

Gong, Sharon

From: Gong, Sharon
Sent: Wednesday, March 27, 2024 12:06 PM
To: Gong, Sharon
Subject: FW: 2136 San Pablo 3/28/24 ZAB Plans

From: Amy Chang <amy@trachtenbergarch.com>
Sent: Wednesday, March 27, 2024 8:00 AM
To: Gong, Sharon <SGong@berkeleyca.gov>
Cc: Isaiah Stackhouse <isaiah@trachtenbergarch.com>; David Trachtenberg <david@trachtenbergarch.com>
Subject: Re: 2136 San Pablo 3/28/24 ZAB Plans

WARNING: This is not a City of Berkeley email. Do not click links or attachments unless you trust the sender and know the content is safe.

Hi Sharon,

We made a small adjustment in the ground floor plan to eliminate the one gate from the Community Area garden to the public park to reinforce the fact that the concern of private access to the park has been fully addressed.

Here is the link to the updated drawing set:

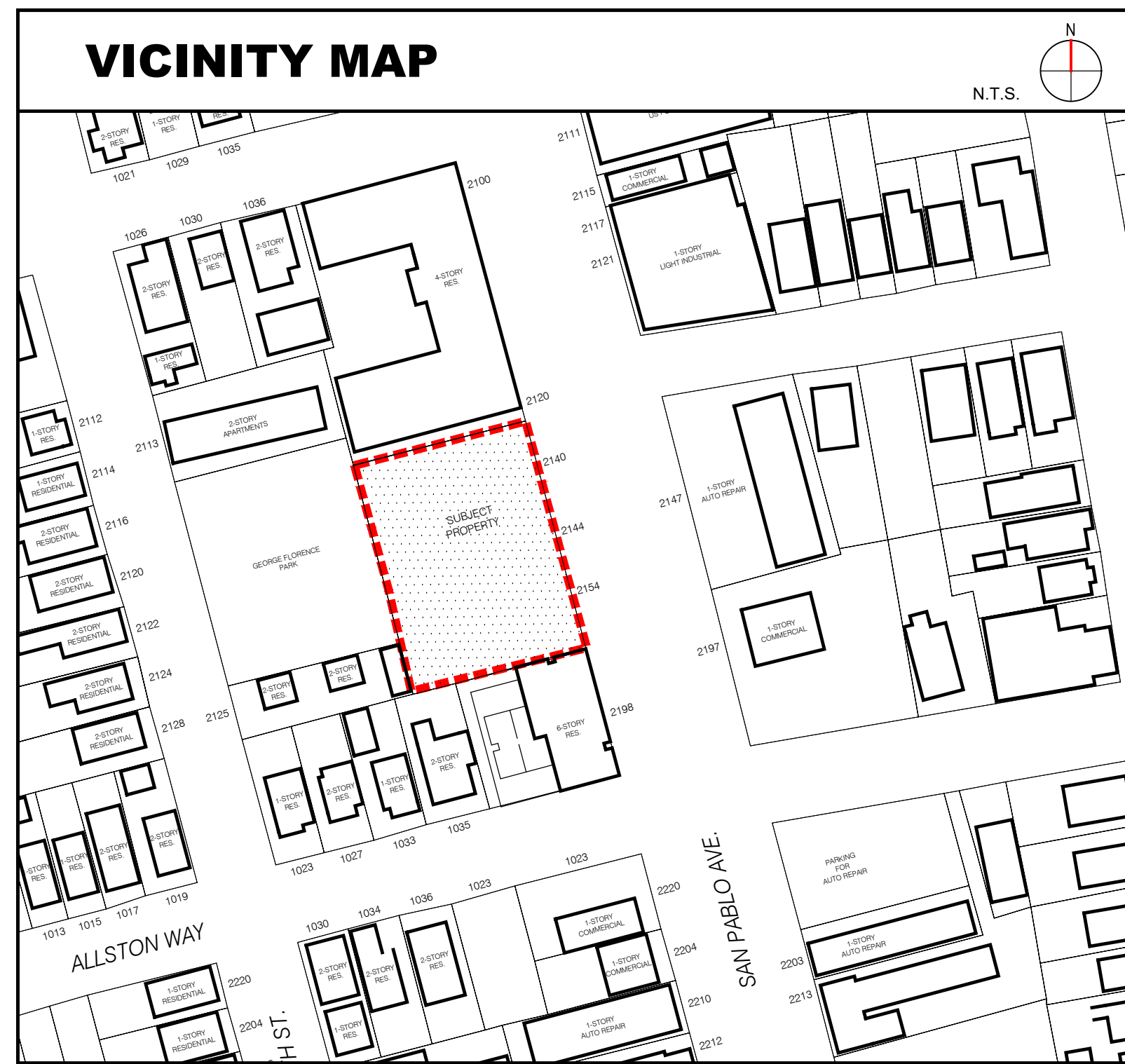
<https://drive.google.com/file/d/1P6fLVc5J9c8ni7DpLQvtiDbS-sFijPrM/view?usp=sharing>

The hearing presentation slides will also show the updated plan.

Thank you,

--

Amy Chang | Architect
TRACHTENBERG ARCHITECTS
2421 Fourth Street Berkeley, CA 94710
Office: (510) 833-2449 ext. 134
TrachtenbergArch.com



PROJECT DIRECTORY

OWNER/APPLICANT:
SAN PABLO INVESTORS TWO, LLC
 200 Spectrum Center Dr., Ste. 1450
 Irvine, CA 92618
 415 279 0071

ARCHITECT:
 David Trachtenberg, Principal
TRACHTENBERG ARCHITECTS
 2421 Fourth Street
 Berkeley, CA 94710
 510.649.1414
 www.TrachtenbergArch.com

LANDSCAPE ARCHITECT:
 Rick Stoyer
Thomas E Baak & Associates
 1620 N Main St #4
 Walnut Creek, CA 94596
 (925) 933-2583

PROJECT DESCRIPTION

PROJECT ADDRESS: 2136 - 2154 SAN PABLO AVENUE, BERKELEY, CA 94702 (APN: 056 197701101)

SCOPE OF WORK:
 REMOVAL OF THE EXISTING STRUCTURE AND CONSTRUCTION OF A NEW 6-STORY MIXED-USE BUILDING WITH 125 DWELLING UNITS (OF WHICH 3 ARE LIVE WORK), GROUND LEVEL LOBBY AND PARKING WITH A STATE OF CALIFORNIA DENSITY BONUS.

ZONING CODE SUMMARY
 (BASED ON THE BERKELEY MUNICIPAL ZONING CODE)

ZONING: C-W

SEE SHEET A0.1A FOR COMPLETE ZONING DATA

DRAWING LIST

SHEET NO. & TITLE

ARCHITECTURAL

- A0.0 GENERAL INFORMATION
- A0.1A ZONING INFORMATION & DIAGRAMS
- A0.1B BUILDING CODE INFORMATION & DIAGRAMS
- A0.1C EXITING DIAGRAMS (CONT.)
- A0.3 DENSITY BONUS DIAGRAMS
- A0.4A SHADOW STUDIES
- A0.4B SHADOW STUDIES
- A0.4C SHADOW STUDIES
- A0.4D SHADOW STUDIES
- A0.5 ZONING SITE PHOTOS
- A0.6 VICINITY MAP
- A1.0 SITE SURVEY
- A2.1 FLOOR PLANS
- A2.2 FLOOR PLANS
- A2.3 FLOOR PLANS
- A2.4 FLOOR PLANS
- A2.5 FLOOR PLANS
- A2.6 LIVE/WORK AREA DIAGRAMS
- A3.1 BUILDING ELEVATIONS
- A3.2 BUILDING ELEVATIONS
- A3.3 STREET STRIP ELEVATIONS
- A3.4 PHOTO CONTEXT VIEW
- A3.5 PHOTO CONTEXT VIEW
- A3.6 PHOTO CONTEXT VIEW
- A3.7 PERSPECTIVE VIEW
- A3.8 PERSPECTIVE VIEW
- A3.9 PERSPECTIVE VIEW
- A3.10 PERSPECTIVE VIEW
- A3.11 PERSPECTIVE VIEW
- A3.12 PERSPECTIVE VIEW
- A3.13 PERSPECTIVE VIEW
- A3.14 PERSPECTIVE VIEW
- A4.1 SECTIONS
- A4.2 WALL SECTIONS & DETAILS
- A4.3 STREET FRONT AWNING SECTIONS
- SW-1 PRELIM. STORMWATER MANAGEMENT PLAN
- G-1 CONCEPTUAL GRADING PLAN
- MAT MATERIAL BOARD

LANDSCAPE

- L1.1 GROUND LEVEL PRELIMI. LANDSCAPE PLAN
- L1.2 PODIUM LEVEL PRELIMI. LANDSCAPE PLAN
- L1.3 4TH FLOOR PRELIMI. LANDSCAPE PLAN
- L1.4 6TH FLOOR PRELIMI. LANDSCAPE PLAN
- L1.5 IMAGES & RECOMMENDED PLANT LIST

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2421 Fourth Street
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GENERAL INFORMATION

A0.0

VIEW AT SAN PABLO INTERSECTION LOOKING NORTHEAST



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ZONING INFORMATION & DIAGRAMS

A0.1A

ZONING CODE DATA

ZONING INFORMATION						
	BASE ALLOWABLE	35% DENSITY BONUS ALLOWABLE	PROPOSED w/ DENSITY BONUS			
ZONING	C-W	C-W	C-W			
TOTAL LOT SIZE (SQ. FT.)	23,301	23,301	23,301			
TOTAL LOT SIZE (ACRES)	0.53	0.53	0.53			
FLOOR AREA RATIO (FAR)	3.00	4.05	3.55			
BASE FLOOR AREA	69,903	94,369	82,824			
HEIGHT - FEET	50'	70'	69'-6"			
HEIGHT - STORIES	4	6				
LOT COVERAGE	100%	100%	83%			
FOOTPRINT	23,301	23,301	19,363			
SETBACKS						
FRONT	0	0	0			
REAR	10% (13'-4")	10% (13'-4")	10% (13'-4")			
INTERIOR SIDE (NORTH)	0	0	8'-0"			
INTERIOR SIDE (SOUTH)	VARIABLE; 0' - 5'-0"	VARIABLE; 0' - 5'-0"	VARIABLE; 0' - 10'-6"			
PARKING RATIO - DWELLINGS	1 PER UNIT	.5 PER BEDROOM	SEE TABLE			
PARKING RATIO - LIVE/WORK	1 PER UNIT	1 PER UNIT	SEE TABLE			
OPEN SPACE	40 SF / UNIT	40 SF / UNIT	SEE TABLE			
UNIT TABLE						
	LIVE / WORK	LOFT	STUDIO	1-BR	2-BR	TOTAL
LEVEL 6			5	11	1	17
LEVEL 5			9	11	1	21
LEVEL 4			9	15	1	25
LEVEL 3			9	17	1	27
LEVEL 2			9	17	1	27
LEVEL 1	3	5				8
TOTAL	3	5	41	71	5	125
BEDROOMS PER	1	1	1	1	2	
TOTAL RESIDENTIAL BEDROOMS			5	41	71	127

PROJECT AREAS				
	RESIDENTIAL AREA	COMMERCIAL AREA	MECH. (EXCLUDES PARKING)	TOTAL AREA
LEVEL 6	9,853			9,853
LEVEL 5	11,579			11,579
LEVEL 4	14,222			14,222
LEVEL 3	15,789			15,789
LEVEL 2	15,789			15,789
GROUND LEVEL (plus MEZZANINE)	12,361	2,490	741	15,592
TOTAL	79,593	2,490		82,824
			FAR	3.55
			MAX ALLOWABLE FAR	4.05

PARKING CALCULATIONS (DENSITY BONUS METHOD)				
	SPACES	PER	REQ'D	
RESIDENTIAL UNITS (PER AB 2097)				0
LIVE/WORK UNITS	3	1	1	3
LIVE/WORK CLIENTS/WORKERS	1245			2
BASE REQUIRED CAR PARKING				5
TOTAL PROPOSED CAR PARKING				50

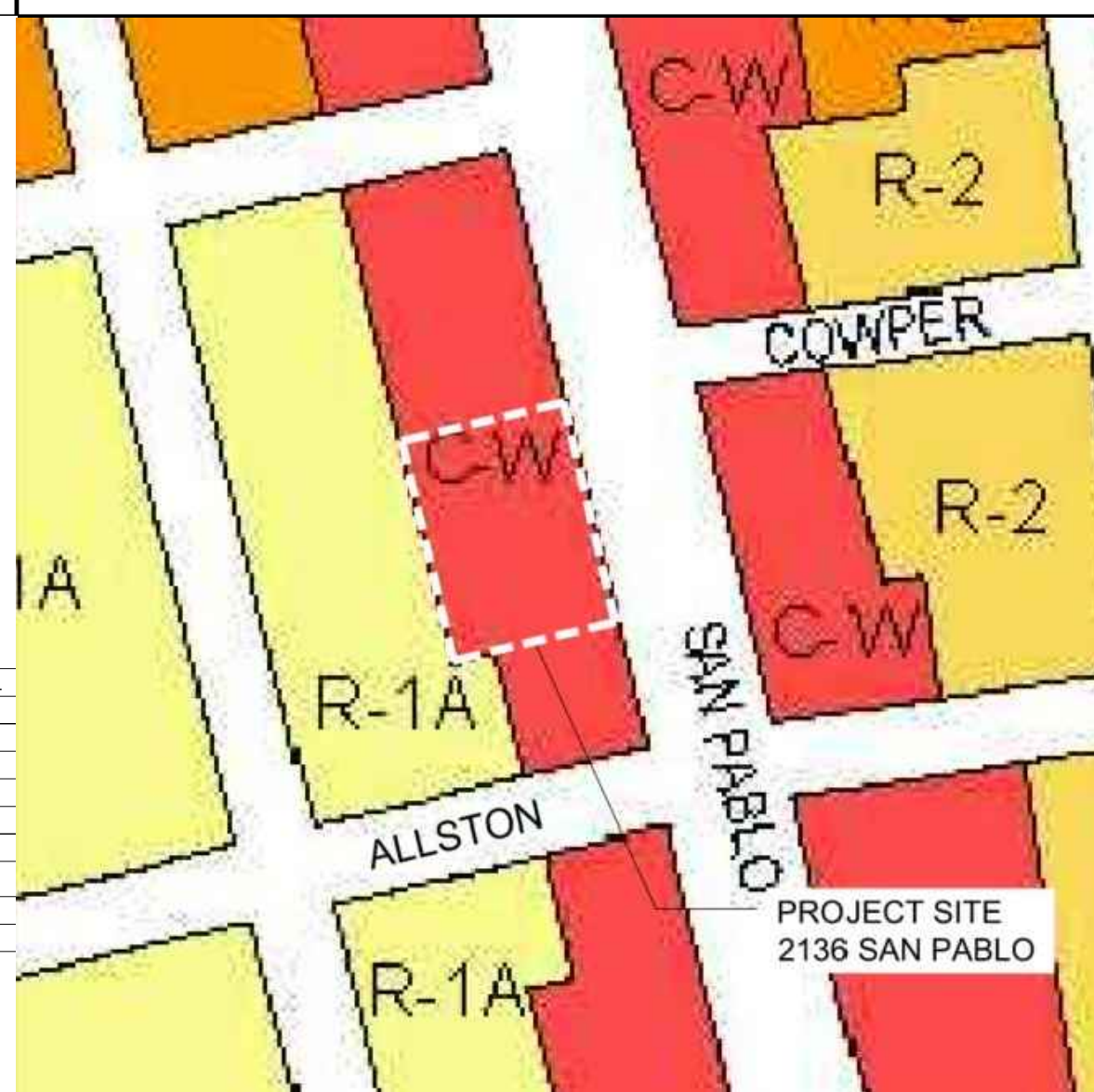
LONG TERM BIKE PARKING CALCULATIONS				
	SPACES	PER	REQ'D	
LIVE/WORK UNITS		0	N/A	0
RESIDENTIAL BEDROOMS	127	1	3	42
LONG TERM BIKE PARKING REQ.				42
TOTAL PROPOSED LONG TERM BIKE PARKING				64

SHORT TERM BIKE PARKING CALCULATIONS				
	SPACES	PER	REQ'D	
LIVE/WORK UNITS	3	1	5	2
OR 2, WHICHEVER IS GREATER				
RESIDENTIAL BEDROOMS	127	1	40	3
SHORT TERM BIKE PARKING REQ.				5
TOTAL PROPOSED SHORT TERM BIKE PARKING				8

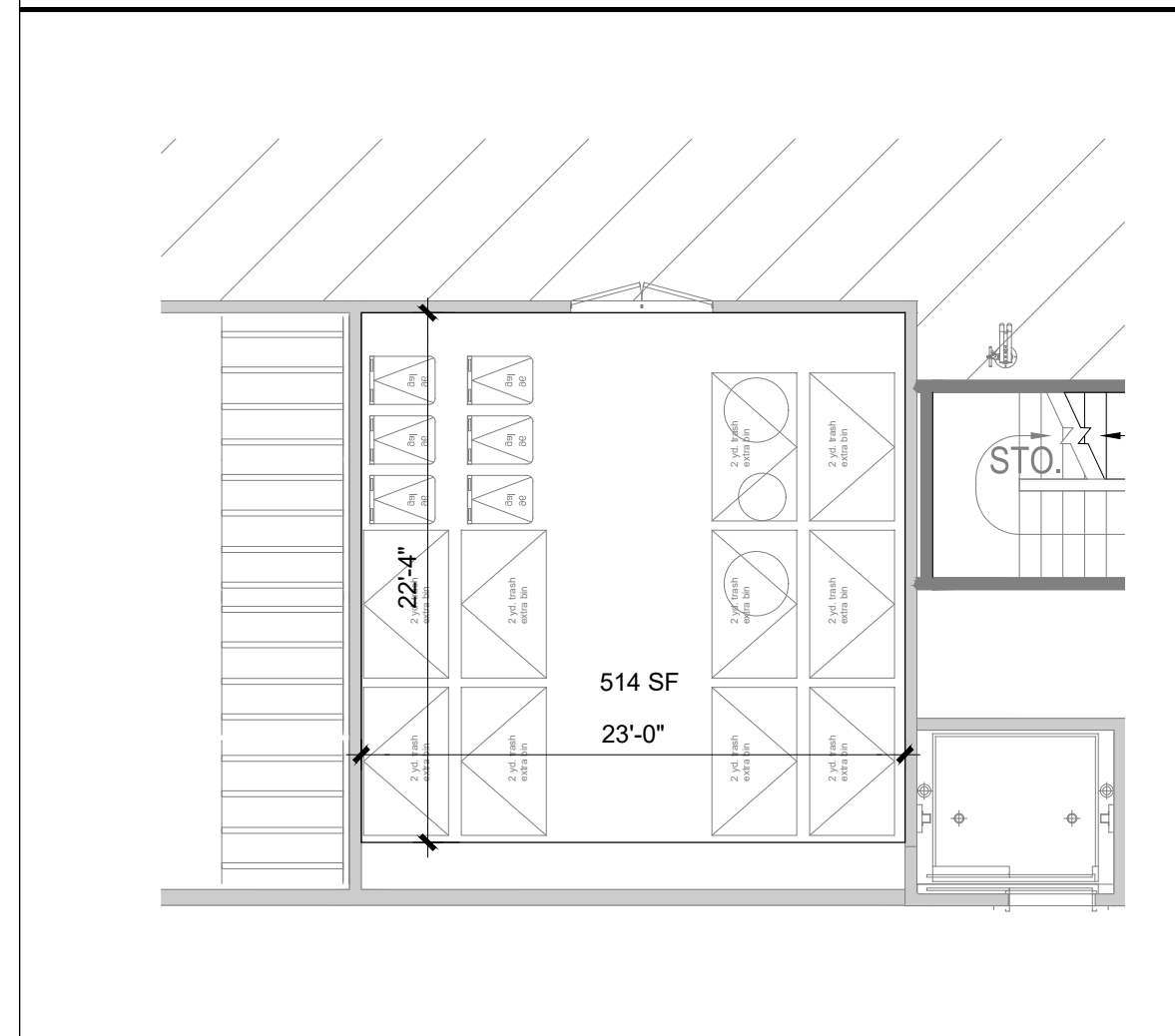
OPEN SPACE CALCULATIONS					
	UNITS	SF / UNIT	TOTAL	TOTAL LANDSCAPE SF	LANDSCAPED OPEN SPACE %
RESIDENTIAL & LIVE/WORK UNITS	125	40	5,000		
TOTAL OPEN SPACE REQUIRED			5,000	2034	41%
TOTAL OPEN SPACE PROVIDED			5,404		
PRIVATE PATIOS					
GROUND FLOOR PRIVATE PATIOS	5	40	200	80	
PODIUM LEVEL PRIVATE PATIOS	10	40	400	160	
6TH FLOOR PRIVATE PATIOS	2	40	80	32	
COMMON OPEN SPACES					
GROUND FLOOR OPEN SPACE			297	119	
PODIUM LEVEL OPEN SPACE			2,345	1070	
4TH FLOOR ROOF DECKS	2	563	1,126	266	
6TH FLOOR ROOF DECKS	2	478	956	307	

ROOFTOP ARCHITECTURAL ELEMENTS CALCS			
AVERAGE AREA OF FLOORS			13,804
			PROVIDED
TOTAL AREA OF ROOFTOP ARCHITECTURAL ELEMENTS			422
% AREA OF ROOFTOP ARCHITECTURAL FEATURES			3.1%
			MAX ALLOWED
			2,071
			15.0%

ZONING MAP



REFUSE AND RECYCLING



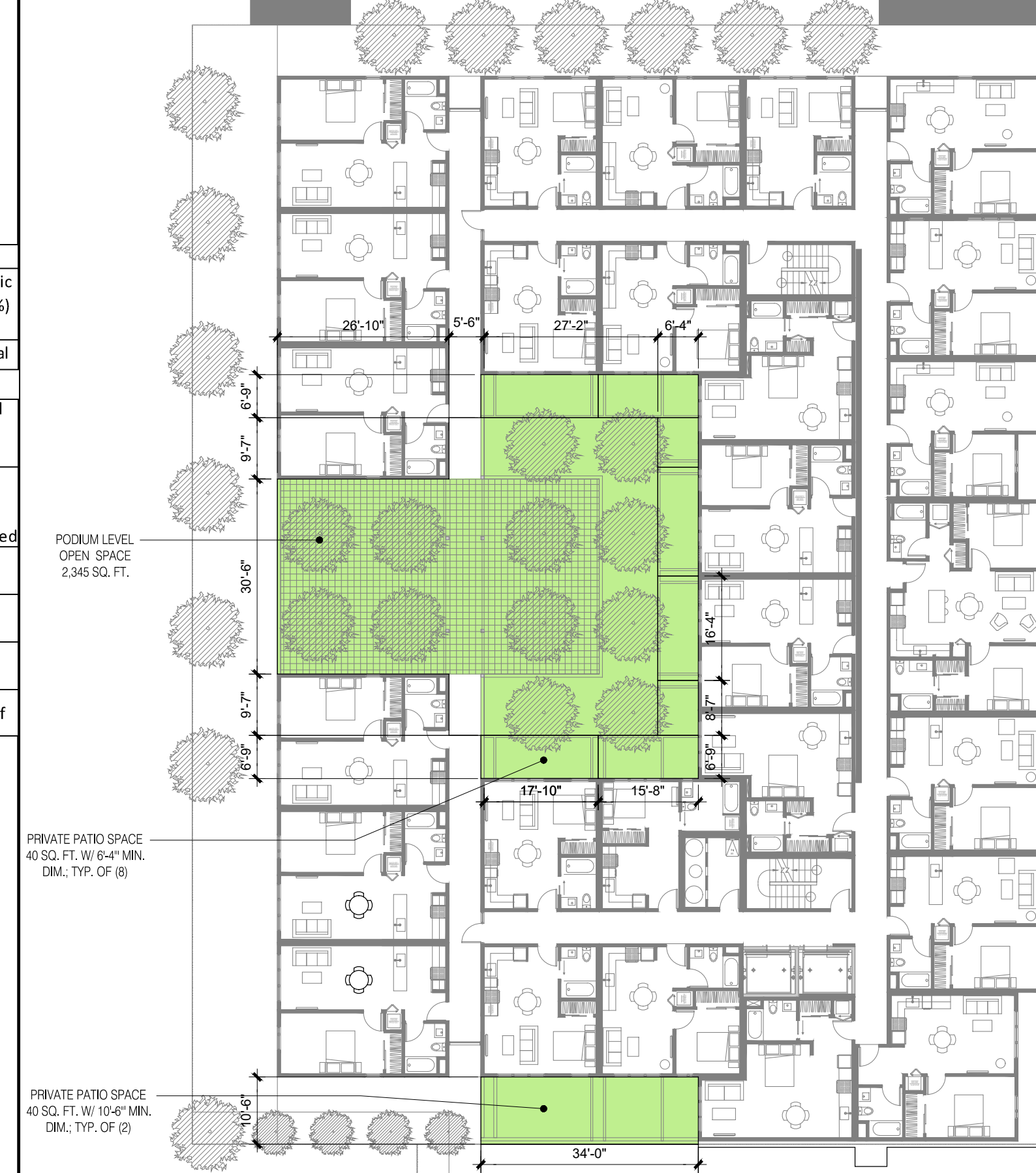
Waste and Recycling Calculation							
# of Bedrooms	Factor	Occupants	Total cuft required (.25cy or 90 gallons / 3 occ)	Waste (40%)	Recycling: Glass & Bottles	Recycling: Paper (20%)	Organics (20%)
127	1.75	222	18.52 cy / 3,704 gal	7.41 cuft / 1,482 gal	741 gal	741 gal	741 gal

