSTALL ALL SILL BOLTS WITH 3" X 3" 0.229" MINIMUM PLATE WASHERS (SIMPSON BP SERIES OR EQUAL).

6. GALVANIZED NAILS, WHERE USED, SHALL BE HOT-DIPPED OR TUMBLED. 7. SIMPSOM HOLD DOWN TO CONCRETE FOUNDATION. 6" MAX. FROM ENDS OF SHEAR WALLS U.O.N. 8. SIMPSOM VERTICAL STRAP CENTRED AT MIDDEPTH OF SECOND FLOOR JOISTS, LOCATED 6" MAX. FROM ENDS OF SHEAR WALLS U.O.N.

DESIGN CRITERIA

WIND SPEED MRI-50YRS: 74 MPH DEAD LOAD 10 psf

DEAD LOAD 10 psf LIVE LOAD 40 psf

LIVE LOAD 20 psf

SPECIAL INSPECTIONS / CONSTRUCTION OBSERVATION:

THE CONTRACTOR SHALL HAVE THE ENGINEER OF RECORD PROVIDE CONSTRUCTION OBSERVATION FOR

SEISMIC COEFF: Sds=1.545

REBAR PLACEMENT

REBAR DOWELING FRAMING SHEAR WALL NAILING

4. ANCHOR BOLTS AND TIE DOWN HARDWARE

5. VISUAL INSPECTION OF MOMENT FRAME WELDS

1. ALL CONSTRUCTION SHALL CONFORM WITH APPLICABLE BUILDING CODES AND REGULATIONS.

2. DETAILS AND NOTES SHOWN ON THIS SHEET ARE TYPICAL AND SHALL APPLY UNLESS OTHERWISE SHOWN OR NOTED. DETAILS OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME NATURE SHOWN FOR SIMILAR CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES AND OTHER RELATED ITEMS ON THIS JOB.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH THE PERTINENT SECTIONS, AS THEY APPLY TO THIS PROJECT OF THE "CONSTRUCTION SAFETY ORDERS" ISSUED BY THE STATE OF CALIFORNIA AND ALL OSHA REQUIREMENTS. THE ARCHITECT, THE ENGINEER AND THE OWNER DO NOT ACCEPT ANY RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REQUIREMENTS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, BRACING AND SHORING REQUIRED. THE CONTRACTOR SHALL PROVIDE ADEQUATE STAYS AND BRACING OF ALL FRAMING UNTIL ALL ELEMENTS OF DESIGN HAVE BEEN INCORPORATED IN THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE SHOP DRAWINGS PREPARED PRIOR TO FABRICATION FOR ALL PREFABRICATED MATERIALS OF CONSTRUCTION. SHOP DRAWINGS SHALL SERVE TO DEMONSTRATE THE CONTRACTOR'S UNDERSTANDING OF THE DESIGN CONCEPT, BY INDICATING WHICH MATERIALS HE INTENDS TO FURNISH AND INSTALL AND BY DETAILING THE FABRICATION AND METHOD OF INSTALLATION. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS FOR REVIEW BY THE ENGINEER AND SHALL INCORPORATE ANY COMMENTS INTO THE DRAWINGS PRIOR TO FABRICATION. CONTRACTOR AGREES THAT SHOP DRAWINGS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS.

1.ALL STRUCTURAL WOOD SHALL CONFORM WITH THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS:

. WEST COAST LUMBERMEN'S ASSOCIATION GRADING RULES. . .CALIFORNIA REDWOOD ASSOCIATION GRADING RULES. STRUCTURAL PLYWOOD . . U.S. PRODUCT STANDARD PS 1 FOR SOFTWOOD PLYWOOD 2.MINIMUM GRADES FOR STRUCTURAL LUMBER SHALL BE:

DOUGLAS FIR #2 FOR 2X MEMBERS / DOUGLAS FIR #1 FOR OTHERS GLUED LAMINATED MEMBERS - COMBINATION # 24F-V4

STRUCTURAL PLYWOOD APA C-D EXTERIOR GLUE. 3.PROVIDE SOLID BLOCKING BETWEEN JOISTS OR RAFTERS AT ALL SUPPORTS

4.PROVIDE SOLID BLOCKING FOR ALL ROOF RAFTERS OR FLOOR JOISTS THAT ARE 9 OR MORE INCHES DEEP, AT 8 FEET ON CENTER MAXIMUM. 5.INSTALL 2X JOIST UNDER AND PARALLEL TO PARTITIONS.