Space Calculation	Container Quantities				Space per Container	150% Additional Increase for Operation	
	Waste	Recycling (Glass+ Bottles)	Recycling (Paper)	Organics		Required	Provided
2 cy bin (404 gal)	3	2	2	2	28 sf	252 sf	
96 gallon cart	3				7 sf	21 sf	
64 gallon cart					6 sf	sf	
Total capacity	1500 gal	808 gal	808 gal	808 gal	273 sf	410 sf	514 sf

OPEN SPACE DIAGRAMS



GROUND FLOOR



LEVEL 2 PODIUM



LEVEL 6 ROOF DECK



LEVEL 4 ROOF DECK

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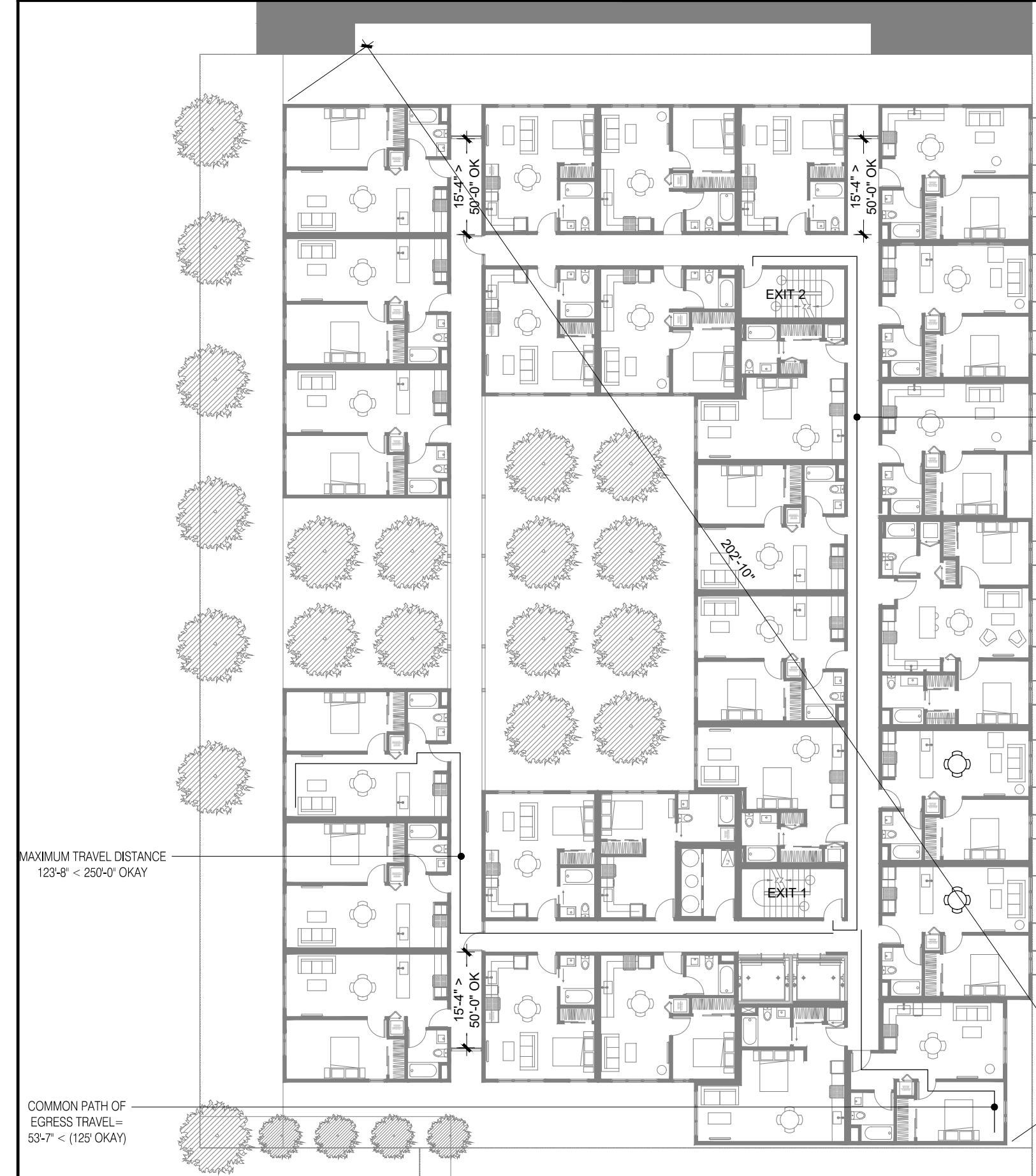
SHEET:

BUILDING CODE
INFORMATION &
DIAGRAMS

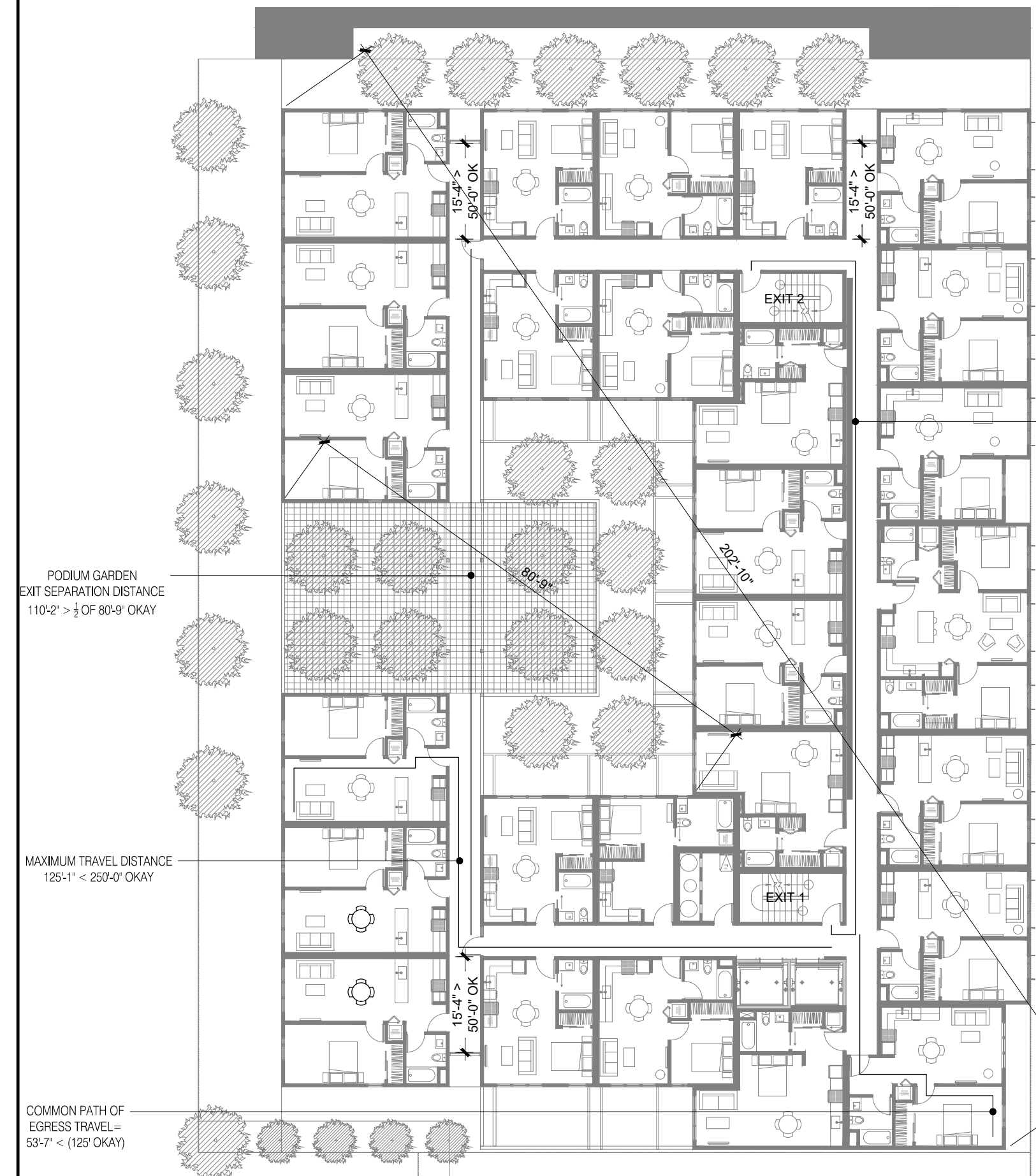
A0.1B

EXITING DIAGRAMS

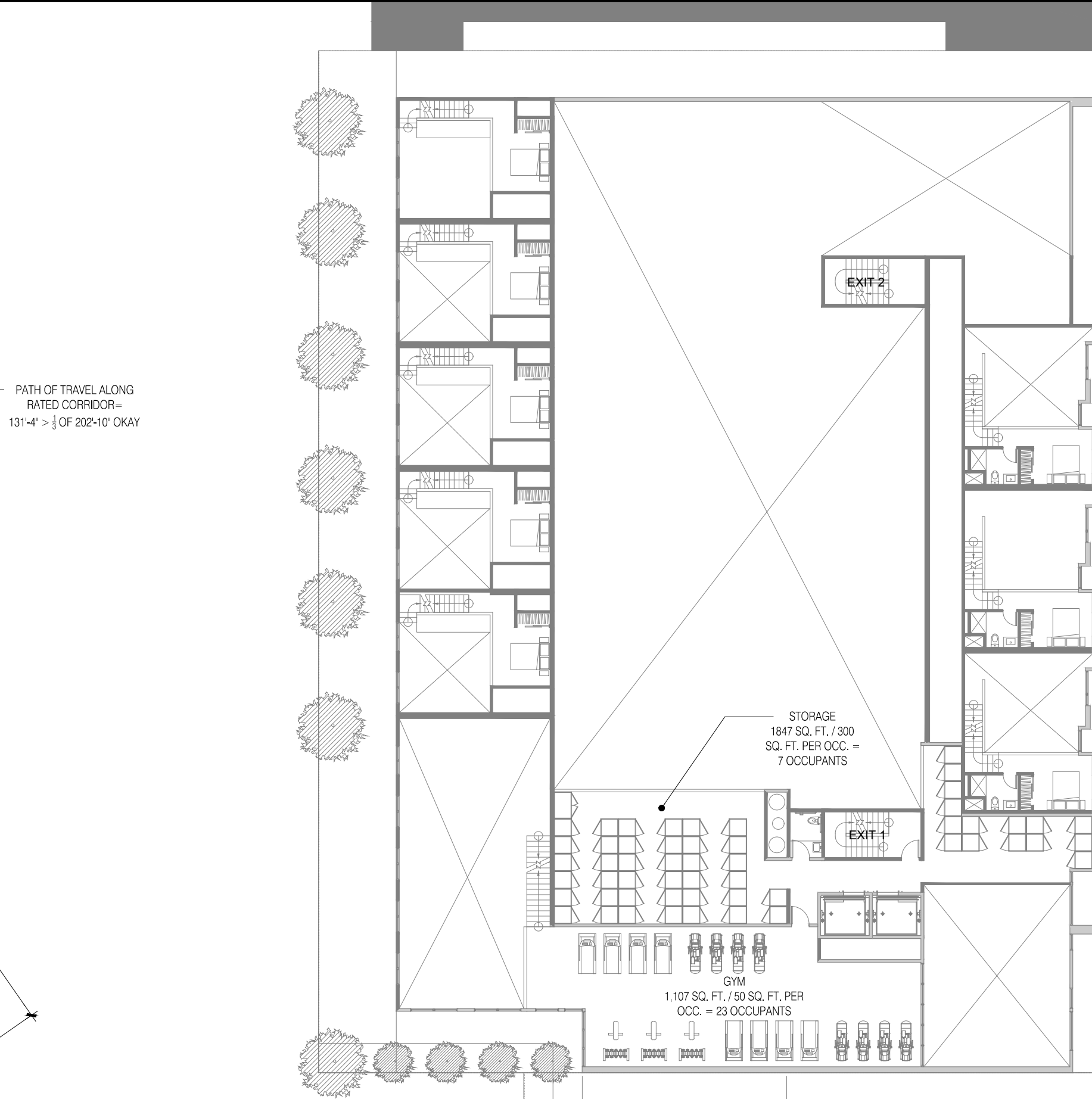
BUILDING CODE DATA



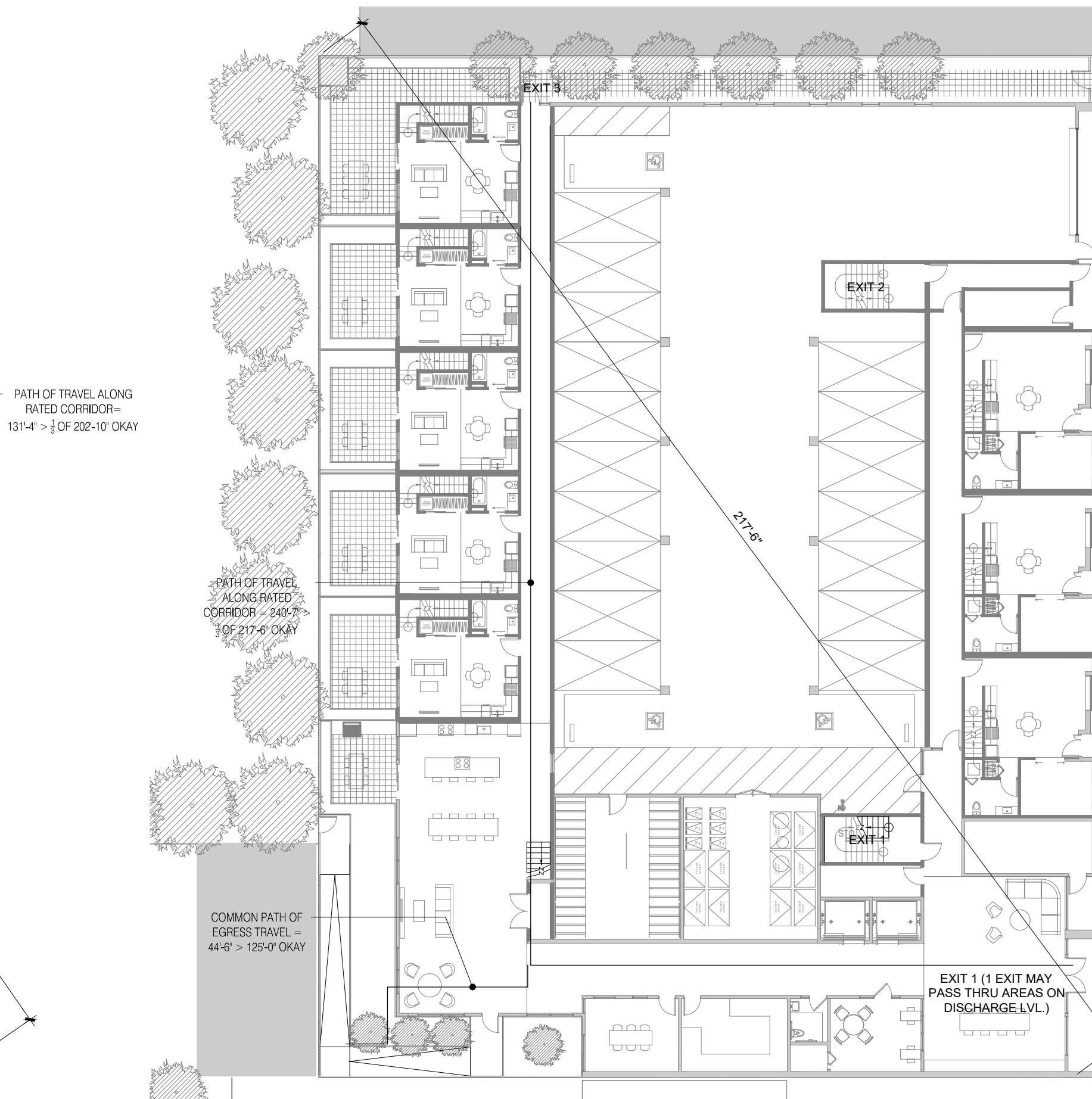
LEVEL 3



LEVEL 2



MEZZANINE



GROUND FLOOR

Building Information 1/14/2020

Occupancy Type	Mixed Use Apartments (R-2) Type III-A over Type I-A Residential Common Area Storage, Garage, Commercial, (S-2, R-2, B) w/ 3-hour horizontal assembly per CBC 510.2				
Construction Type	Type I-A (Story 1), III-A (Stories 2-6)				
Building Story and Height Limitation (CBC Table 504.3 & 504.4)					
* story count measured from floor above Type I-A per CBC 510.2					
Occupancy Type	Construction Type	Allowable Stories	Proposed Stories	Allowable Building Height	Proposed Building Height
Ground Floor (Storage, Apartments, Commercial)	I-A	UL	1	UL	18'-0"
R-2 (Apartment)	III-A	5 *	5 *	85'	51'-6"

Building Below Horizontal Separation Code Area Limitation Analysis - Type I-A

Allowable Building Area Analysis - Separated Occupancies (CBC Table 506.2 506.3 & 506.2.4)

Occupancy	Type	Allowable Area	Proposed	%
S-2 (Sto., Garage, Mech, Mezz.)	I-A	UL	10,713	
B (50% Live/Work)	I-A	UL	1,245	
R-2 (Loft Units, Common Areas, Gym, 50% Live/Work)	I-A	UL	11,759	
Type I-A Sub-Total			23,717	

Building Above Horizontal Separation Code Area Limitation Analysis - Type III-A

Allowable Building Area Analysis - Separated Occupancies (CBC Table 506.2 506.3 & 506.2.4)

Aa = Allowable Area = [At + (NS x If)] If=Frontage Increase=(F/P-0.25)W/30

Occupancy	Type	At	NS	If	Aa	Proposed	%
Second Floor R-2 (Apartments)	III-A	72,000	24000	0.184	76,416	15,536	20%
Third Floor R-2 (Apartments)	III-A	72,000	24000	0.184	76,416	15,536	20%
Fourth Floor R-2 (Apartments)	III-A	72,000	24000	0.184	76,416	11,579	15%
Fifth Floor R-2 (Apartments)	III-A	72,000	24000	0.184	76,416	9,853	13%
Sixth Floor R-2 (Apartments)	III-A	72,000	24000	0.184	76,416	9,853	13%
Type V-A Second-Fifth Total						62,357	
Total Allowed per CBC 506.2.4 (200%)							82%

Separations of Occupancies (CBC 508.4)

Occupancies	Rating	Occupancies	Rating
R-2 to S-2 & B	1 Hour	S-2 to B	1 Hour
Between Dwelling Units	1 Hr Floor & Walls (CBC 708.3&711.3)		

Fire Resistance of Exterior Walls (Table 602)

Ground Floor Type I-A (R-2, S-2, B)

Wall Location	Fire Sep. Dist.	Rating	Fire Sep. Dist.	Rating
	X<5	1	10x<30	1
	5x<10	1	X≥30	0

Floors 2-6 Type III-A (R-2)

Wall Location	Fire Separation Distance	Rating
	X<5	1
	5x<10	1
	X≥30	0

Fire Resistance of Requirements (Table 601)

Type I-A

Building Element	Required	Provided
Structural Frame	3	3
Bearing Walls - Exterior	3	3
Bearing Wall - Interior	3	3
Non-bearing Walls - Exterior	See Table 602	
Non-bearing Wall - Interior	0	0
Floor Construction	2	2
Roof Construction	1 1/2	NA

Floors 2nd-6th Type III-A

Building Element	Required	Provided
Structural Frame	1	1
Bearing Walls - Exterior	2	2
Bearing Wall - Interior	1	1
Non-bearing Walls - Exterior	See Table 602	
Non-bearing Wall - Interior	0	0
Floor Construction	1	1
Roof Construction	1	1

EXITING DIAGRAMS (CONT.)

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ARCHITECTS

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**EXITING DIAGRAMS
(CONT.)**

A0.1C



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DENSITY BONUS DIAGRAMS

A0.3

DENSITY BONUS DIAGRAM LEGEND

- RESIDENTIAL GROSS FLOOR AREA
- COMMERCIAL GROSS FLOOR AREA
- MECH./PARKING GROSS FLOOR AREA

DENSITY BONUS DIAGRAM GENERAL NOTES

- 1) PER BMC SECTION 23F.04.010, GROSS FLOOR AREAS ARE CLASSIFIED AS EITHER RESIDENTIAL-USE OR NON-RESIDENTIAL USE. GROSS FLOOR AREAS ARE CALCULATED TO THE OUTSIDE SURFACE OF MAIN WALLS.
- 2) RESIDENTIAL GROSS FLOOR AREAS INCLUDE: CIRCULATION ON EVERY FLOOR, COMMON RESIDENTIAL AMENITIES (BIKE ROOM, MANAGER'S OFFICE, MAIL ROOMS/AREAS, LOUNGES, ETC.), AND STAIRS/ELEVATORS ON THE FLOOR OF THEIR GREATEST HORIZONTAL EXTENT.
- RESIDENTIAL GROSS FLOOR AREAS EXCLUDE: STAIRS/ELEVATORS EXCEPT ON THE FLOOR OF THEIR GREATEST HORIZONTAL EXTENT.
- 3) PARKING & ASSOCIATED MEZZANINES EXCLUDED FROM DENSITY BONUS FLOOR AREA CALCULATIONS.
- 4) SEE A2.5 FOR ENLARGED PLANS DIFFERENTIATING THE COMMERCIAL FLOOR AREA FROM THE RESIDENTIAL FLOOR AREA.

MAXIMUM AREA CALCULATIONS

	Total Gross Floor Area (GFA)	Non-Residential Gross Floor Area	Commercial Gross Floor Area	Mech. Gross Floor Area	Allowable Residential Gross Floor Area	Proposed Project Residential Gross Floor Area
Site Area	23,301					
Base FAR	3.0					
Base Project GFA	69,903	1,245	483		68,175	61,353
Density Bonus Mod.					1.35	
Density Bonus GFA	93,281	1,245	483		92,036	80,753

DENSITY BONUS TABLE

Base Project RFA	Avg. Unit Size	Base # Units	% VLI	# VLI Units	#VLI Units	Bonus %	# DB Units	# DB Units	Maximum DB Project																																																																	
sq. ft. - see calculation below	sq. ft.	base project area / avg. unit size	VLI = Very Low Income <50 AMI	% VLI x Base # Units			% Bonus x Base # Units (rounded up)	% Bonus x Base # Units (rounded up)	% Bonus x Base # Units (rounded up)																																																																	
61,353	646	95	10%	9.50	10.00	32.5%	30.8750	31	126																																																																	
Reference Only - 35% Maximum Density Bonus Project: 35% 33,2500 34 129																																																																										
Ref. # of possible additional units: 129																																																																										
Proposed Area: 80,753																																																																										
Proposed Units: 125																																																																										
Average Unit Size: 646																																																																										
<table border="1"> <thead> <tr> <th>Base Project Residential Floor Area</th> <th>Floor</th> <th>Proposed Project Residential Floor Area</th> <th>%VLI</th> <th>%DB</th> </tr> </thead> <tbody> <tr> <td>5,867</td> <td>First (Non-LW)</td> <td>8,539</td> <td>5%</td> <td>20.0%</td> </tr> <tr> <td>630</td> <td>First (LW)</td> <td>630</td> <td>6%</td> <td>22.5%</td> </tr> <tr> <td>2,665</td> <td>Mezz (Non-LW)</td> <td>3,737</td> <td>7%</td> <td>25.0%</td> </tr> <tr> <td>615</td> <td>Mezz (LW)</td> <td>615</td> <td>8%</td> <td>27.5%</td> </tr> <tr> <td>17,192</td> <td>Second</td> <td>15,789</td> <td>9%</td> <td>30.0%</td> </tr> <tr> <td>17,192</td> <td>Third</td> <td>15,789</td> <td>10%</td> <td>32.5%</td> </tr> <tr> <td>17,192</td> <td>Fourth</td> <td>14,222</td> <td>11%</td> <td>35.0%</td> </tr> <tr> <td></td> <td>Fifth</td> <td>11,579</td> <td></td> <td></td> </tr> <tr> <td></td> <td>Sixth</td> <td>9,853</td> <td></td> <td></td> </tr> <tr> <td>Total:</td> <td></td> <td>80,753</td> <td></td> <td></td> </tr> <tr> <td>Add. DB Sq. Ft.:</td> <td></td> <td>19,400</td> <td></td> <td></td> </tr> <tr> <td>DB %:</td> <td></td> <td>31.62%</td> <td></td> <td></td> </tr> </tbody> </table>										Base Project Residential Floor Area	Floor	Proposed Project Residential Floor Area	%VLI	%DB	5,867	First (Non-LW)	8,539	5%	20.0%	630	First (LW)	630	6%	22.5%	2,665	Mezz (Non-LW)	3,737	7%	25.0%	615	Mezz (LW)	615	8%	27.5%	17,192	Second	15,789	9%	30.0%	17,192	Third	15,789	10%	32.5%	17,192	Fourth	14,222	11%	35.0%		Fifth	11,579				Sixth	9,853			Total:		80,753			Add. DB Sq. Ft.:		19,400			DB %:		31.62%		
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630	First (LW)	630	6%	22.5%																																																																						
2,665	Mezz (Non-LW)	3,737	7%	25.0%																																																																						
615	Mezz (LW)	615	8%	27.5%																																																																						
17,192	Second	15,789	9%	30.0%																																																																						
17,192	Third	15,789	10%	32.5%																																																																						
17,192	Fourth	14,222	11%	35.0%																																																																						
	Fifth	11,579																																																																								
	Sixth	9,853																																																																								
Total:		80,753																																																																								
Add. DB Sq. Ft.:		19,400																																																																								
DB %:		31.62%																																																																								
<table border="1"> <thead> <tr> <th>Base Project # of Units</th> <th>Floor</th> <th>Proposed Project # of Units</th> </tr> </thead> <tbody> <tr> <td>5</td> <td>First</td> <td>8</td> </tr> <tr> <td>30</td> <td>Second</td> <td>27</td> </tr> <tr> <td>30</td> <td>Third</td> <td>27</td> </tr> <tr> <td>30</td> <td>Fourth</td> <td>25</td> </tr> <tr> <td></td> <td>Fifth</td> <td>21</td> </tr> <tr> <td></td> <td>Sixth</td> <td>17</td> </tr> <tr> <td>Total:</td> <td></td> <td>125</td> </tr> </tbody> </table>										Base Project # of Units	Floor	Proposed Project # of Units	5	First	8	30	Second	27	30	Third	27	30	Fourth	25		Fifth	21		Sixth	17	Total:		125																																									
Base Project # of Units	Floor	Proposed Project # of Units																																																																								
5	First	8																																																																								
30	Second	27																																																																								
30	Third	27																																																																								
30	Fourth	25																																																																								
	Fifth	21																																																																								
	Sixth	17																																																																								
Total:		125																																																																								

Units w/ Mezzanine Area Breakdown

	L/W Units	Res. Lofts
First Floor GFA	625	450
Mezz. GFA	205	135
Total GFA per Unit	830	585
Residential Floor Area (50%)	415	n/a
Commercial Floor Area (50%)	415	n/a
Total L/W Units	3	
Total Commercial Floor Area	1245	

BASE PROJECT ZONING COMPLIANCE CHECKS

Base Project - FAR

	Site Area	Res. Area	Comm. Area	Total Area	FAR
Base Units	23,301	61,353	1,245	62,598	2.69

Base Project - Stormwater

	Site Area	Roof Area	%	Required	Provided
Base Units	23,301	19,533	4%	781	781

Base Project - Open Space

	Units	Ratio	Total Area
Base Units	95	40	3800
Total Required Open Space			3800
Total Provided Open Space			3817
Ground Floor			824
Podium			2063
Roof Deck			930

Base Project - Parking

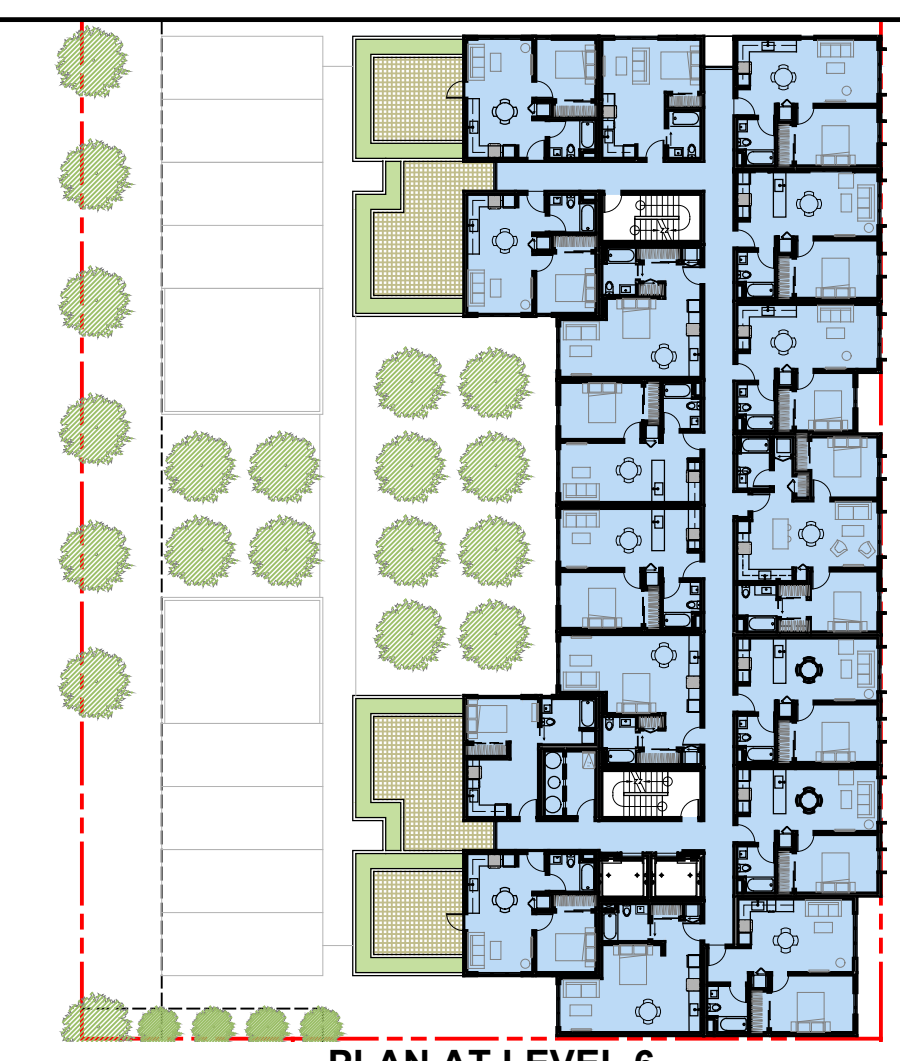
	Spaces	Ratio	Total
Base Units (Per AB 2097)			0
Live/Work (Per AB 209)	3	1	3
Live/Work Non-Res SF	1,245	1	1000
Total Car Spaces Required			4
Total Car Spaces Provided			73

Base Project - Long Term Bike Parking

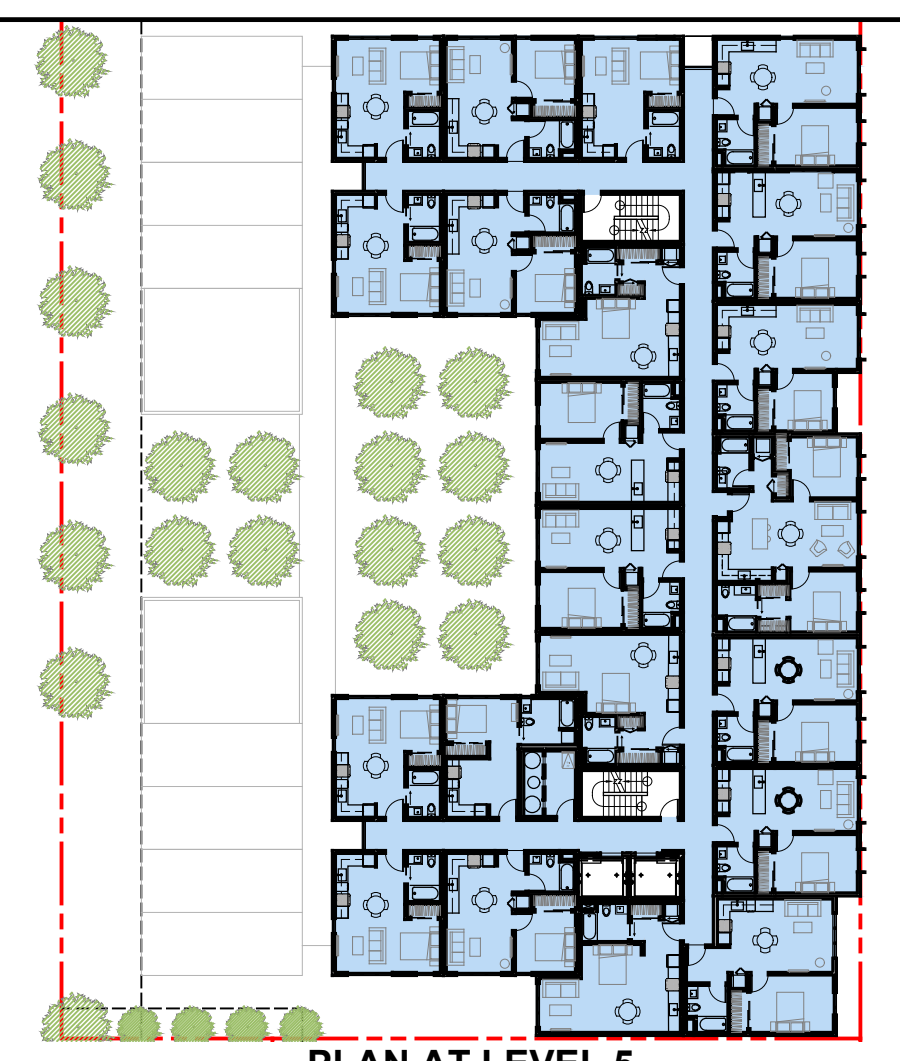
	Spaces	Ratio	Total
Base Bedrooms	92	1	3
Live/Work	3	0	n/a
Total Long Term Bike Spaces Req.			31
Total Long Term Bike Spaces Provided			48

Base Project - Short Term Bike Parking

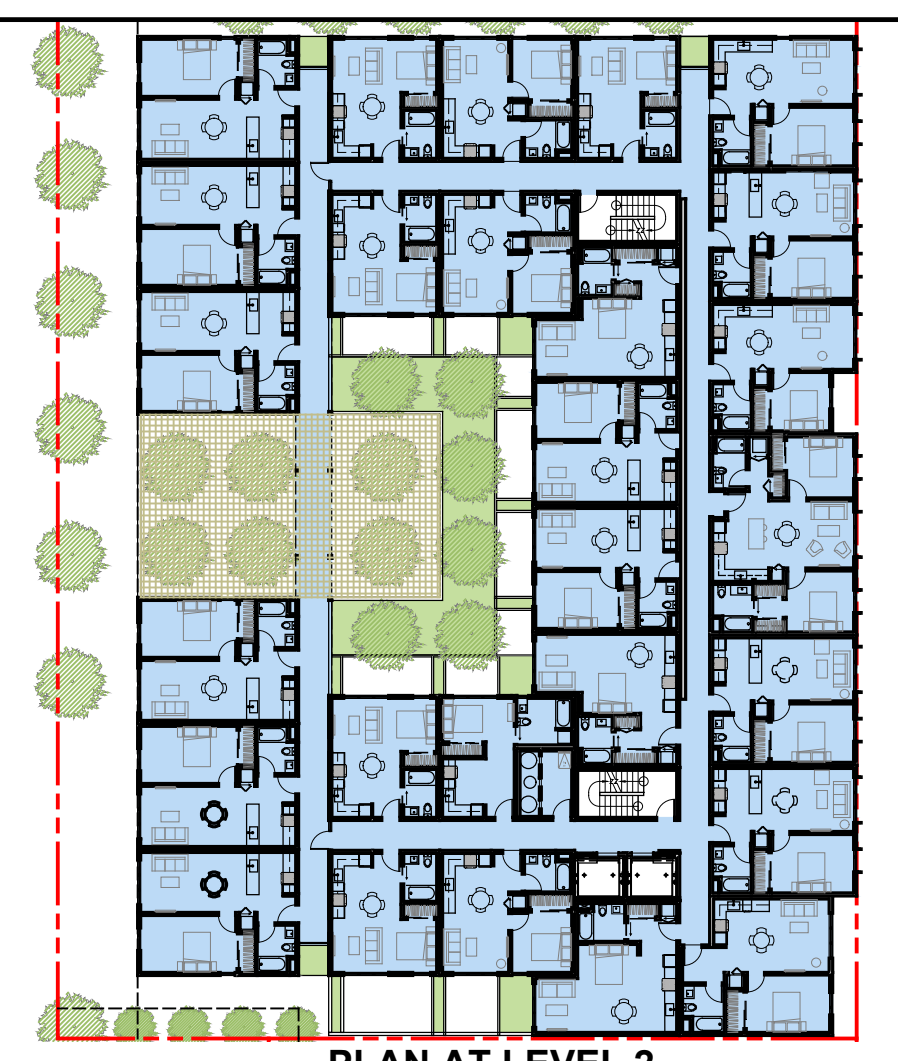
	Spaces	Ratio	Total
Base Bedrooms	92	1	40
Live/Work	3	1	5
Live/Work	3	Or 2, whichever is greater	2
Total Short Term Bike Spaces Req.			5