6.CUTTING OF WOOD JOISTS SHALL BE LIMITED TO CUTS AND BORED HOLES NOT DEEPER THAN ONE-FIFTH THE JOIST DEPTH FROM THE TOP, AND LOCATED NOT FARTHER FROM POINTS OF BEARING THAN THREE TIMES THE JOIST DEPTH. 7.ALL WOOD FRAMING MEMBERS SHALL EITHER BEAR ON PLATES, BEAMS, POSTS OR BE SUPPORTED IN

8.ALL LIGHT GAGE METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE SIMPSON "STRONG-TIE" PRODUCTS AS SPECIFIED IN THEIR LATEST CATALOG OR AN APPROVED EQUAL.

9.HOLES FOR BOLTS IN WOOD SHALL BE BORED WITH A BIT OF THE SAME NOMINAL DIAMETER AS THE BOLT PLUS 1/16TH OF AN INCH. HOLES FOR LAG SCREWS SHALL BE FIRST BORED TO THE SAME NOMINAL DIAMETER AND DEPTH AS THE SHANK AND THE REMAINDER OF THE HOLE SHALL BE BORED AT NO MORE THAN THE DIAMETER OF THE ROOT OF THE THREADS.

10.ALL BOLTS, EXPANSION ANCHORS AND LAG SCREWS SHALL BE PROVIDED WITH METAL WASHERS AND SHALL BE TIGHTENED ON INSTALLATION AND RE -TIGHTENED BEFORE CLOSING IN OR COMPLETION OF 11.BLOCK STRUCTURAL PLYWOOD JOINTS WITH 2X4 FLAT BLOCKING.

13.NAILING SHALL SATISFY ALL MINIMUM C.B.C. 2016 CODE REQUIREMENTS. 14.ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR. 15.FLOOR SHEATHING SHALL BE 3/4" CD, 36/16 PLYWOOD. GLUE AND EDGE NAIL WITH 16D @ 6" AND FIELD

16.DOUBLE JOISTS UNDER ALL SHEAR WALLS.

NAIL WITH 10D @ 12" U.O.N. ON PLANS.

17.LOCATE ALL POSTS DIRECTLY OVER BEAMS OR JOISTS BELOW. 18.POSTS AT EXTERIOR WALLS SHALL BE 6X WIDTH OF BEAMS; AND POSTS AT INTERIOR WALLS SHALL BE 4X WIDTH OF BEAMS U.O.N. ON THE PLANS.

19.ALL SILL PLATE ANCHOR BOLTS SHALL HAVE 5/8" MIN. DIAMETER U.O.N., SHALL BE SPACED AT 4'-0" MAX. U.O.N. ON THE PLANS, SHALL HAVE 7" MIN. EMBEDMENT INTO THE CONCRETE, AND SHALL HAVE 3"X3"X0.229" THICK MINIMUM SIZE WASHERS GALVANIZED.

20. ALL BEAMS POST CONNECTIONS ARE CC TYPE. SIMPSON CONNECTORS. 21.CRIPPLE WALL SHALL BE MINIMUM 2X6 STUDS U.O.N.

12.ALL NAILS FOR STRUCTURAL WORK SHALL BE COMMON WIRE NAILS.

TYPICAL FLOOR SHEATHING

TYPICAL STRUCTURAL PLYWOOD PANEL LAYOUT WITH FACE GRAIN PERPENDICULAR TO FRAMING. STAGGER PLYWOOD SHEETS. NAIL WITH 16D NAILS AT 6" CC. OR AS OTHERWISE INDICATED ON THE DRAWINGS, AT ALL PANEL EDGES. ALL DIAPHRAGM PANELS EDGES SHALL BE BLOCKED.

FOUNDATIONS

ALL FOOTINGS NOT FORMED SHALL BE POURED INTO NEAT EXCAVATIONS. MEASURES SHALL BE TAKEN TO PREVENT SLOUGHING OF SOIL INTO THE FOOTING EXCAVATION PRIOR TO AND DURING THE PLACING OF CONCRETE.