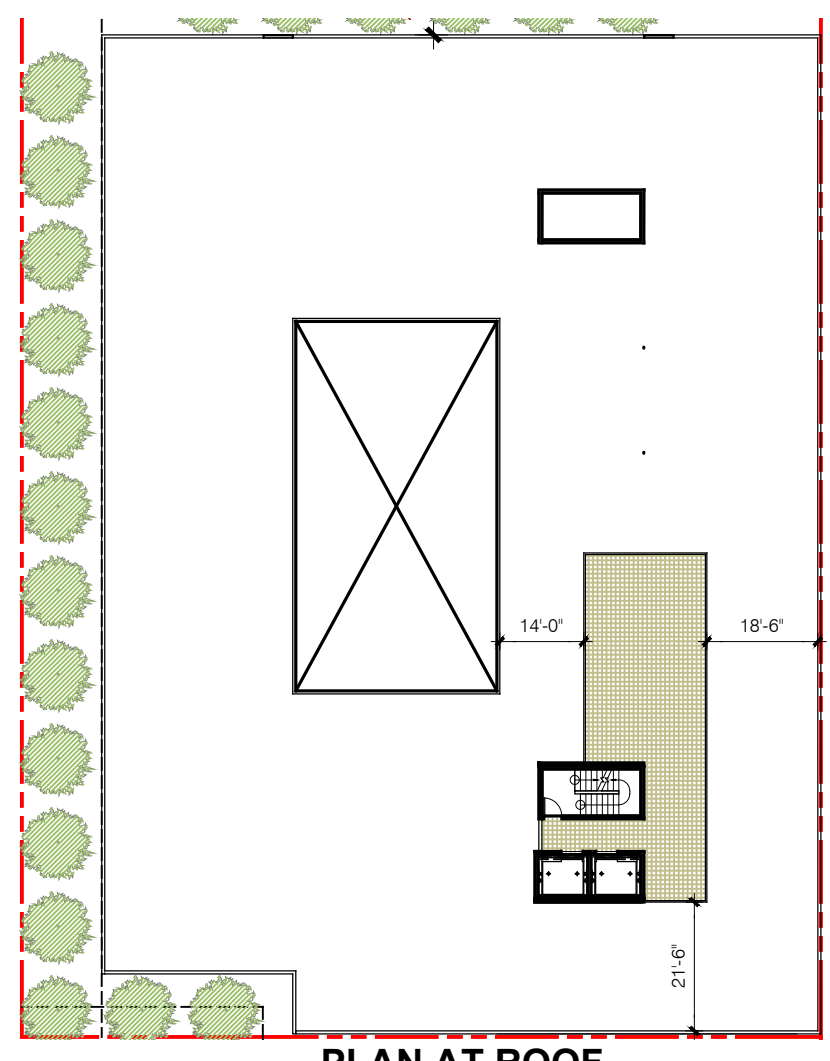
PLAN AT LEVEL 6



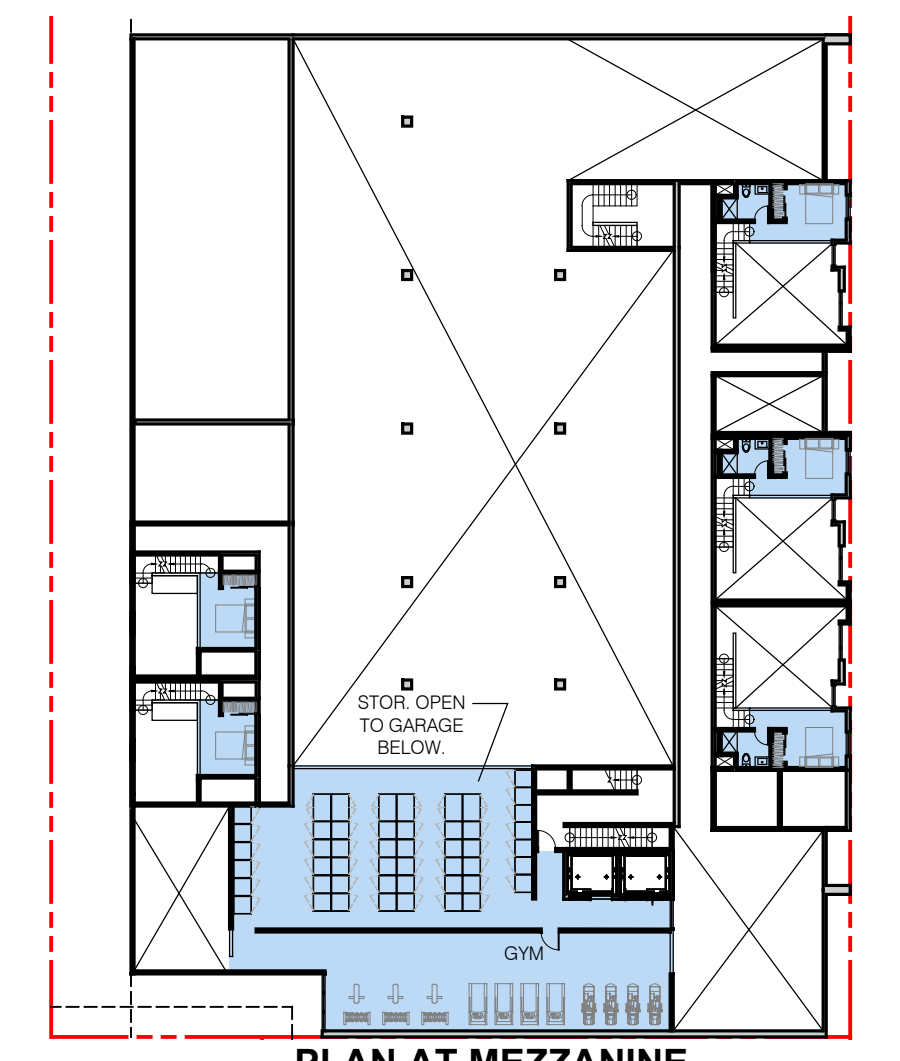
PLAN AT LEVEL 5



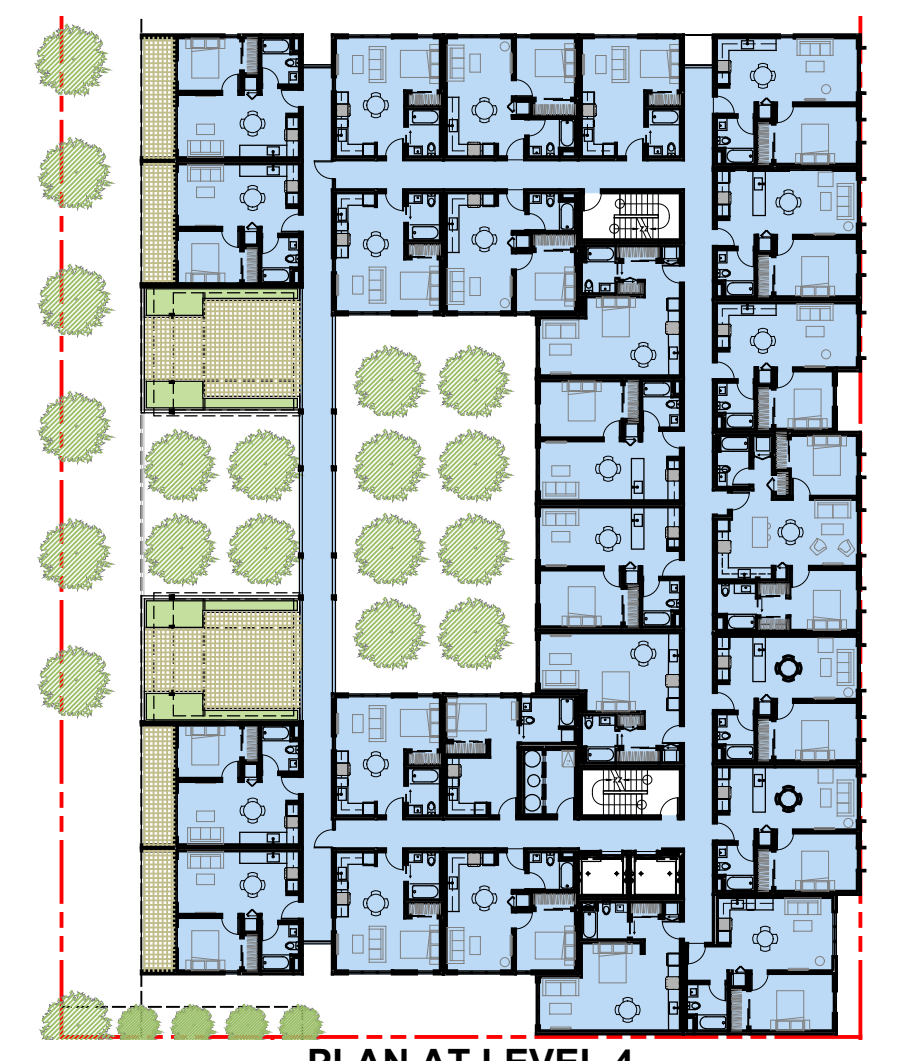
PLAN AT LEVEL 2



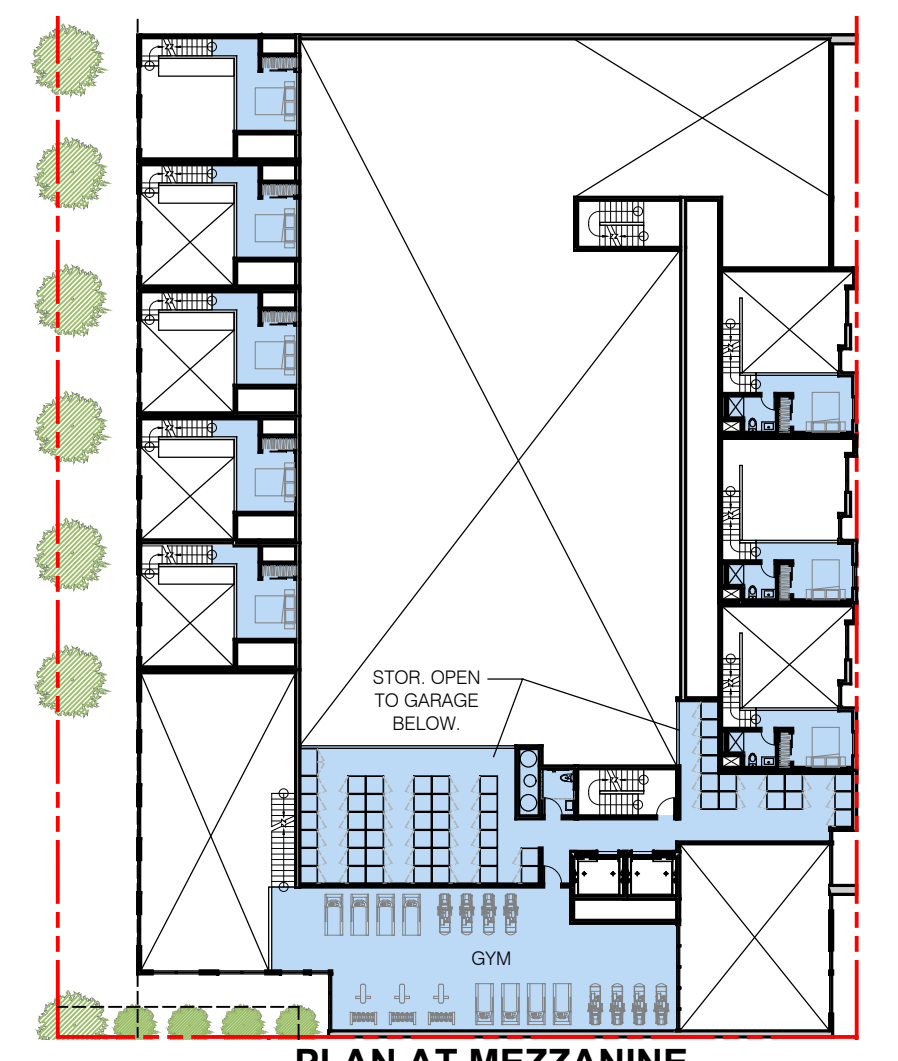
PLAN AT ROOF



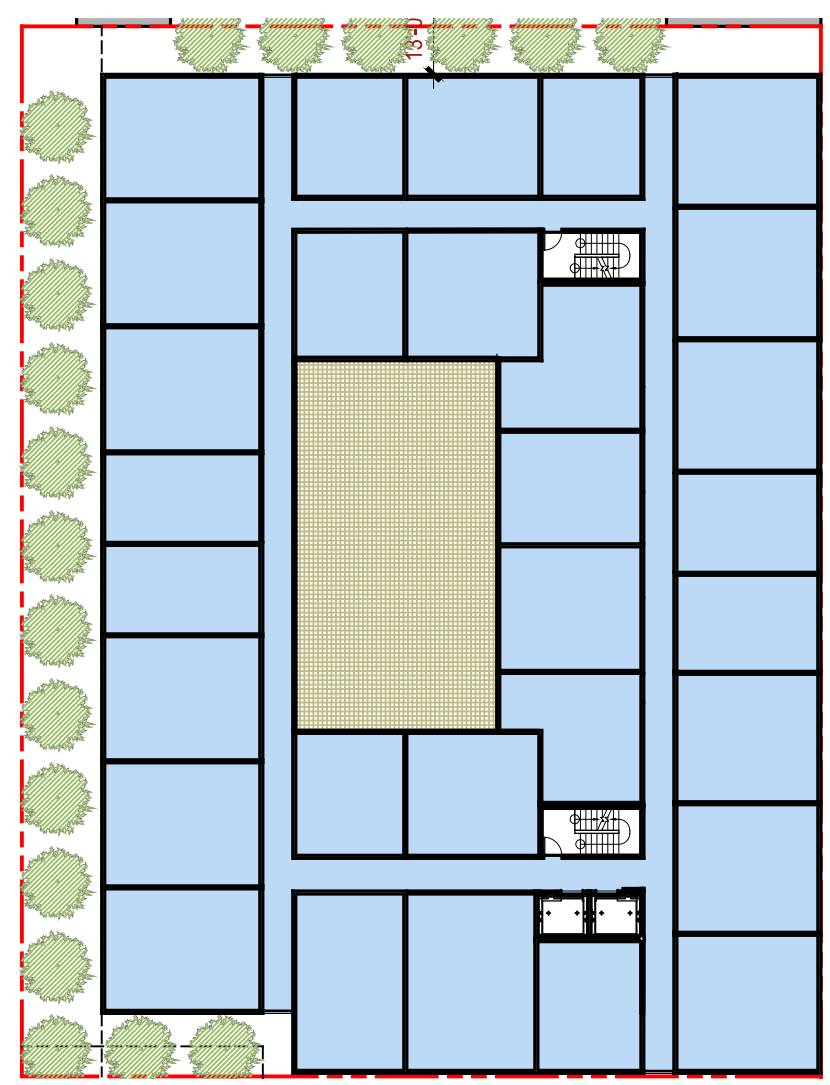
PLAN AT MEZZANINE



PLAN AT LEVEL 4



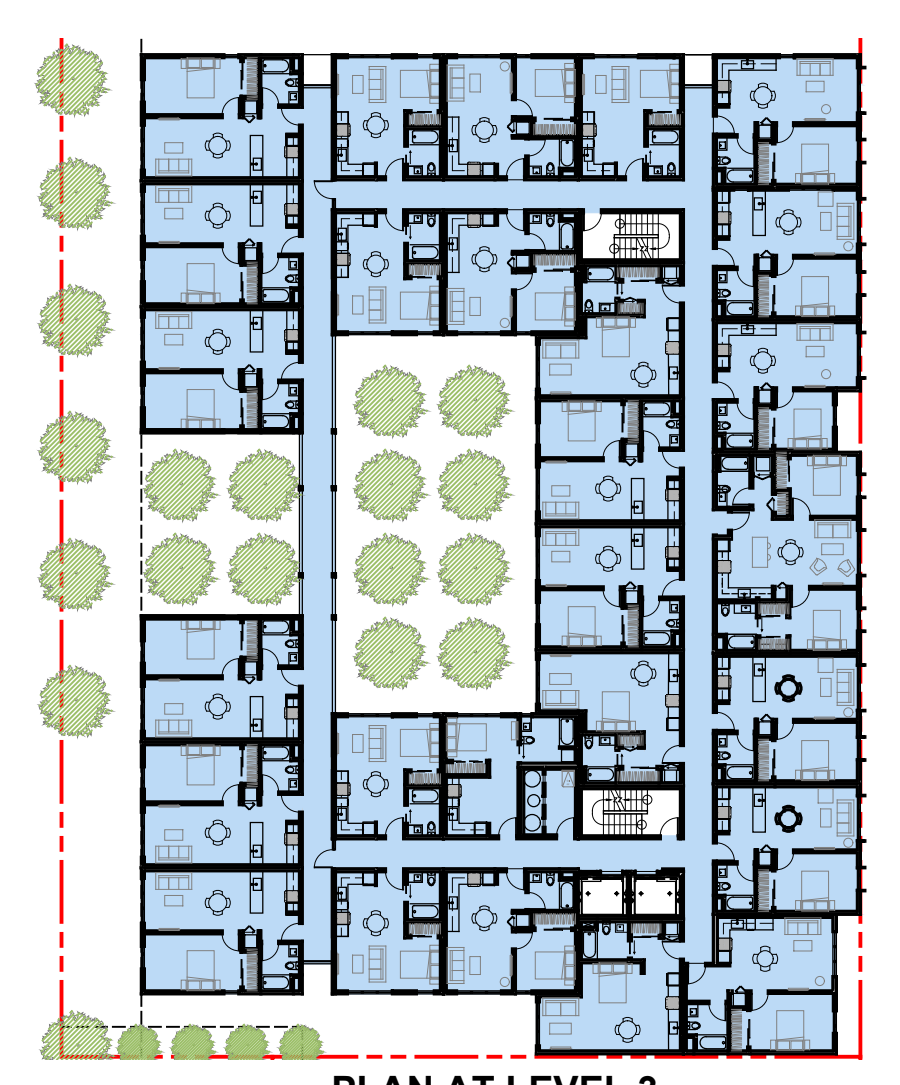
PLAN AT MEZZANINE



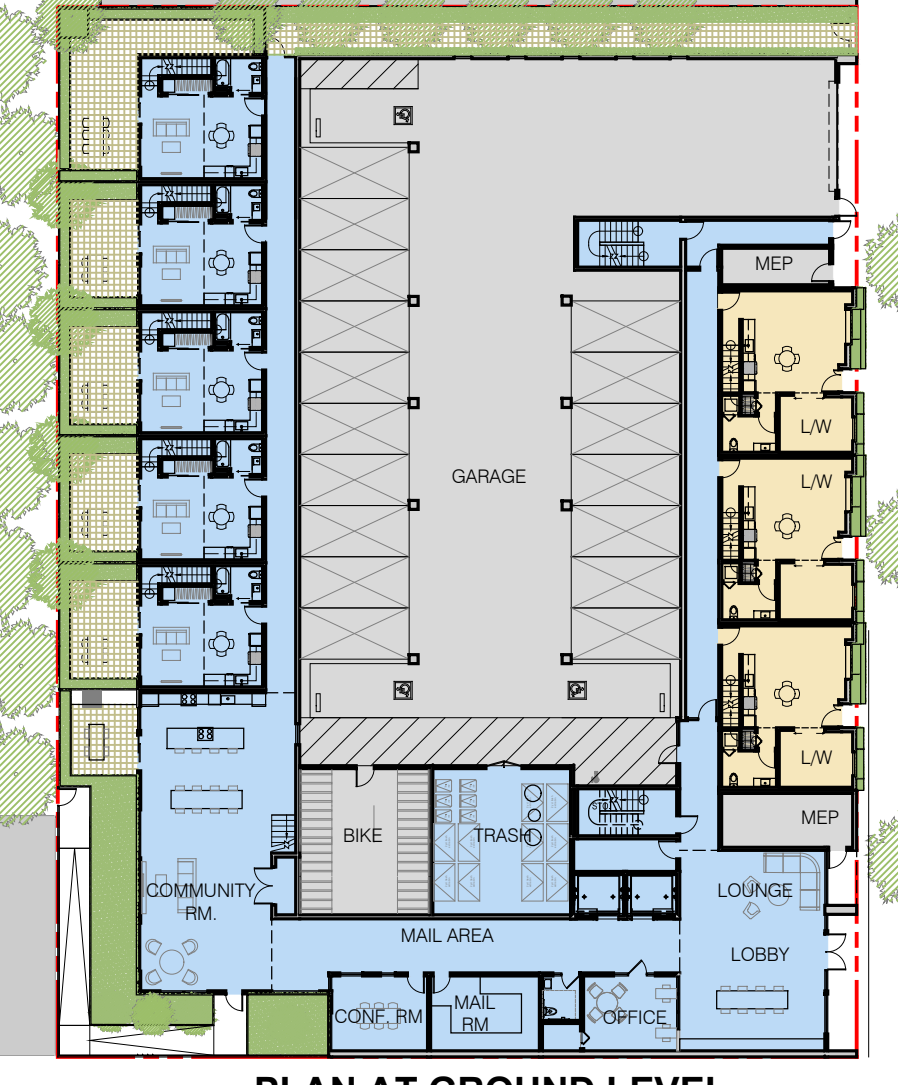
PLAN AT LEVELS 2, 3, & 4



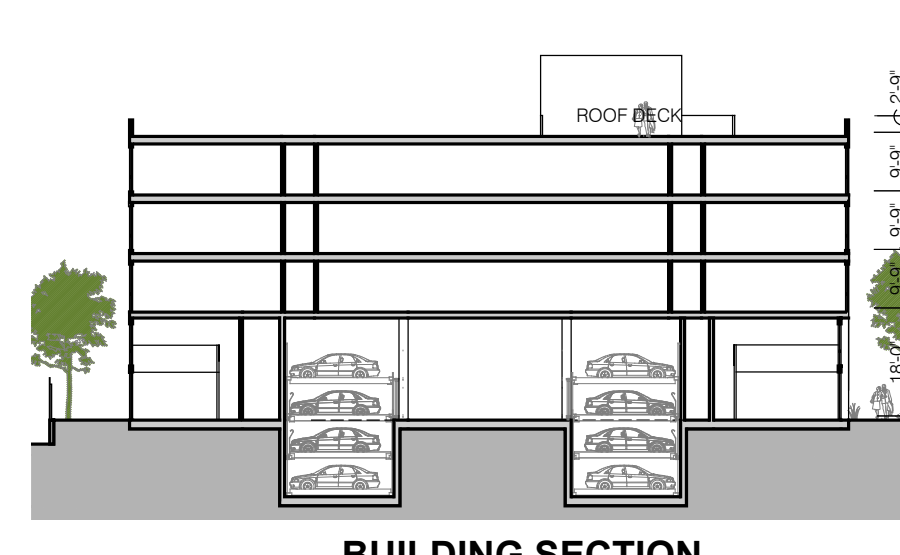
GROUND LEVEL PLAN



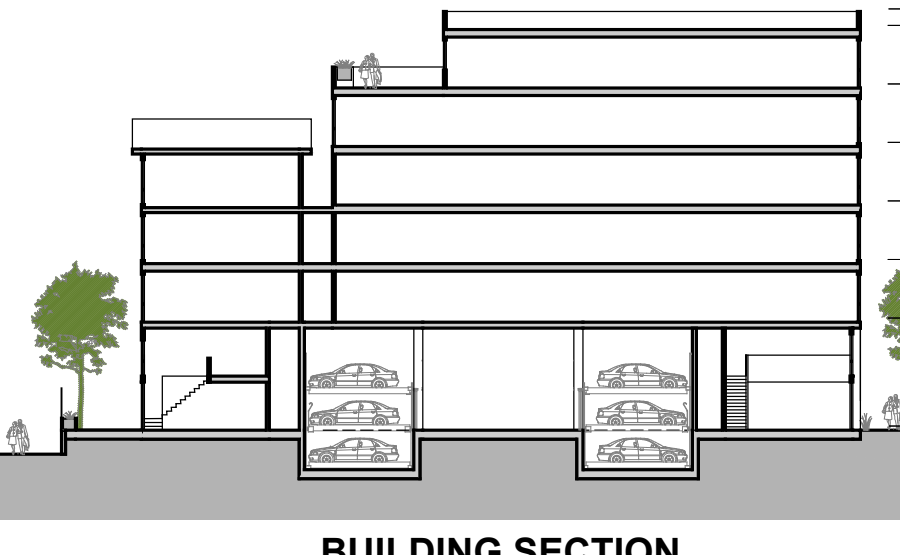
PLAN AT LEVEL 3



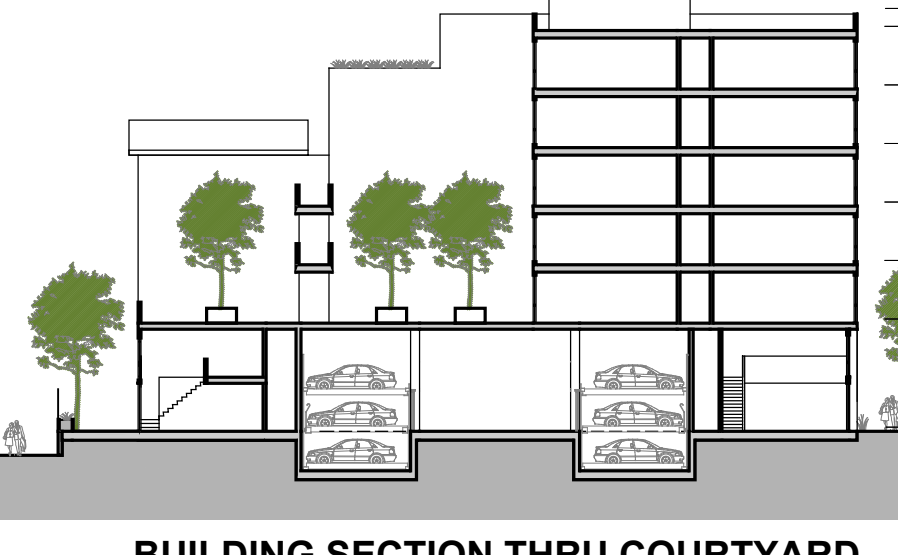
PLAN AT GROUND LEVEL



BUILDING SECTION



BUILDING SECTION



BUILDING SECTION THRU COURTYARD

REFERENCE BASE PROJECT



PROPOSED DENSITY BONUS PROJECT w/ SETBACKS

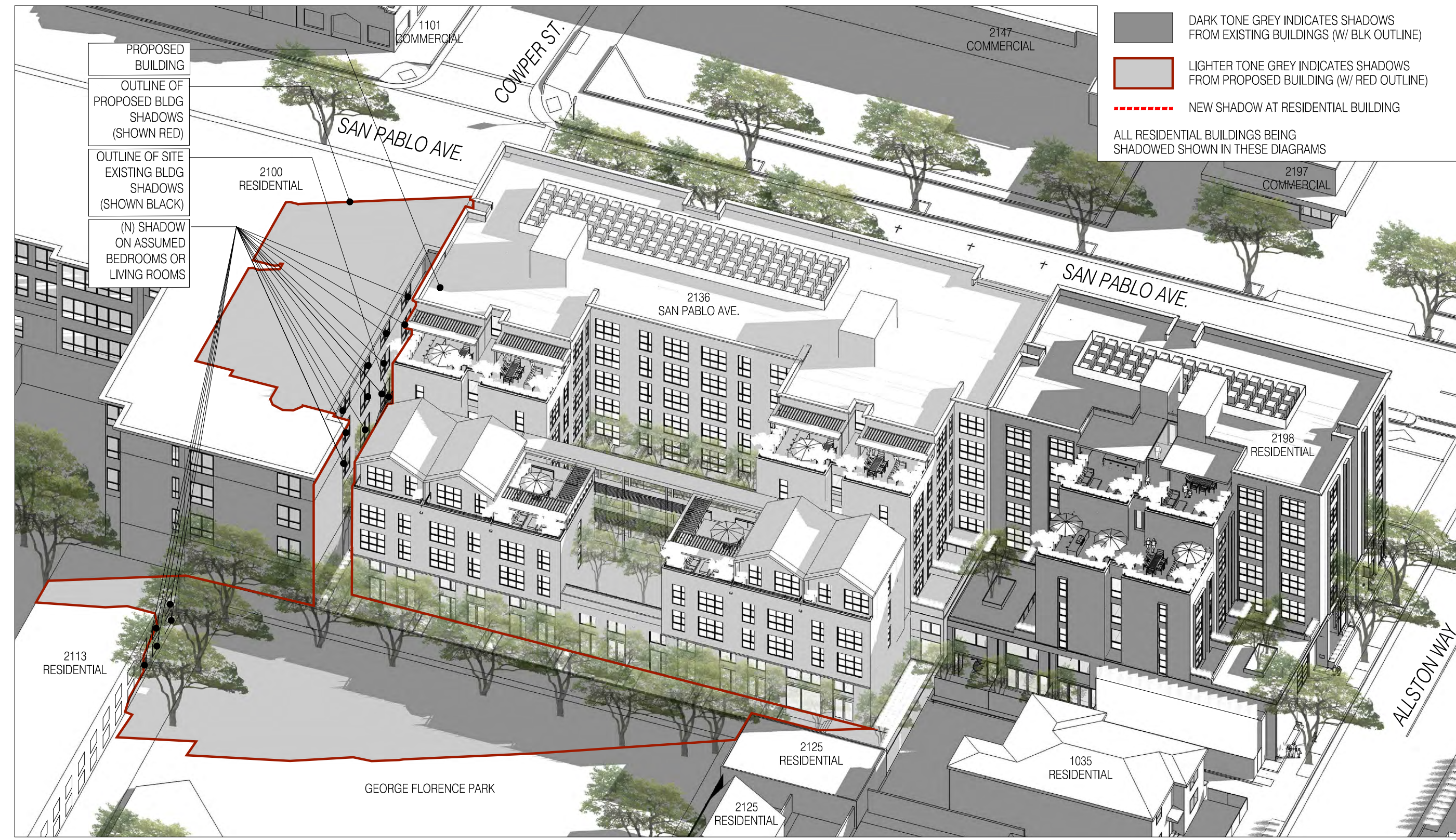


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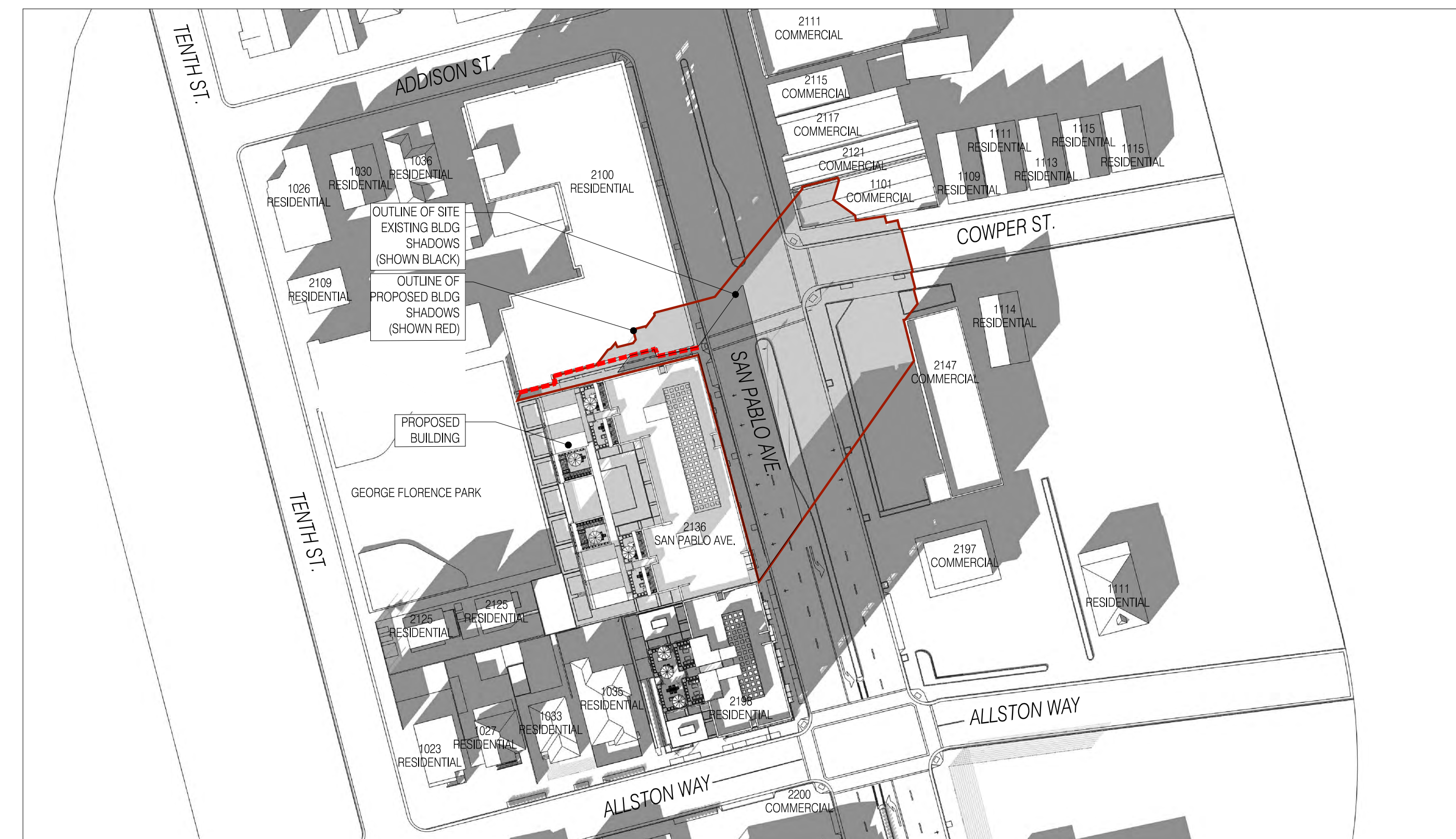
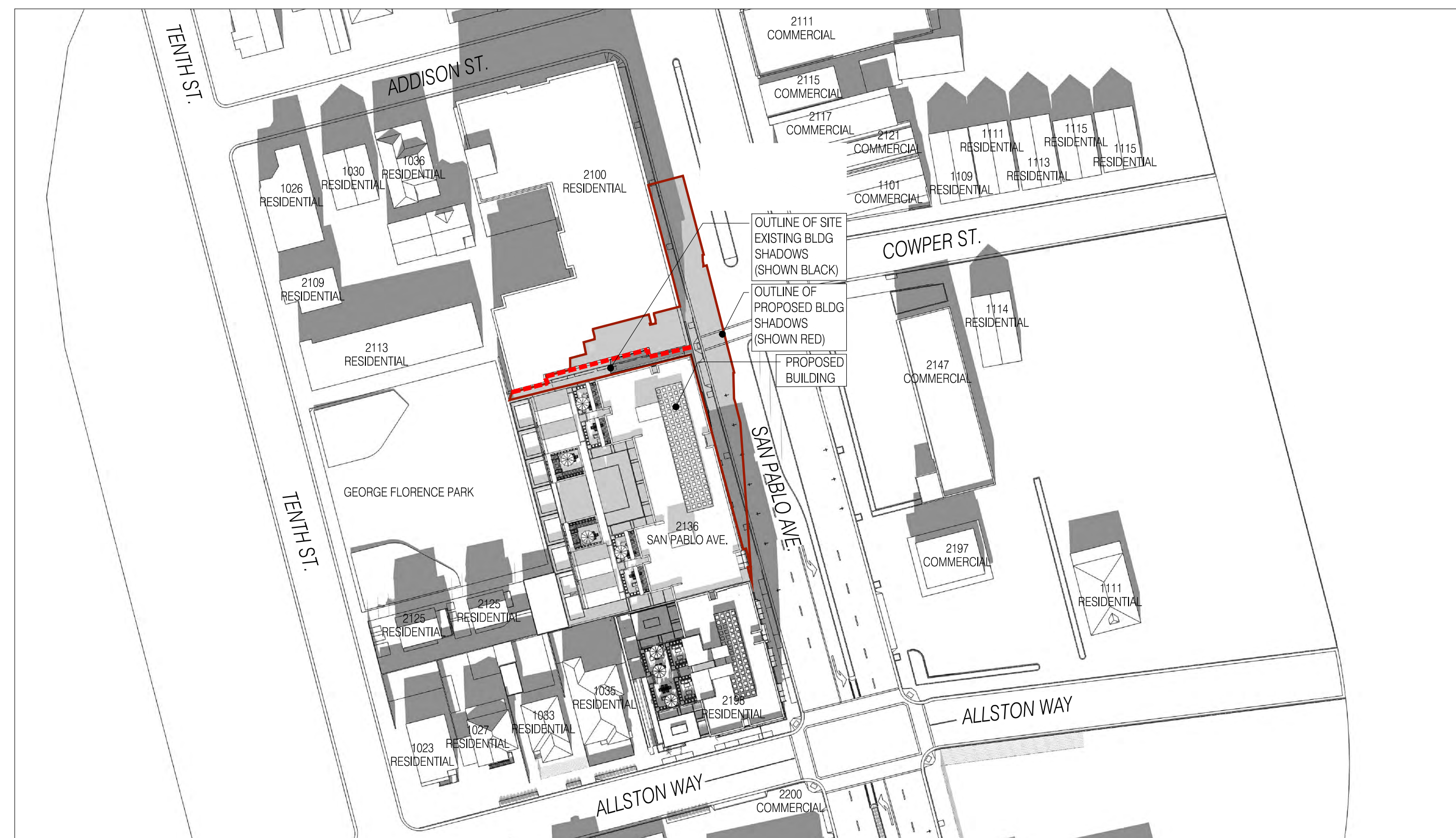


**ALLSTON
EXTENSION**



4 SHADOW STUDY AXONOMETRIC - DECEMBER 21ST: 2-HOURS AFTER SUNRISE
NTS

2 SHADOW STUDY - DECEMBER 21ST: 2-HOURS AFTER SUNRISE
1:100 @ 11X17 1:50 @ 24X36



3 SHADOW STUDY - DECEMBER 21ST: NOON
1:100 @ 11X17 1:50 @ 24X36

1 SHADOW STUDY - DECEMBER 21ST: 2-HOURS BEFORE SUNSET
1:100 @ 11X17 1:50 @ 24X36

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DECEMBER 21ST**

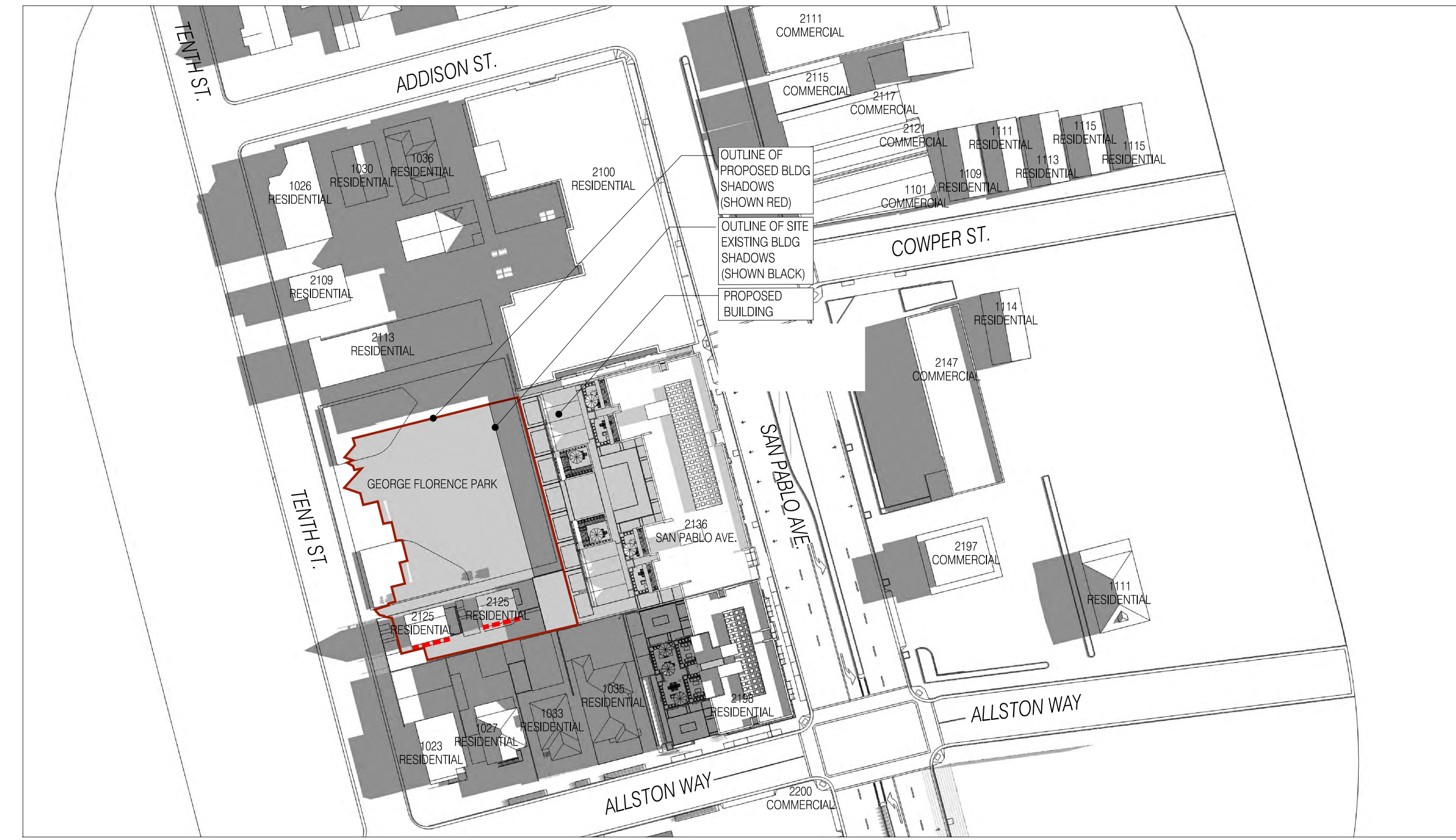
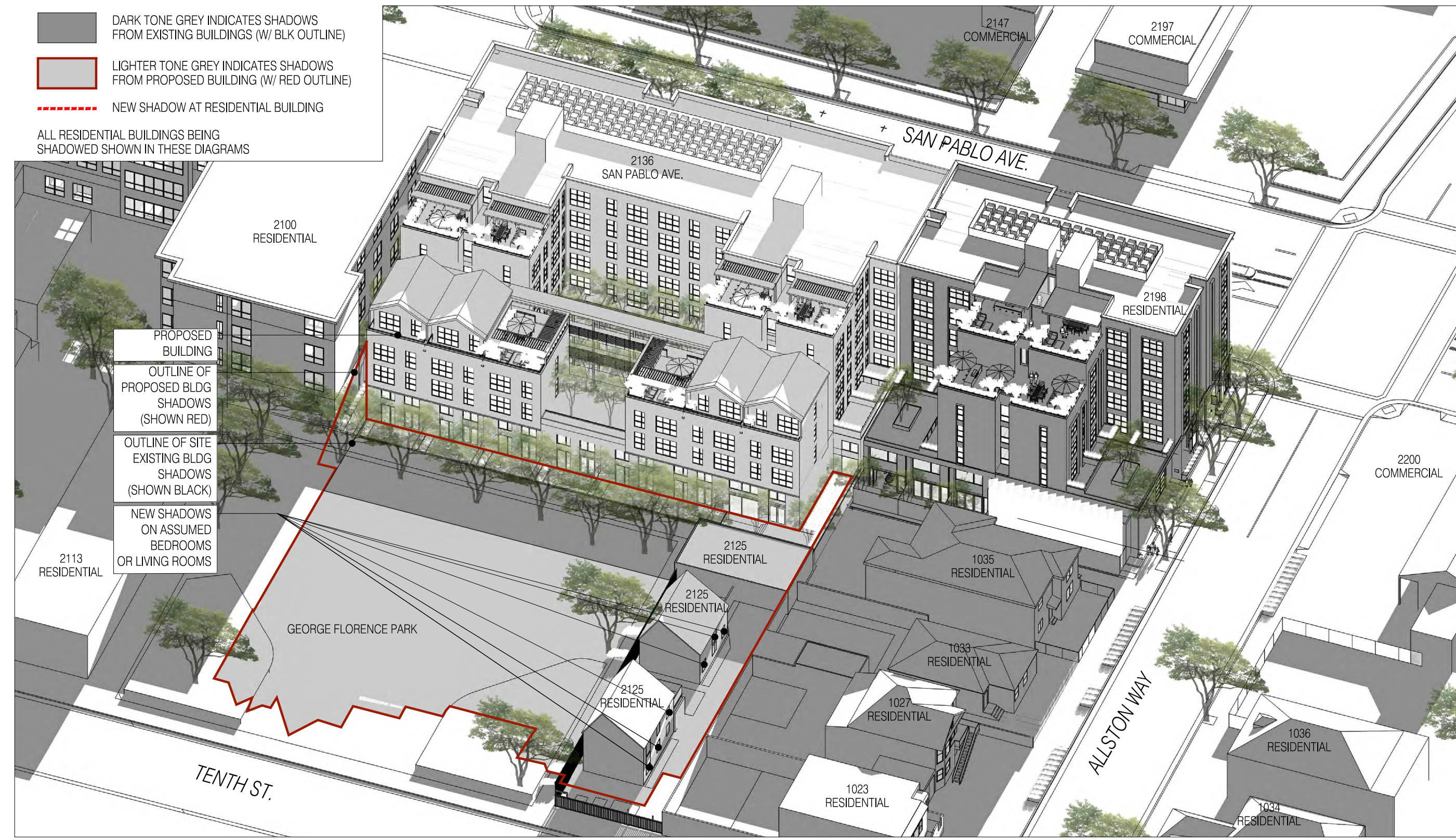
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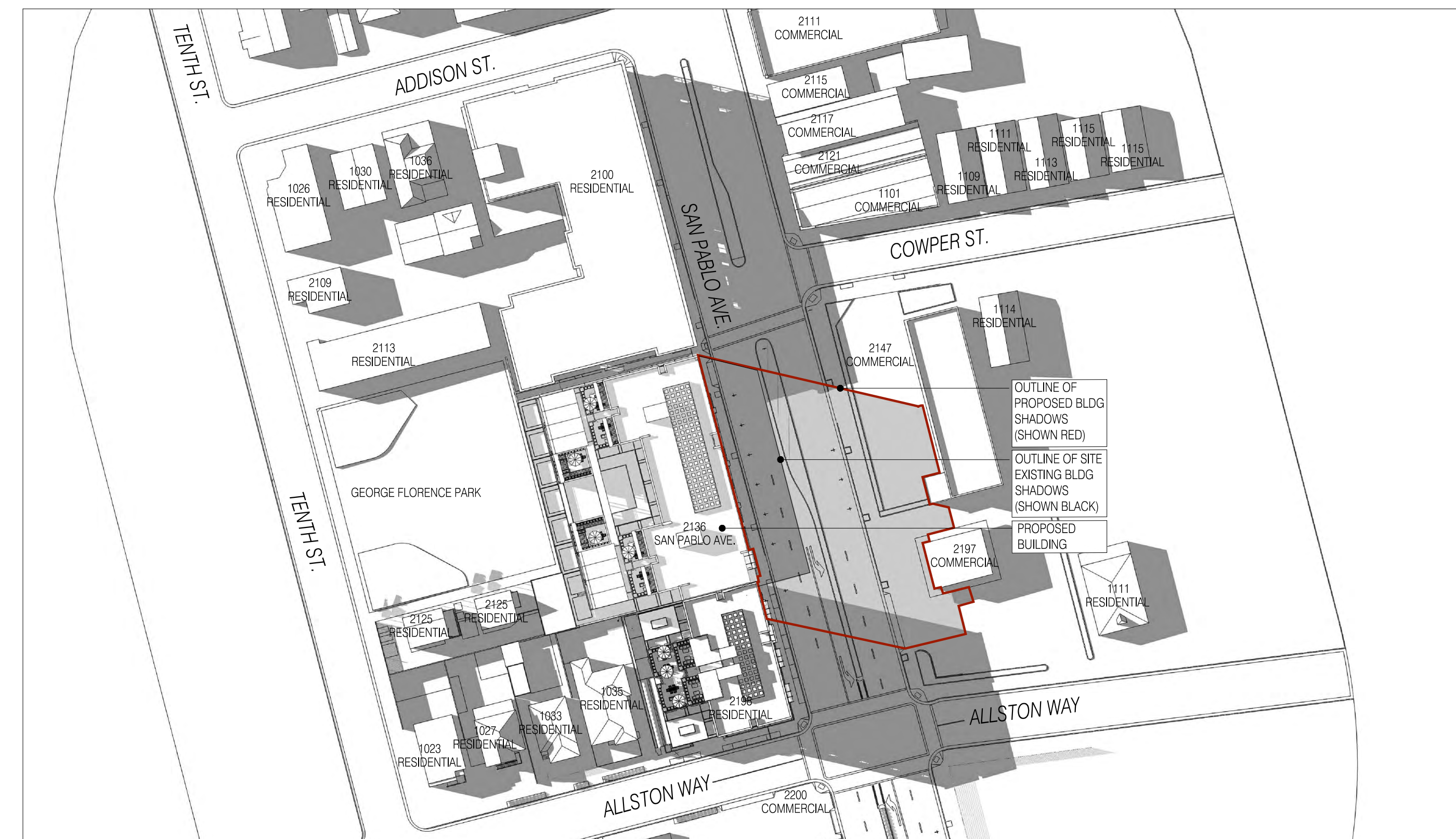
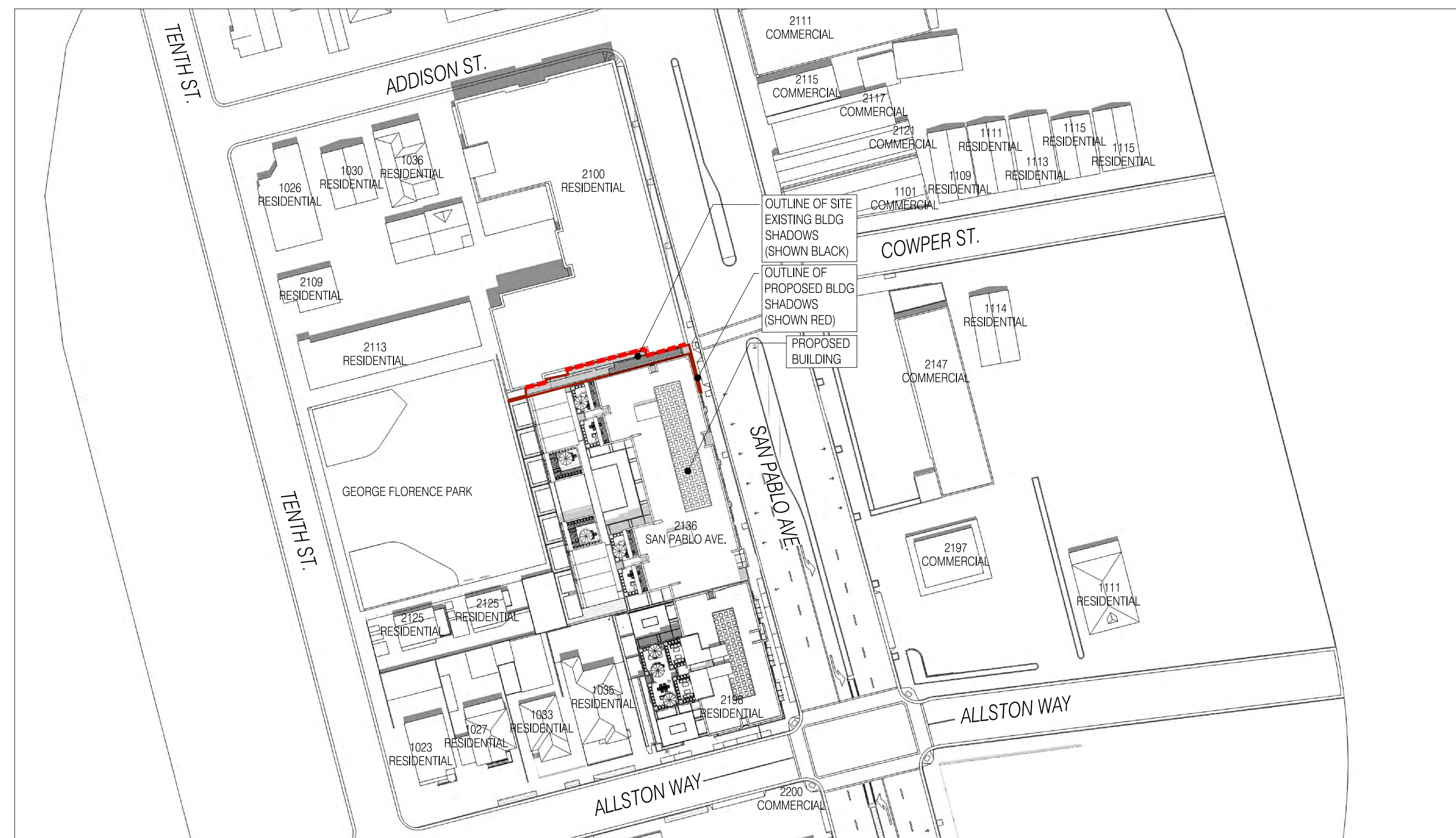


4 **SHADOW STUDY AXONOMETRIC - JUNE 21ST: 2-HOURS AFTER SUNRISE**
NTS

2 **SHADOW STUDY - JUNE 21ST: 2-HOURS AFTER SUNRISE**
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1 **SHADOW STUDY - JUNE 21ST: 2-HOURS BEFORE SUNSET**
1:100 @ 11X17 1:50 @ 24X36

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JUNE 21ST**

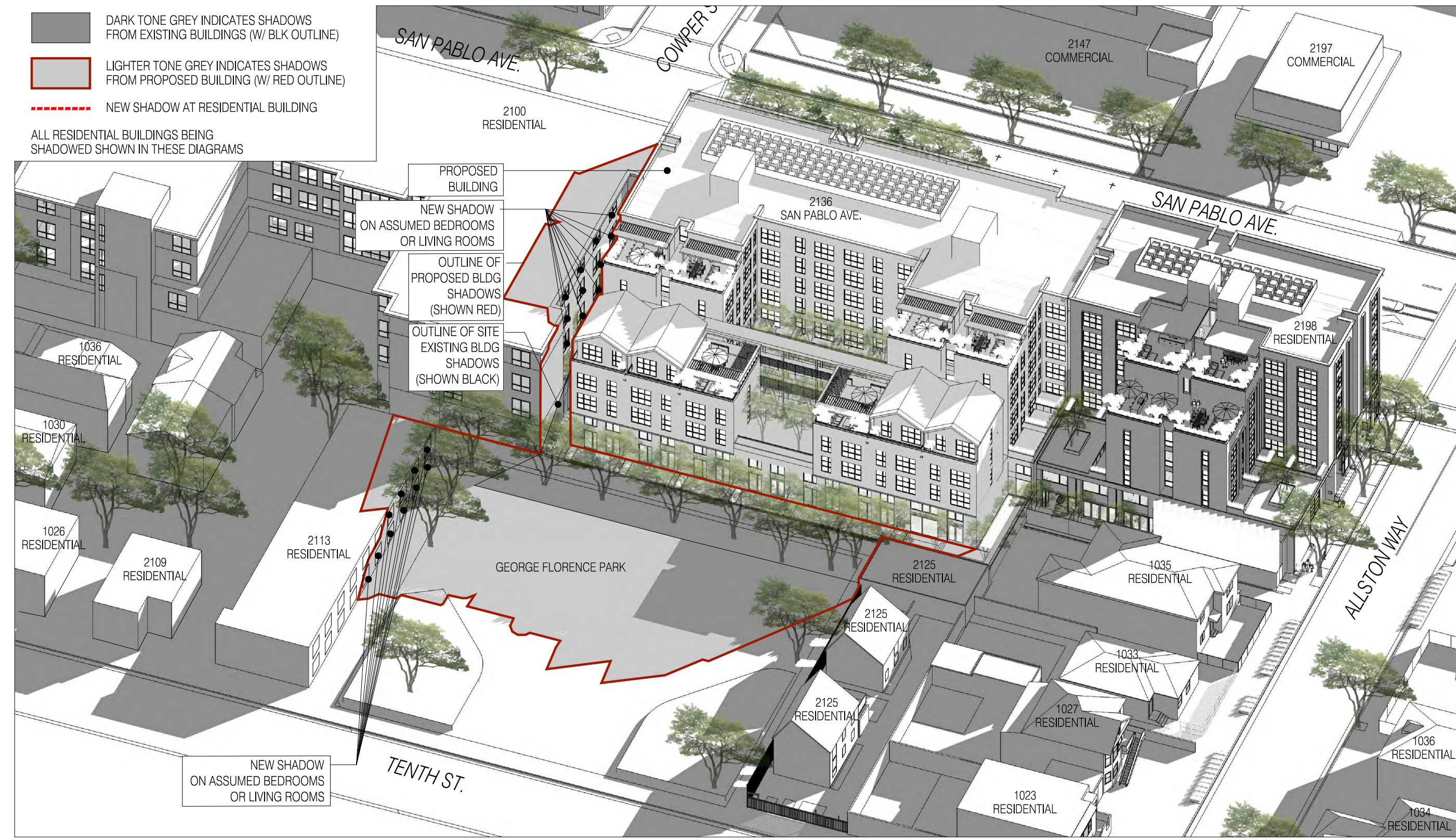
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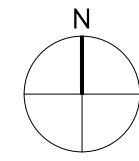