SHEET TITLE STRUCTURAL NOTES

SHEET NUMBER

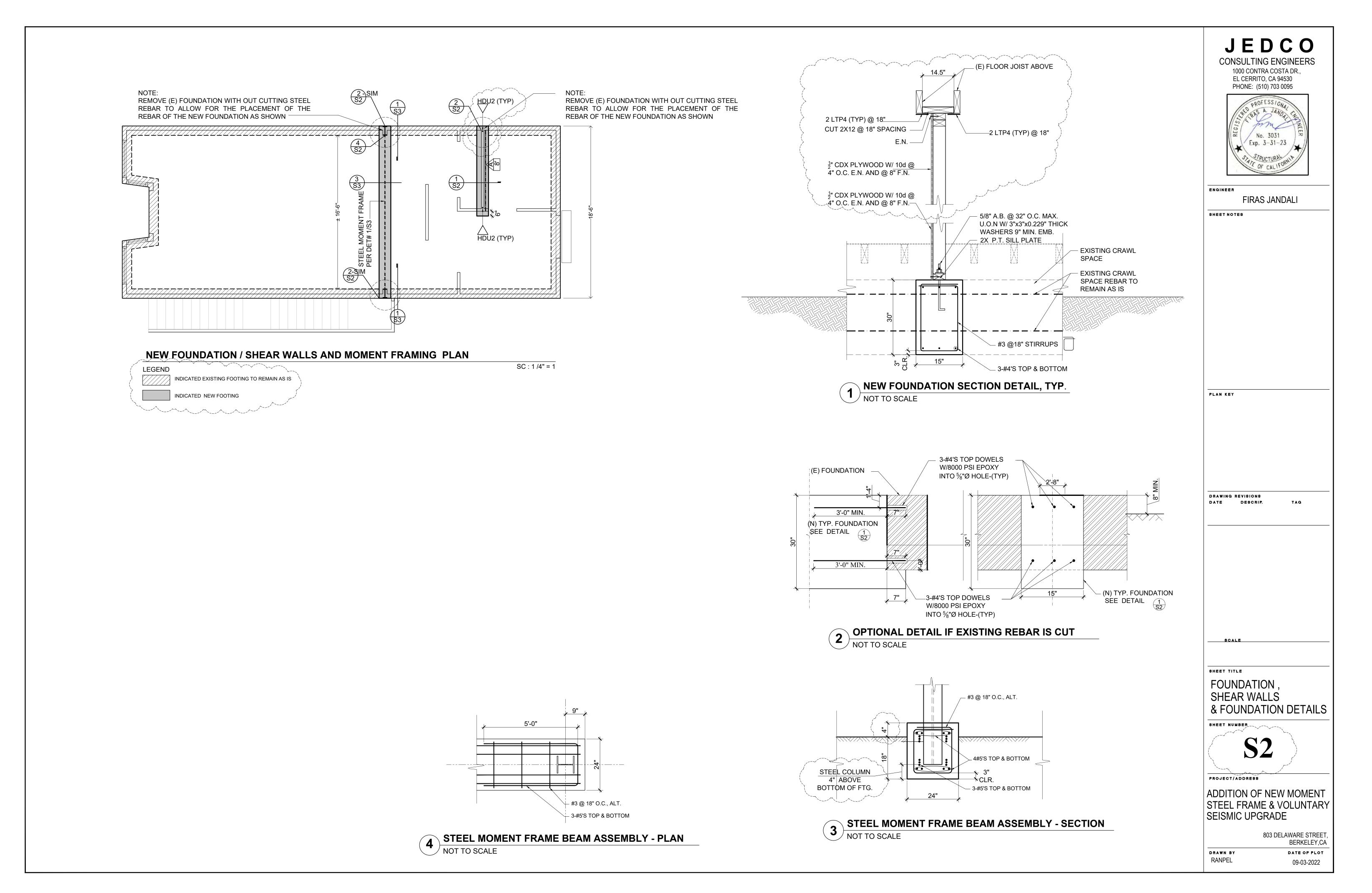
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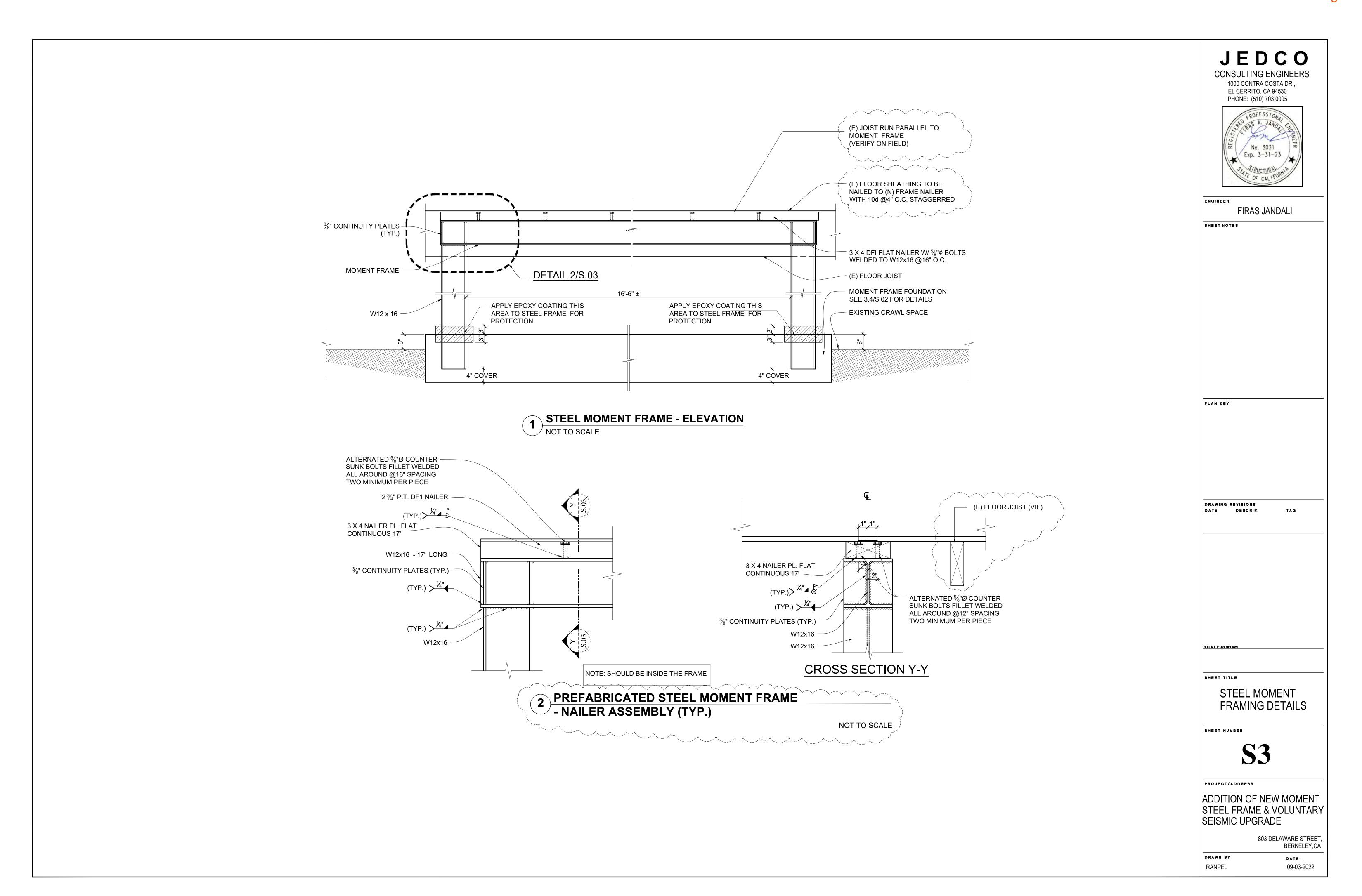
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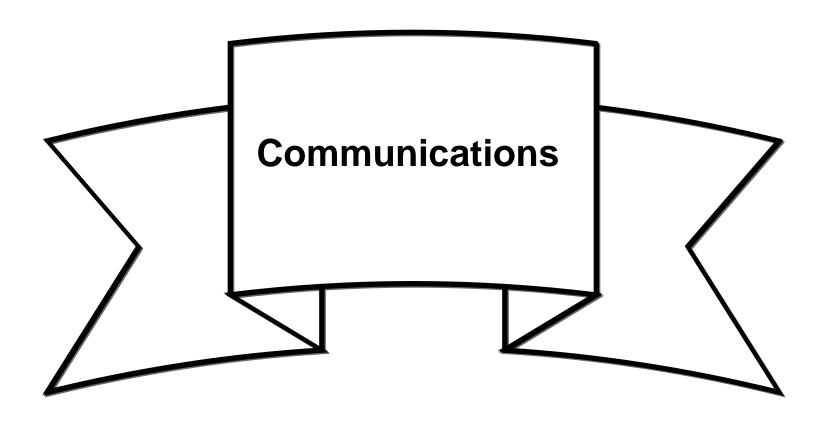
ADDITION OF NEW MOMENT STEEL FRAME & VOLUNTARY SEISMIC UPGRADE

803 DELAWARE STREET BERKELEY,CA DRAWN BY DATE OF PLOT RANPEL 09-03-2022

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All communications submitted to the City Council are public record. Communications are not published directly to the City's website. Copies of individual communications are available for viewing at the City Clerk Department and through Records Online.

City Clerk Department

2180 Milvia Street Berkeley, CA 94704 (510) 981-6900

Records Online

https://records.cityofberkeley.info/

To search for communications associated with a particular City Council meeting using Records Online:

- 1. Select Search Type = "Public Communication Query (Keywords)"
- 2. From Date: Enter the date of the Council meeting
- 3. To Date: Enter the date of the Council meeting (this may match the From Date field)
- 4. Click the "Search" button
- 5. Communication packets matching the entered criteria will be returned
- 6. Click the desired file in the Results column to view the document as a PDF