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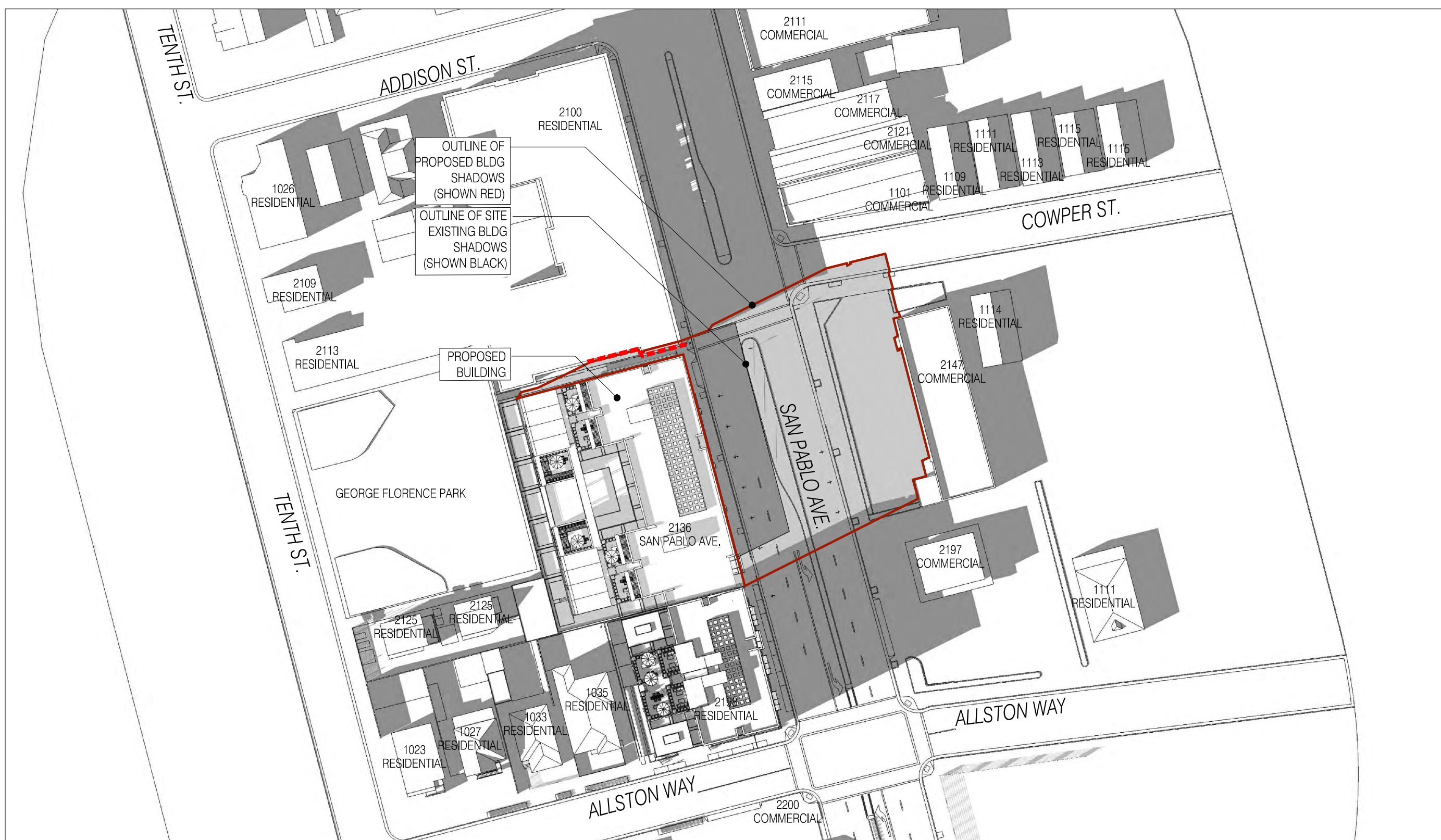
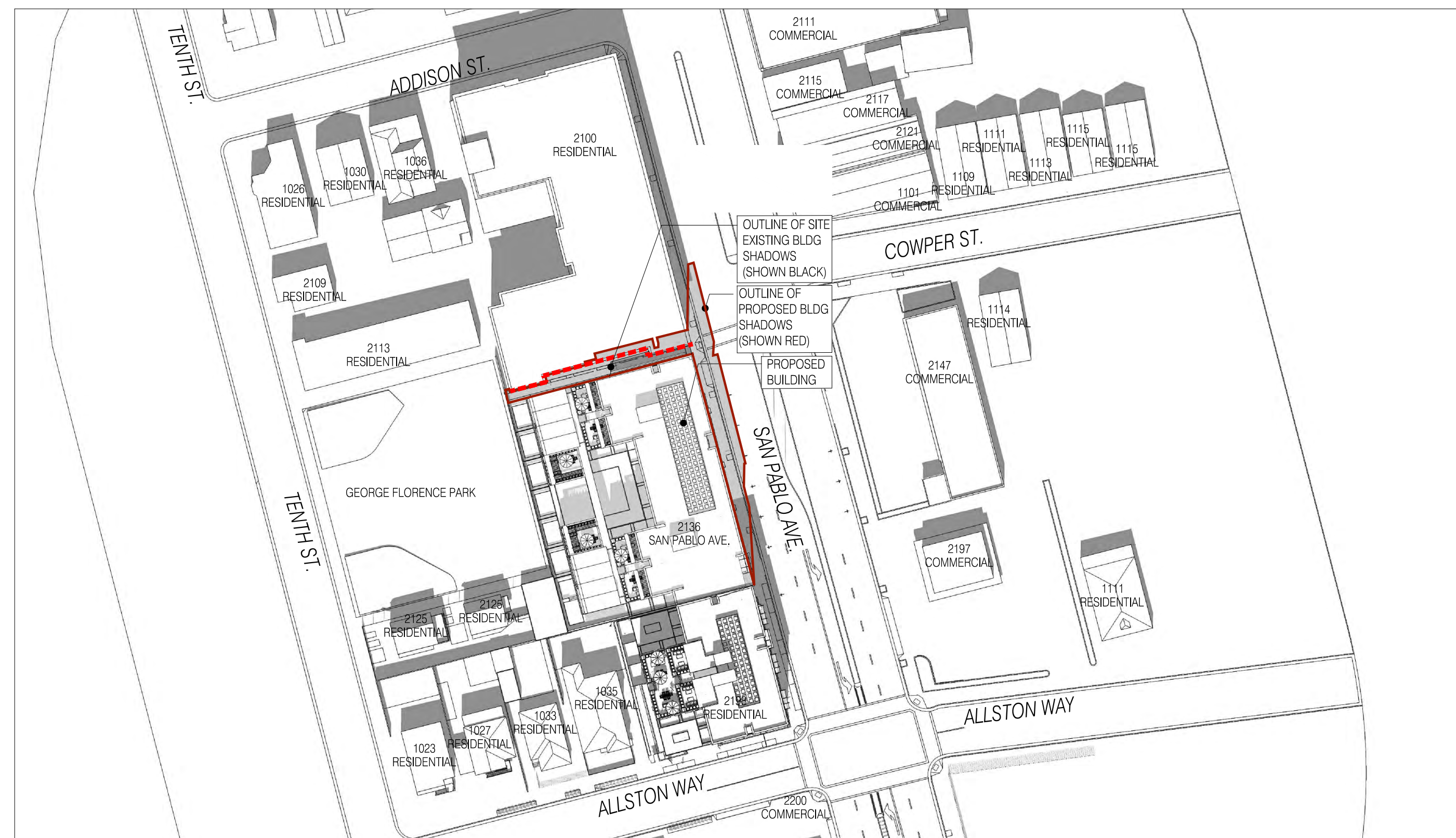
4 SHADOW STUDY AXONOMETRIC - OCTOBER 4TH: 2-HOURS AFTER SUNRISE
NTS

2 SHADOW STUDY - OCTOBER 4TH: 2-HOURS AFTER SUNRISE
1:100 @ 11X17 1:50 @ 24X36



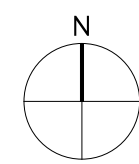
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3 SHADOW STUDY - OCTOBER 4TH: NOON
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1 SHADOW STUDY - OCTOBER 4TH: 2-HOURS BEFORE SUNSET
1:100 @ 11X17 1:50 @ 24X36



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OCTOBER 4TH**

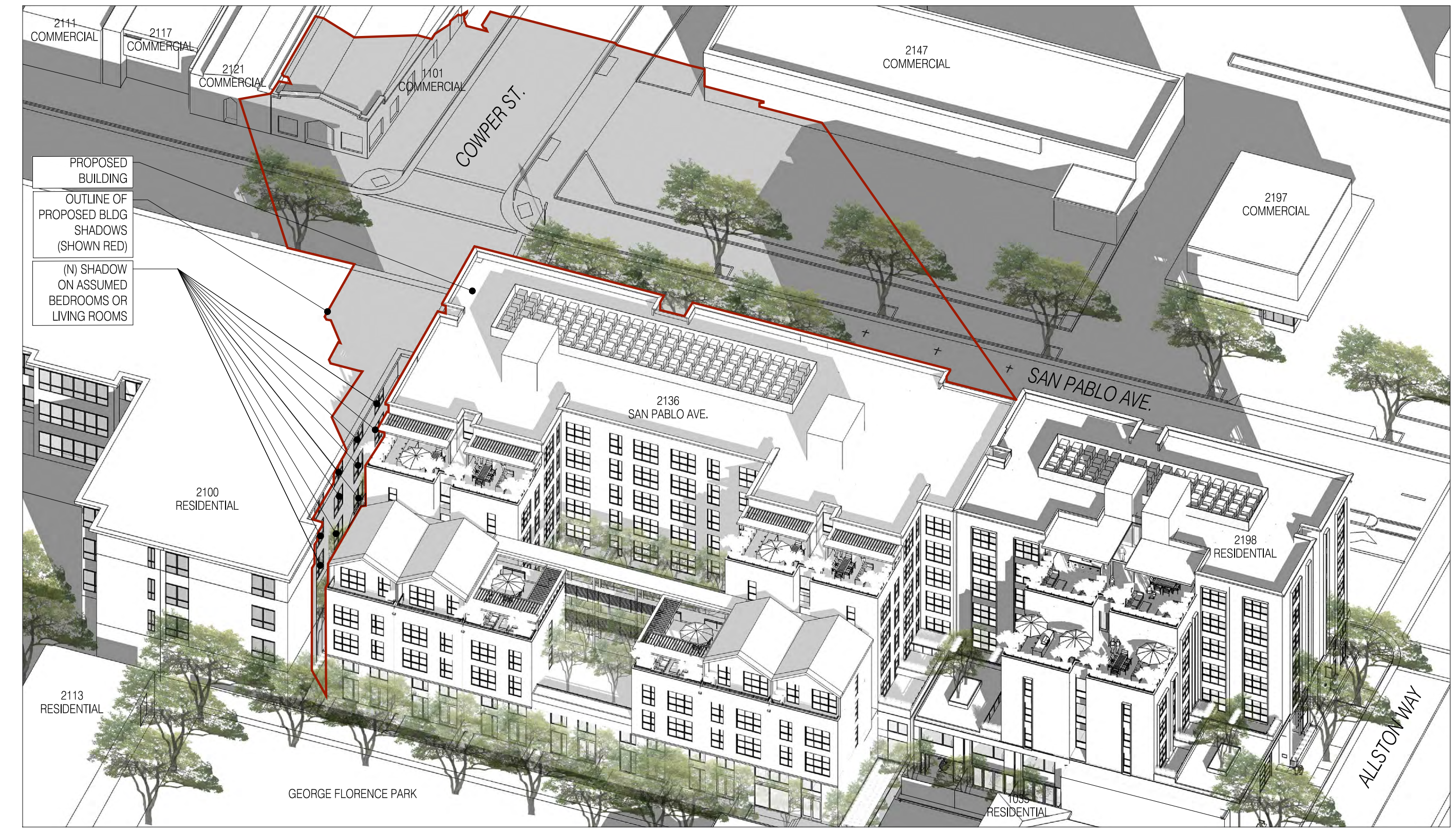
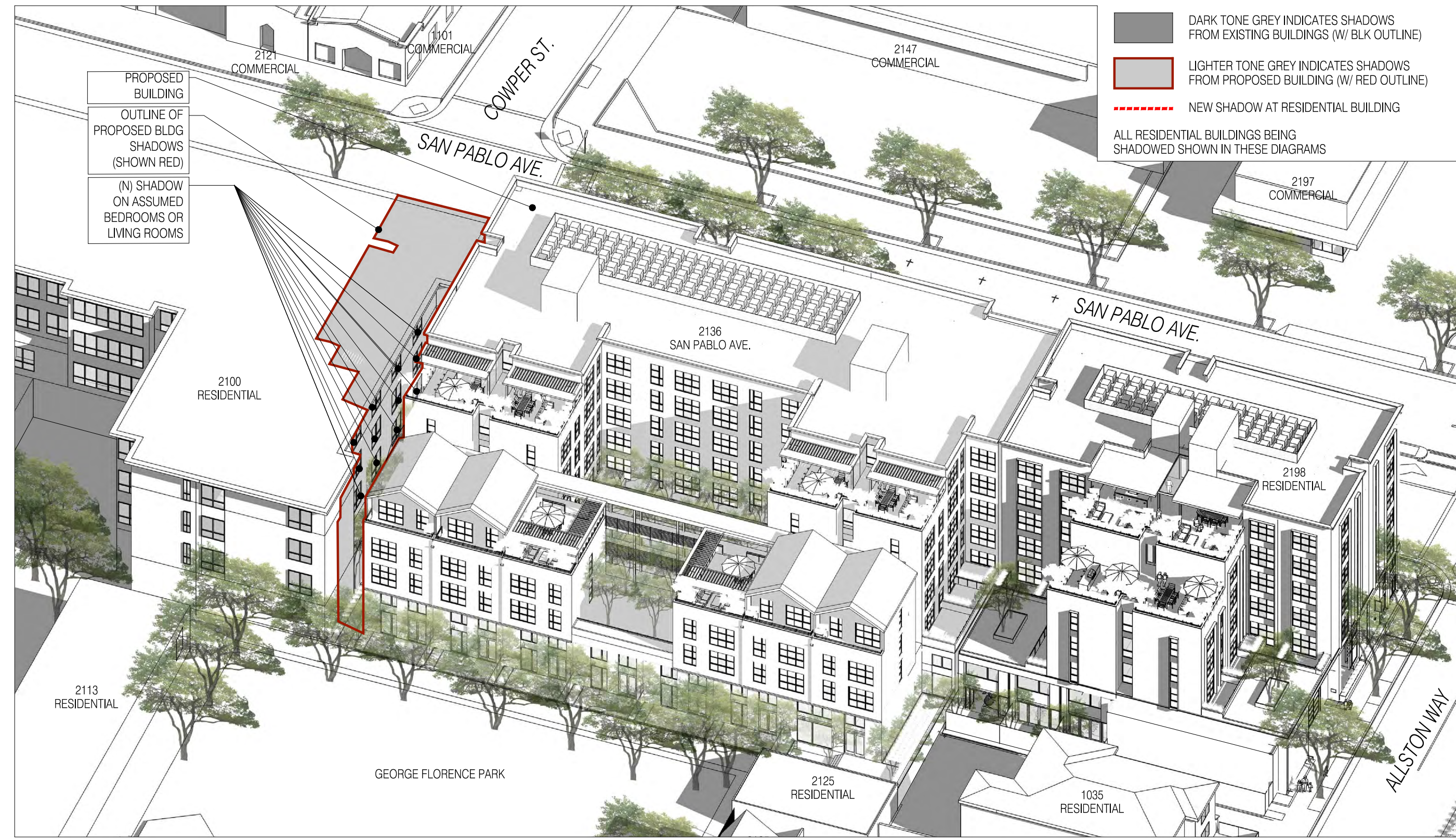
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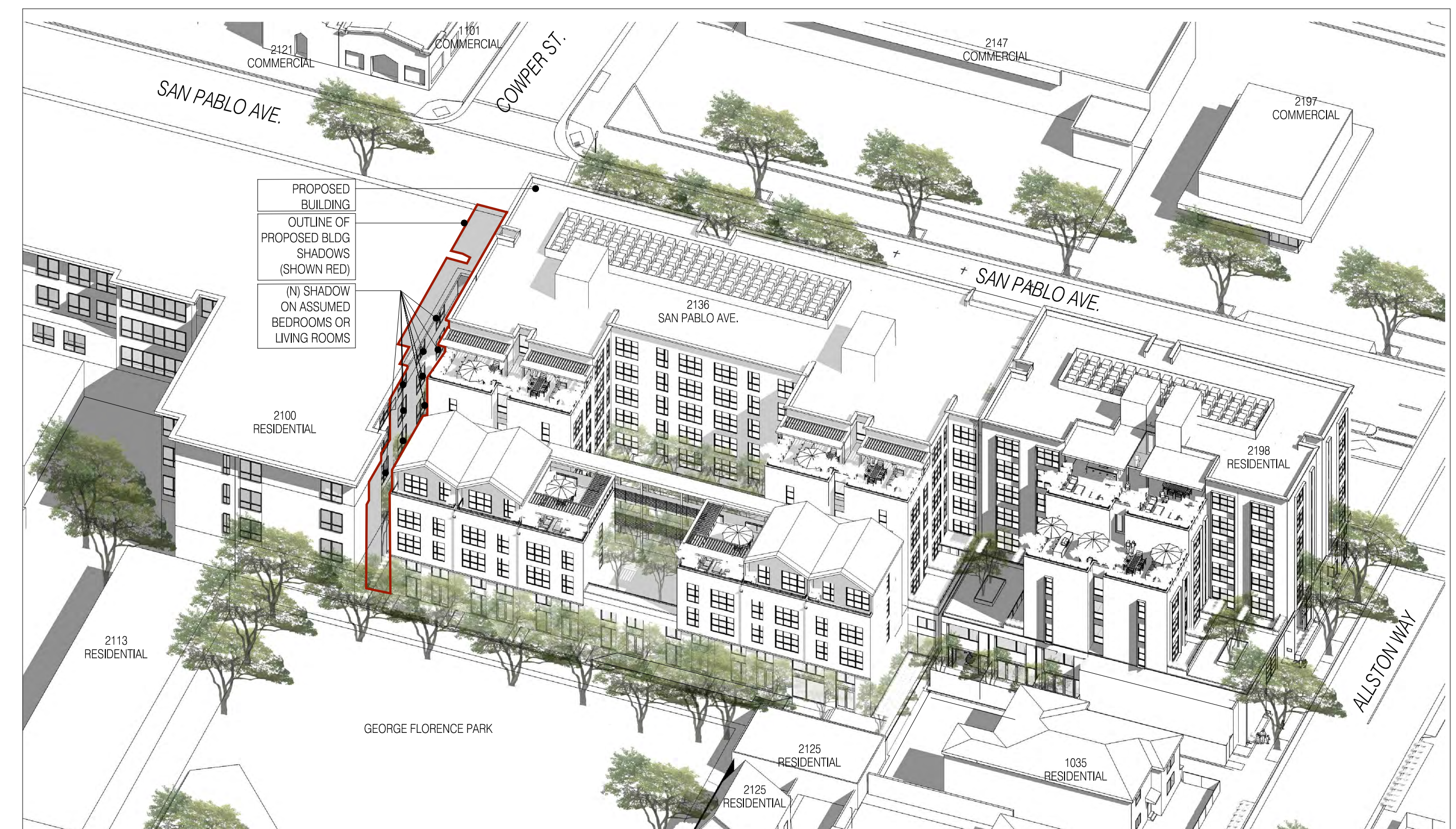


2 SHADOW STUDY AXONOMETRIC - DECEMBER 21ST: NOON
NTS

1 SHADOW STUDY AXONOMETRIC - DECEMBER 21ST: 2-HOURS BEFORE SUNSET
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1 SHADOW STUDY AXONOMETRIC - JUNE 21ST: NOON
NTS

1 SHADOW STUDY AXONOMETRIC - OCT 4TH: NOON
NTS

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AXONOMETRIC**

A0.4D

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SHEET:

SITE CONTEXT
PHOTOS

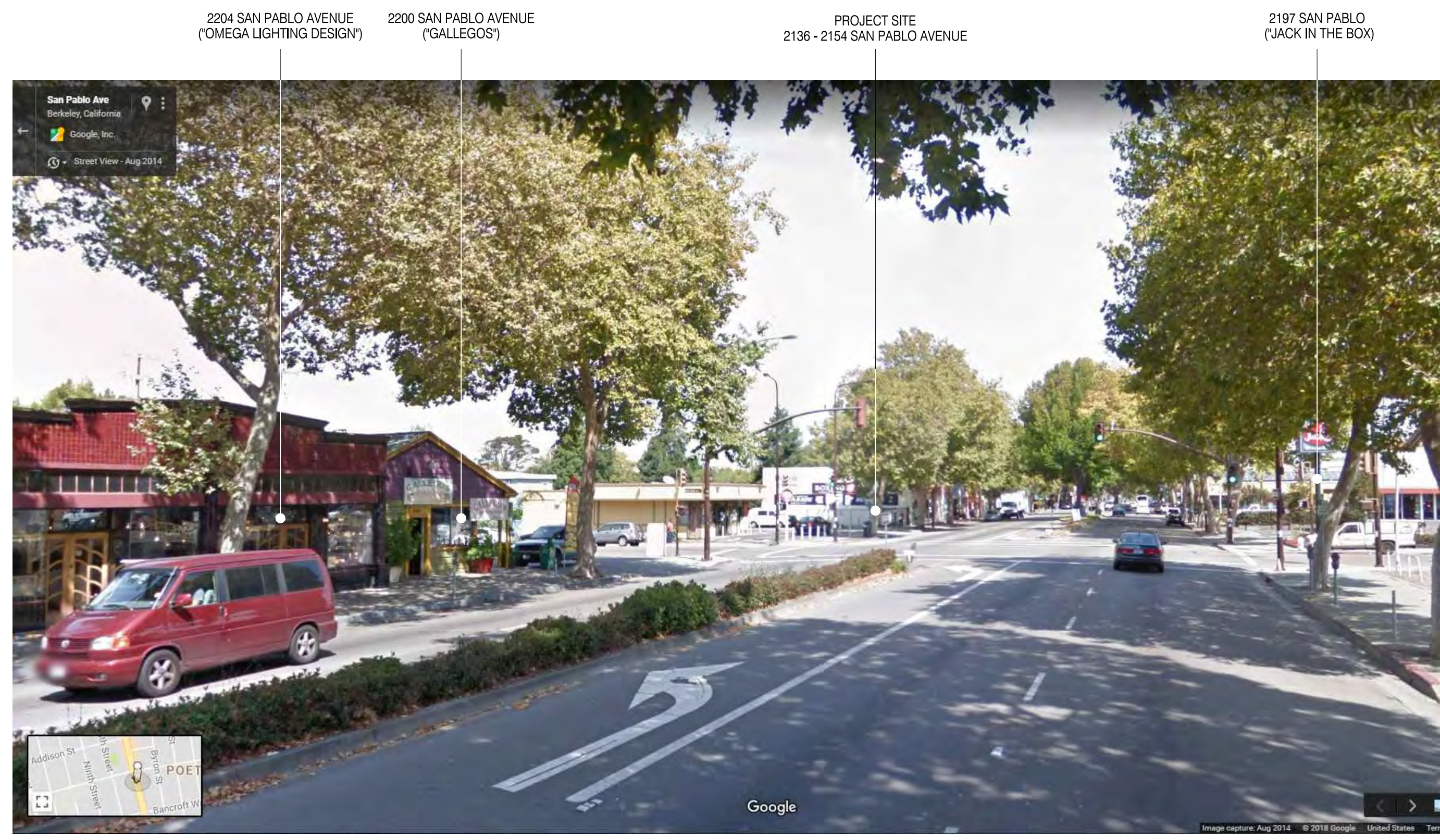
A0.5



4 VIEW FROM SAN PABLO LOOKING SOUTH



2 VIEW FROM COWPER LOOKING WEST



3 VIEW FROM SAN PABLO LOOKING NORTH



1 GOOGLE EARTH BIRD'S EYE CONTEXT VIEW

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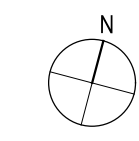
JOB: 1831

SHEET:
VICINITY MAP

A0.6



1
VICINITY MAP
1" = 100'-0" @ 11" X 17" 1" = 50'-0" @ 24" X 36"
0 25 50 100



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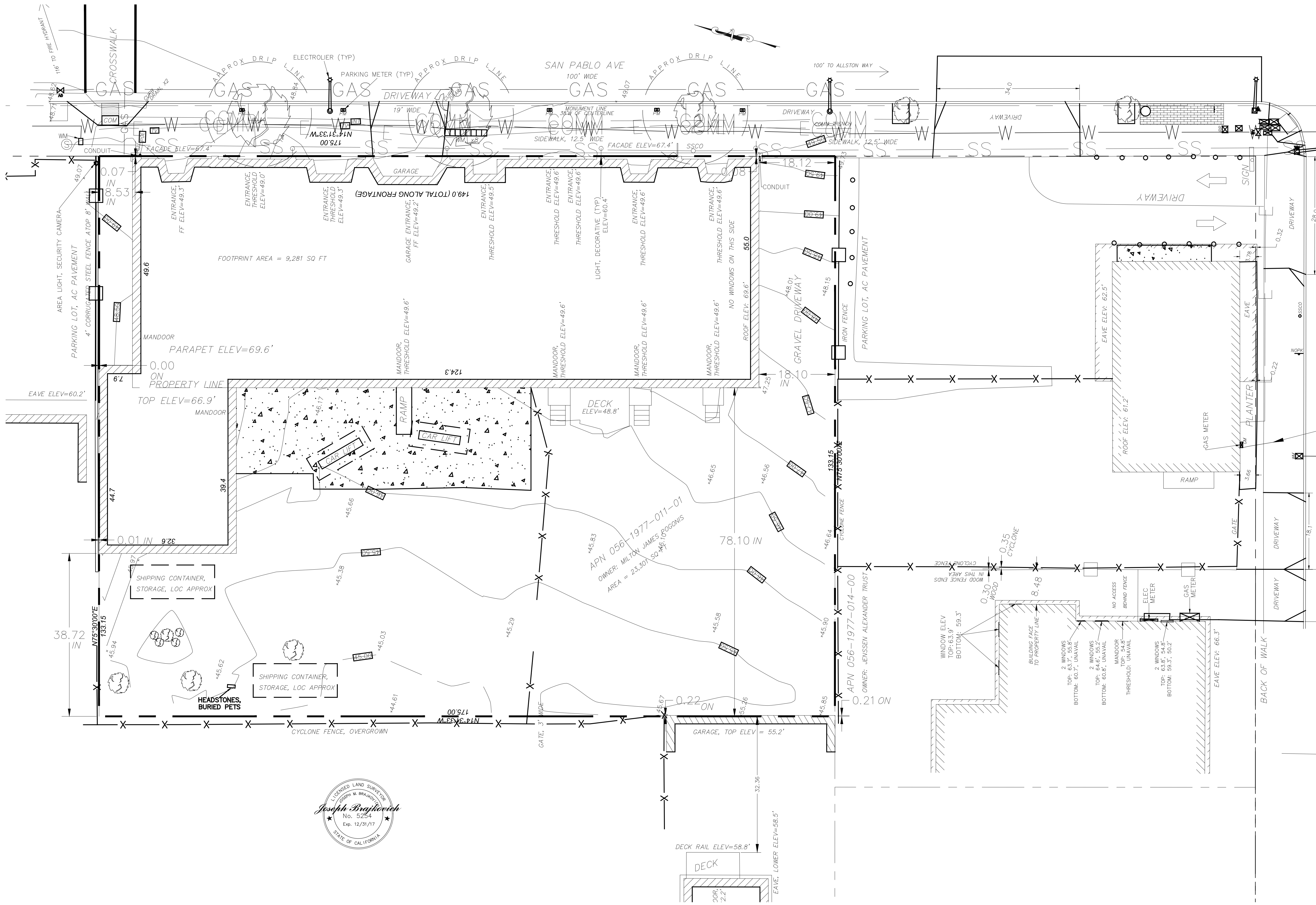
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SHEET:
SURVEY

A1.0



1 SURVEY
3/64" = 1'-0" @ 11x17 3/32" = 1'-0" @ 24x36"

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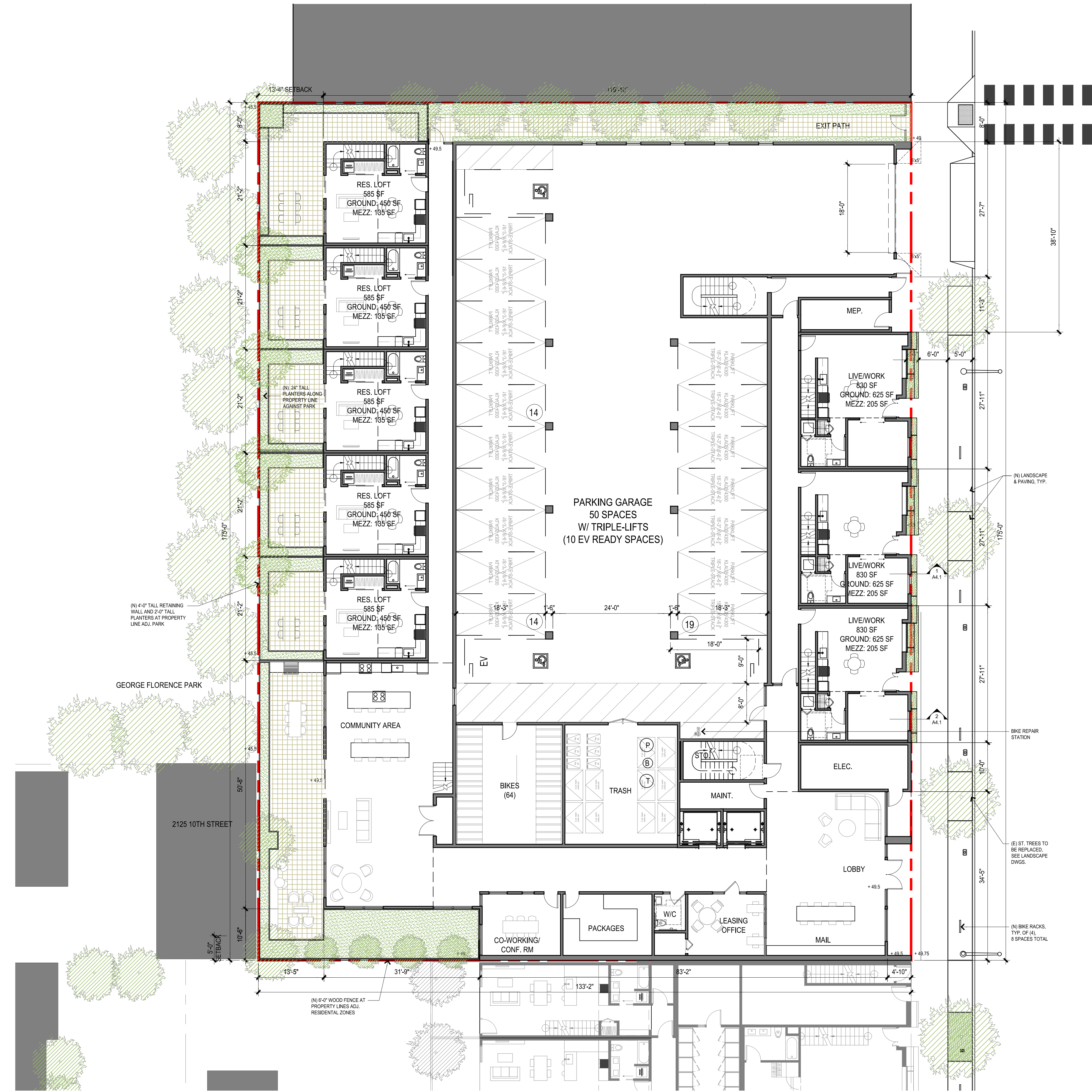
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SHEET:

FLOOR PLANS

A2.1



1 GROUND LEVEL PLAN
 3/64"=1'-0" @ 11"x17" 3/32"=1'-0" @ 24"x36"

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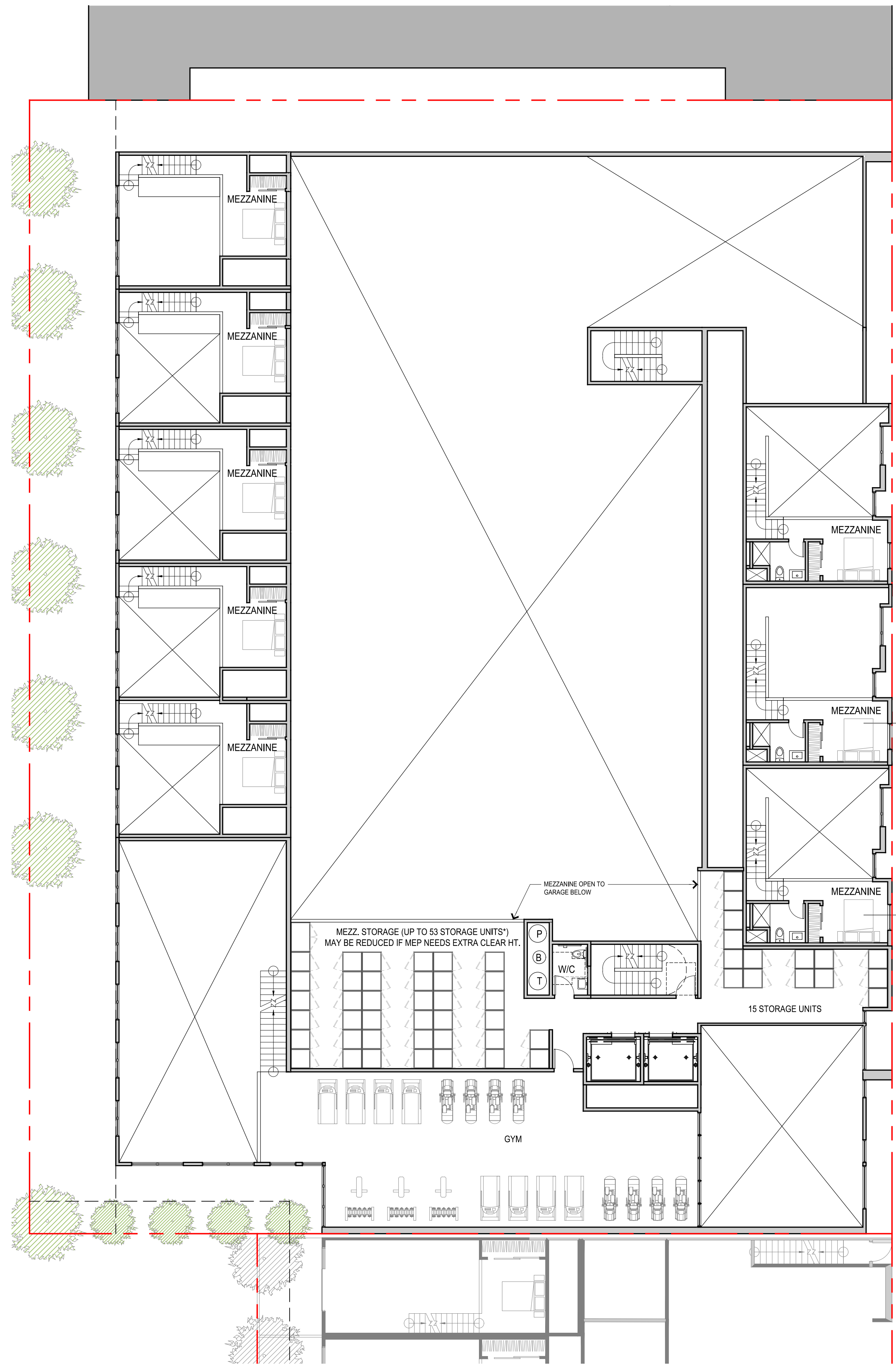
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SHEET:

FLOOR PLANS

A2.2



1 MEZZANINE PLAN
 3/64"=1'-0" @ 11"x17" 3/32"=1'-0" @ 24"x36"

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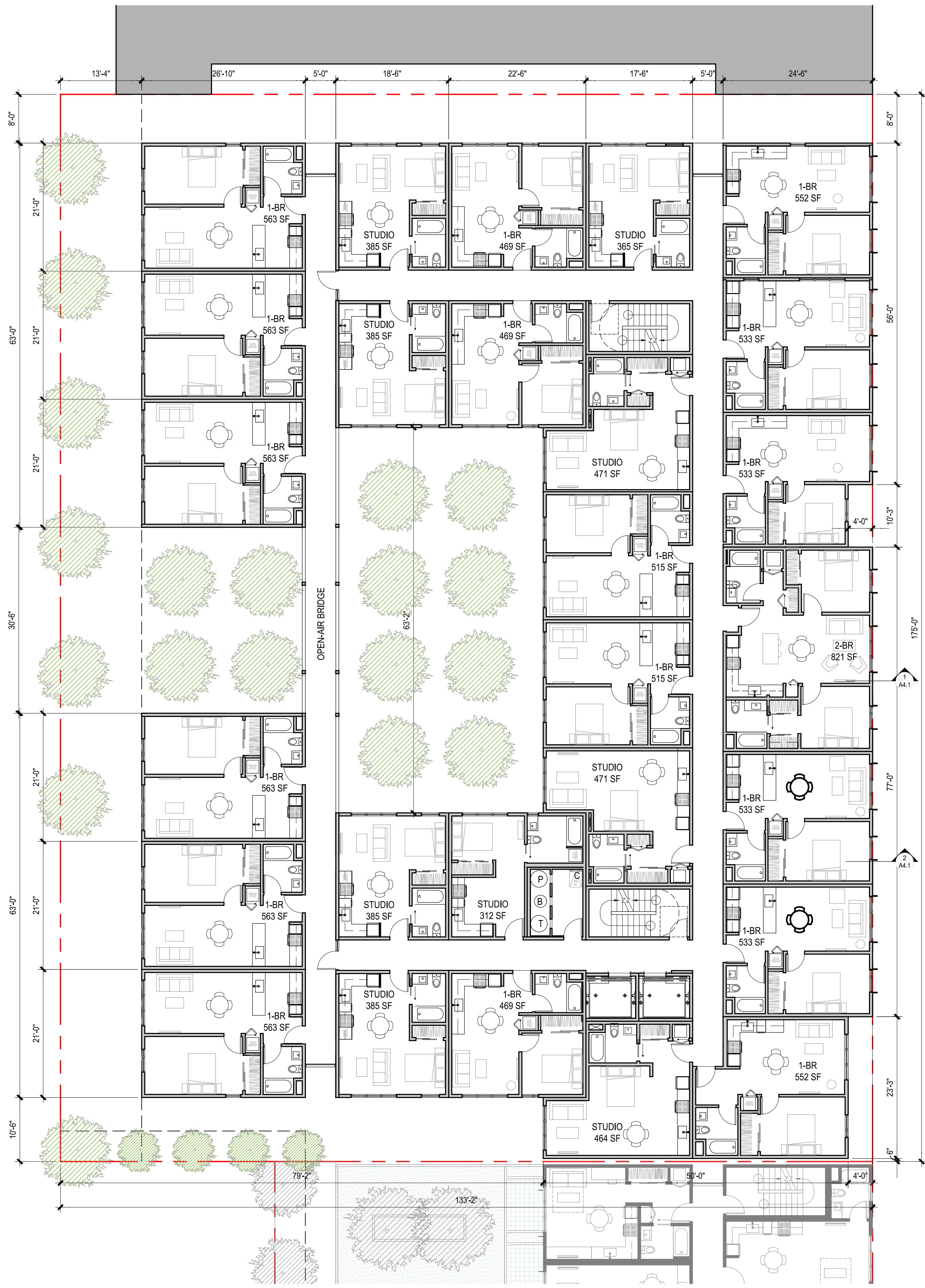
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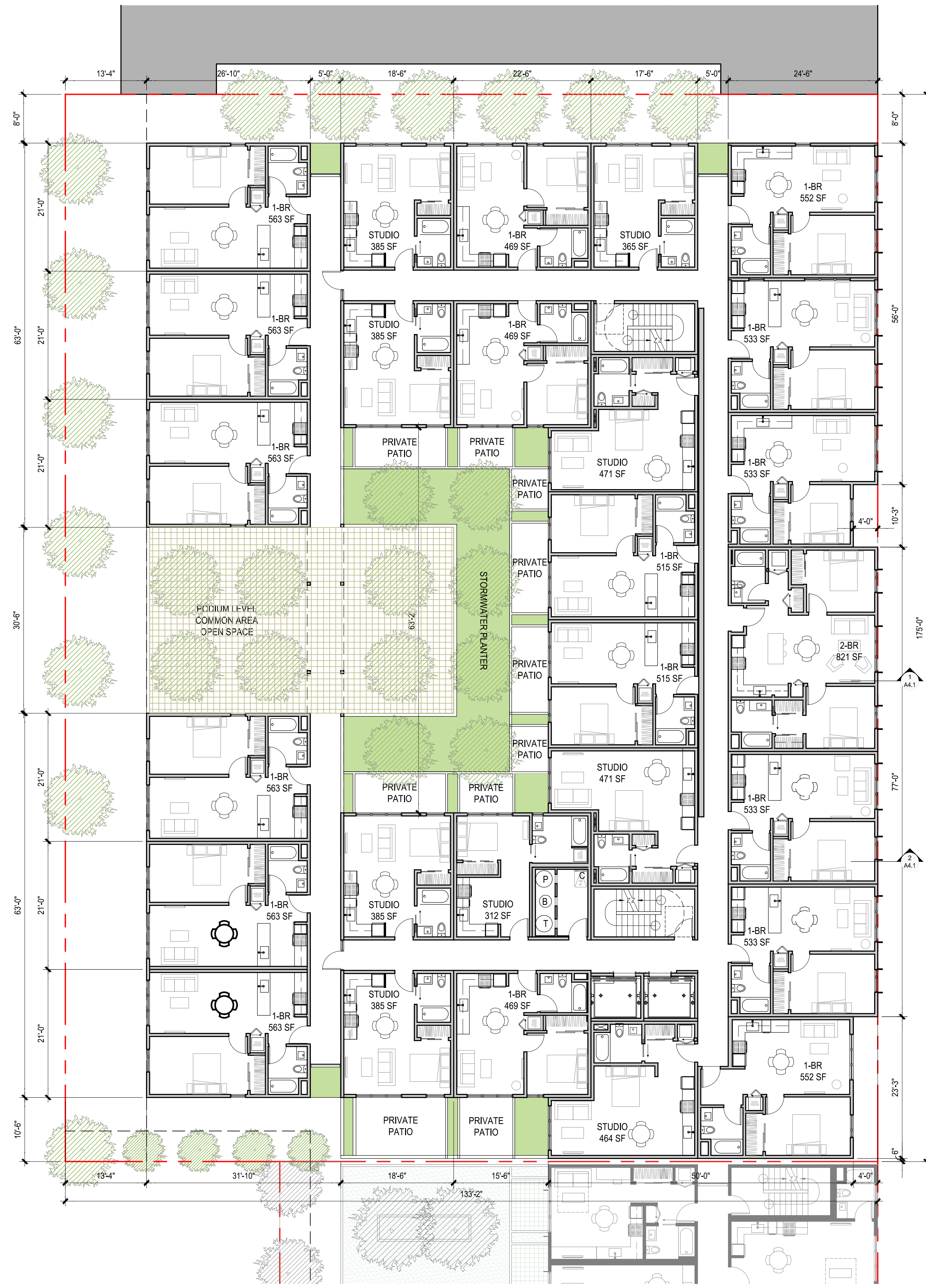
SHEET:

FLOOR PLANS

A2.3



2 PLAN AT LEVEL 3
3/64"=1'-0" @ 11"x17" 3/32"=1'-0" @ 24"x36"



1 PLAN AT LEVEL 2
3/64"=1'-0" @ 11"x17" 3/32"=1'-0" @ 24"x36"

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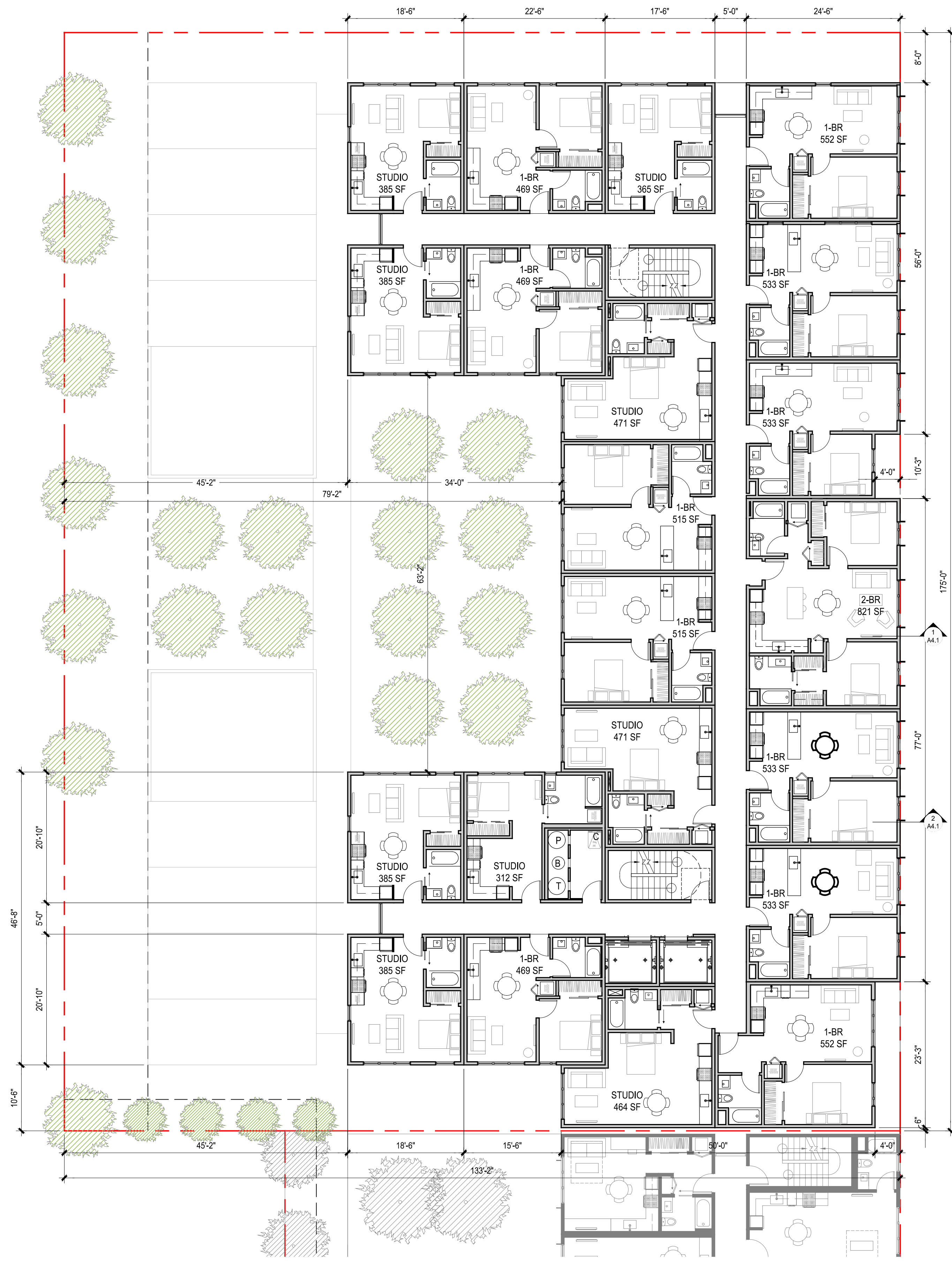
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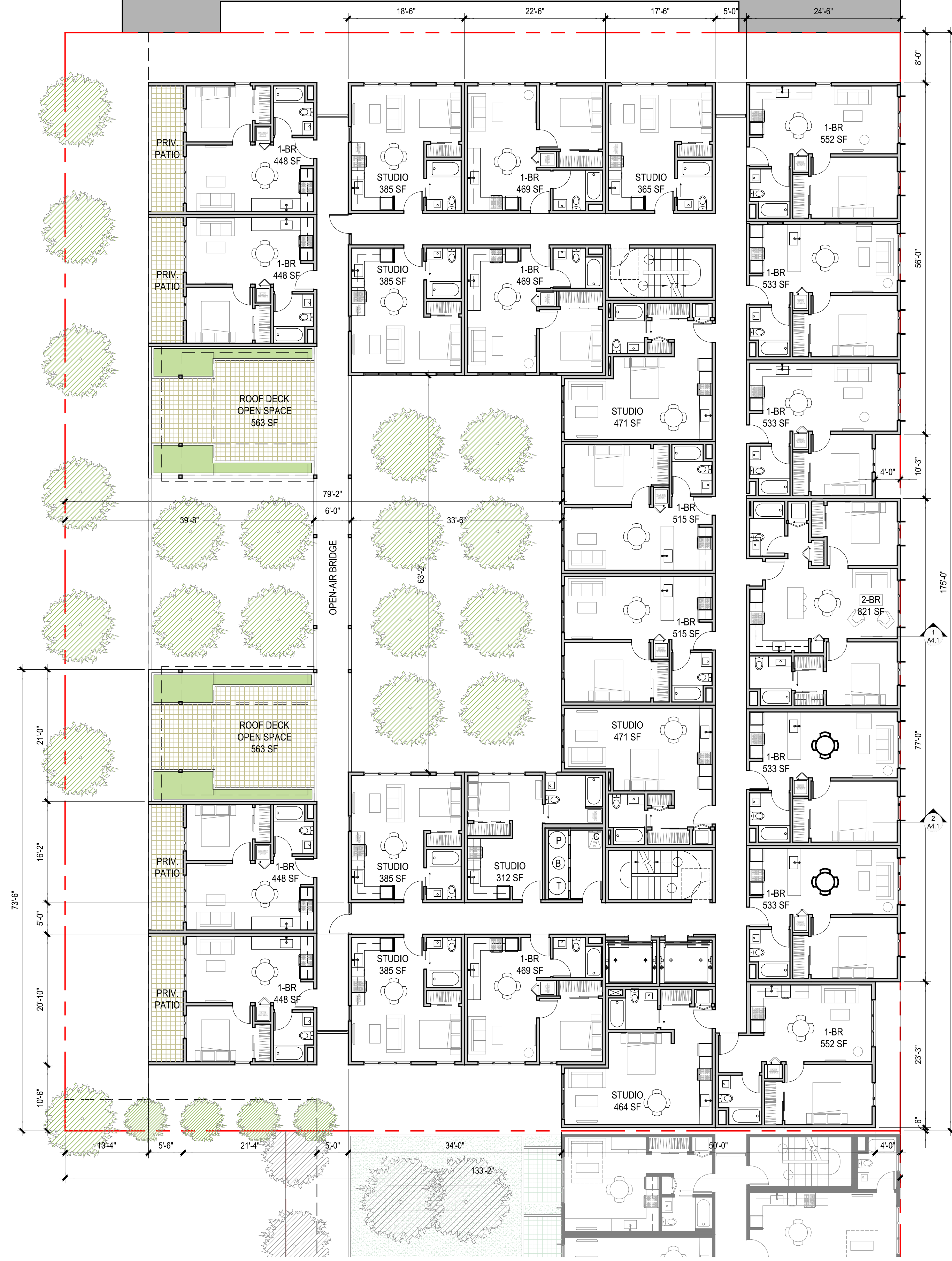
SHEET:

FLOOR PLANS

A2.4



2 PLAN AT LEVEL 5
3/64"=1'-0" @ 11"x17" 3/32"=1'-0" @ 24"x36"



1 PLAN AT LEVEL 4
3/64"=1'-0" @ 11"x17" 3/32"=1'-0" @ 24"x36"

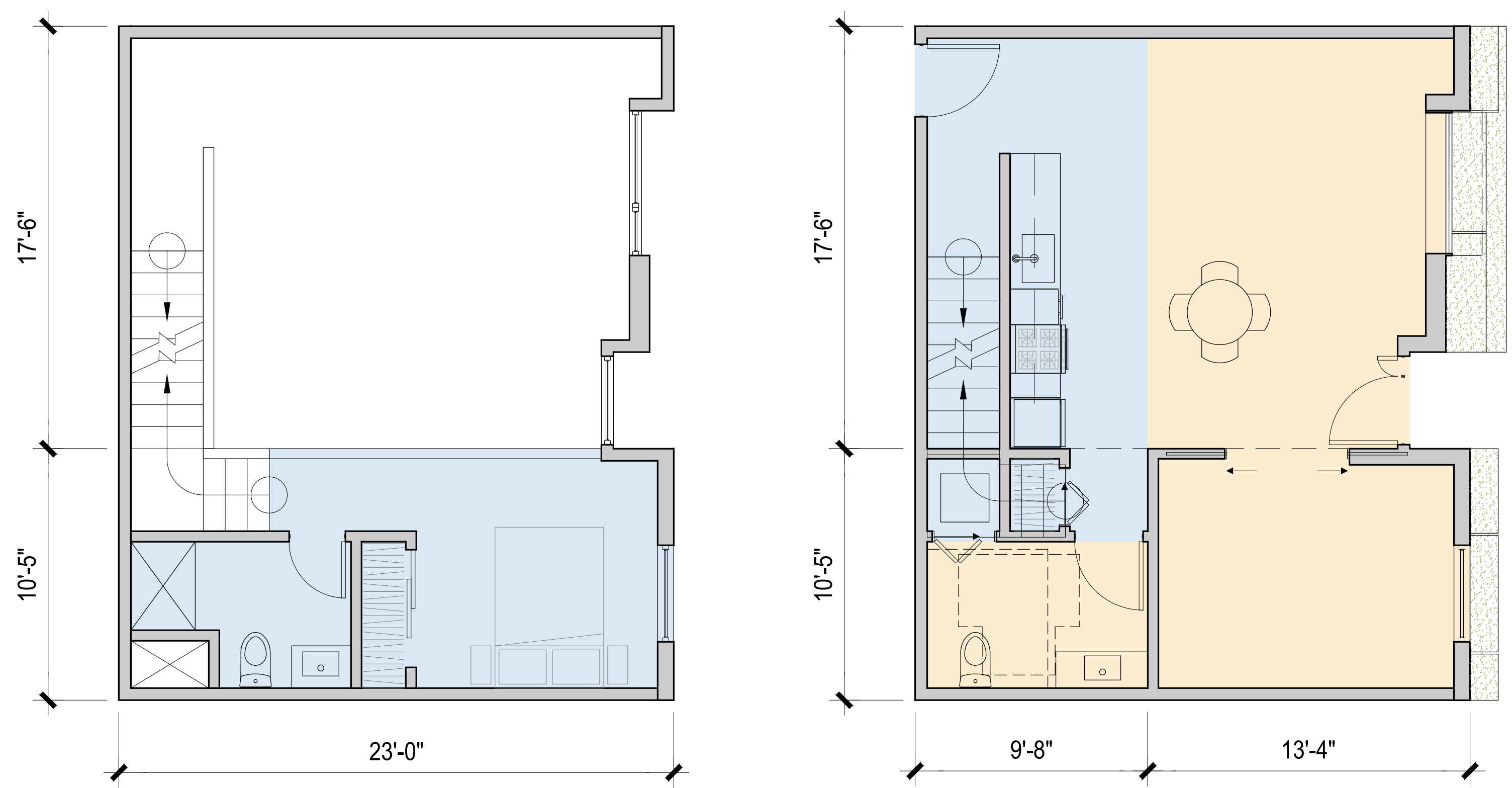


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NON-BUSINESS HOURS KEY:
 LIVE AREA
 WORK AREA

LIVE-WORK SPACE DISTRIBUTION

	Residential	Work	Total
Ground Floor	205	415	620
Mezzanine	210	0	210
Total Area	415	415	830
Subtotal %	50.0%	50.0%	100.0%
Total %	50.0%	50.0%	100.0%
Zoning Check:	Business Hours Defined Working Spaces > 60%		Waiver
State Check:	Non-Residential Areas < 50%		Yes

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SHEET:

LIVE/WORK
 AREA DIAGRAMS

1 LIVE/WORK DIAGRAMS
 1/8"=1'-0" @ 11"x17" 1/4"=1'-0" @ 24"x36"

A2.6

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2 WEST ELEVATION
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SHEET:
**BUILDING
ELEVATIONS**

A3.1



1 EAST ELEVATION
1/32" = 1'-0" @ 11X17 2/32" = 1'-0" @ 24X36

ALL LIVE-WORK GLAZING TO BE CLEAR GLASS

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SHEET:

BUILDING
ELEVATIONS

A3.2



2 NORTH ELEVATION
1/32" = 1'-0" @ 11X17 2/32" = 1'-0" @ 24X36



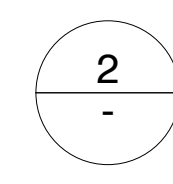
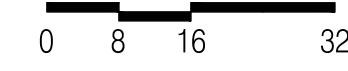
1 SOUTH ELEVATION
1/32" = 1'-0" @ 11X17 2/32" = 1'-0" @ 24X36

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**ALLSTON
EXTENSION**



STREET STRIP ELEVATION @ TENTH

1/32" = 1'-0" @ 11X17 1/16" = 1'-0" @ 24X36

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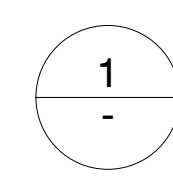
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SHEET:

STREET STRIP
ELEVATIONS



STREET STRIP ELEVATION @ SAN PABLO

3/128" = 1'-0" @ 11X17 3/64" = 1'-0" @ 24X36

A3.3

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SHEET:
PHOTO CONTEXT
VIEWS

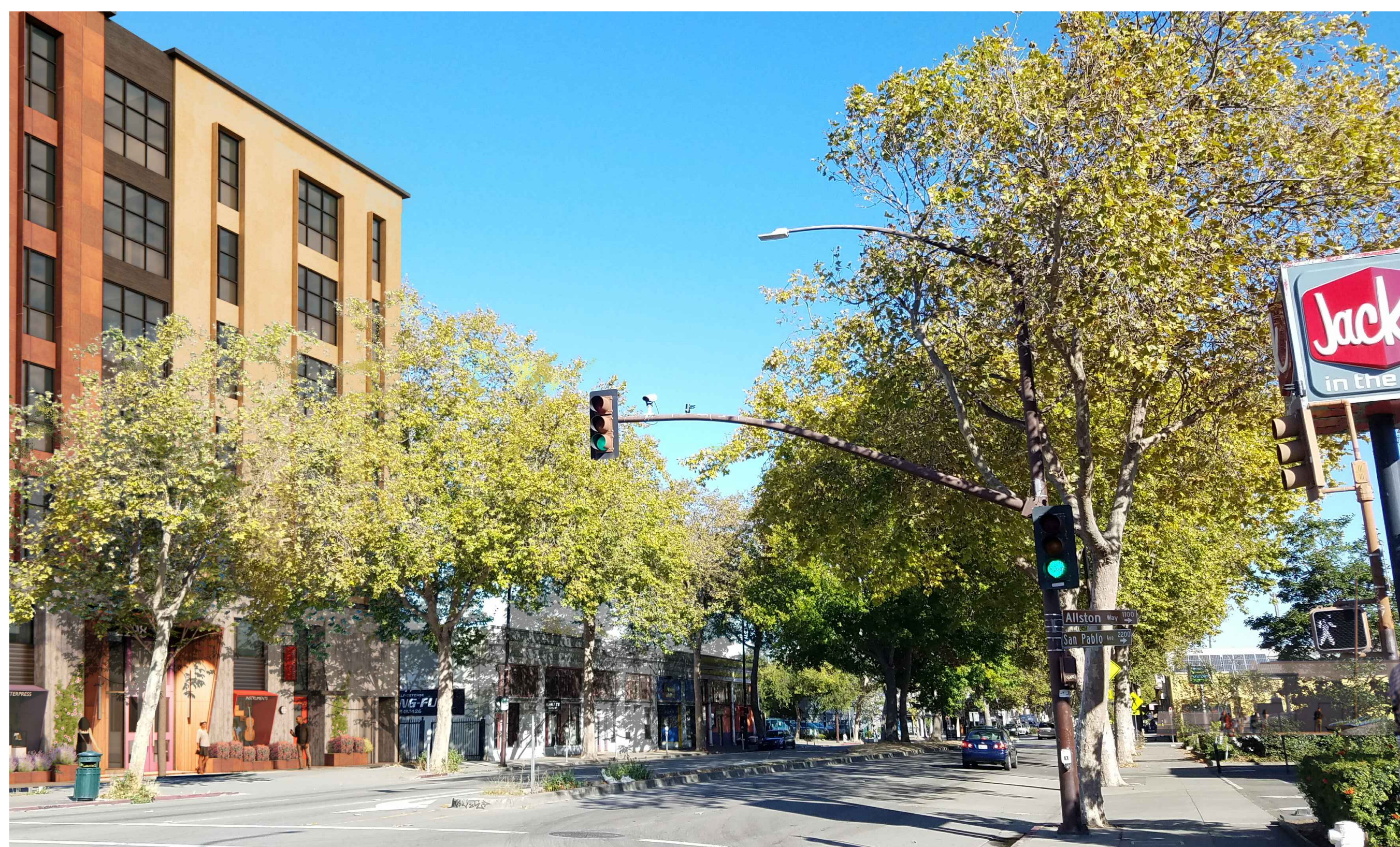
A3.4



4
-
SAN PABLO LOOKING NORTH - AFTER



2
-
SAN PABLO LOOKING SOUTH - AFTER



3
-
SAN PABLO LOOKING NORTH - BEFORE



1
-
SAN PABLO LOOKING SOUTH - BEFORE

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SHEET:

PHOTO CONTEXT
VIEWS

A3.5



2 COWPER LOOKING WEST - AFTER



1 COWPER LOOKING WEST - BEFORE

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**ALLSTON
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2

TENTH LOOKING EAST - AFTER

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SHEET:

PHOTO CONTEXT
VIEWS

A3.6



1

TENTH LOOKING EAST - BEFORE

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SHEET:

PHOTO CONTEXT
VIEWS

A3.7



2
- ALLSTON LOOKING EAST - AFTER



1
- ALLSTON LOOKING EAST - BEFORE

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SHEET:

PERSPECTIVE VIEW

A3.8



1 SAN PABLO LOOKING SOUTHWEST

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SHEET:

PERSPECTIVE VIEW

A3.9



1 SAN PABLO LOOKING NORTHWEST

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SHEET:

PERSPECTIVE VIEW

A3.10



1 SIDEWALK VIEW - LOOKING NORTHWEST

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JOB: 1831

SHEET:

PERSPECTIVE VIEW

A3.11



1 GEORGE FLORENCE PARK LOOKING SOUTHEAST

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SHEET:

PERSPECTIVE VIEW

A3.12



1 GEORGE FLORENCE PARK LOOKING EAST

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JOB: 1831

SHEET:

PERSPECTIVE VIEW

A3.13



1
- ALLSTON LOOKING NORTHEAST

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SHEET:

PERSPECTIVE VIEW

A3.14

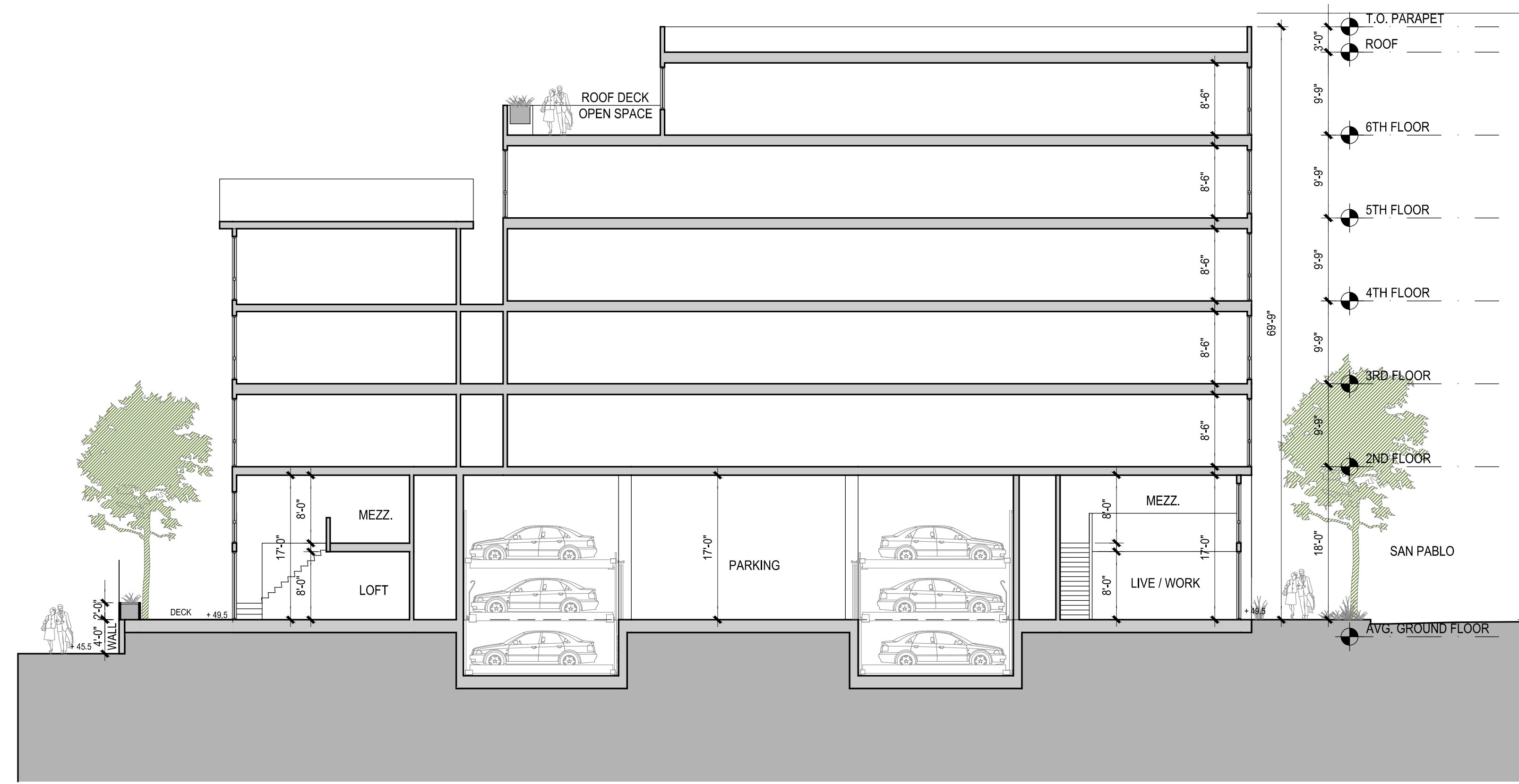


1
-
AERIAL VIEW

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2
 E-W SECTION
 3/64"=1'-0" @ 11X17 3/32"=1'-0" @ 24X36



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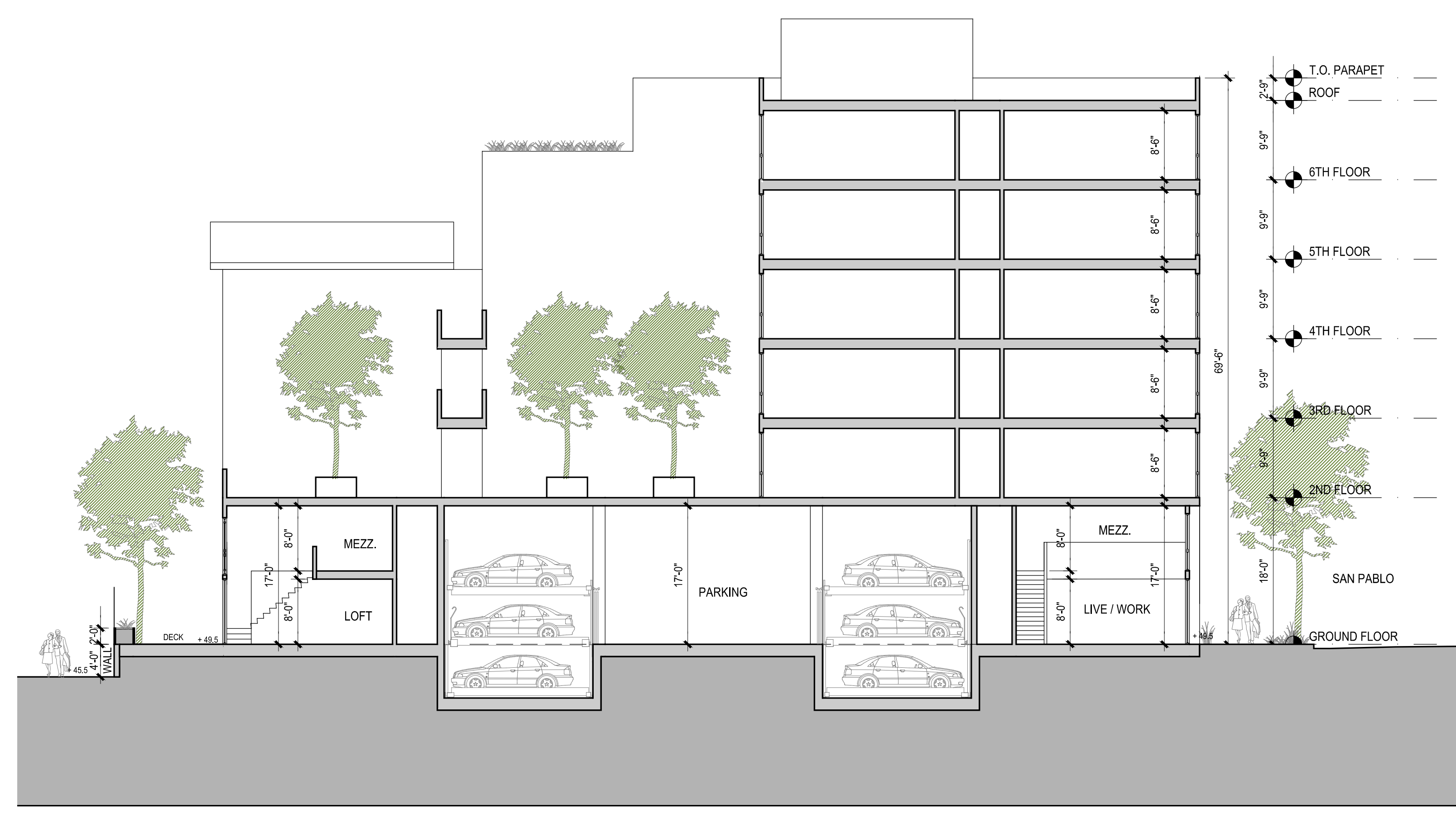
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SHEET:
**BUILDING
 SECTION**

A4.1



1
 E-W SECTION THROUGH PODIUM GARDEN
 3/64"=1'-0" @ 11X17 3/32"=1'-0" @ 24X36



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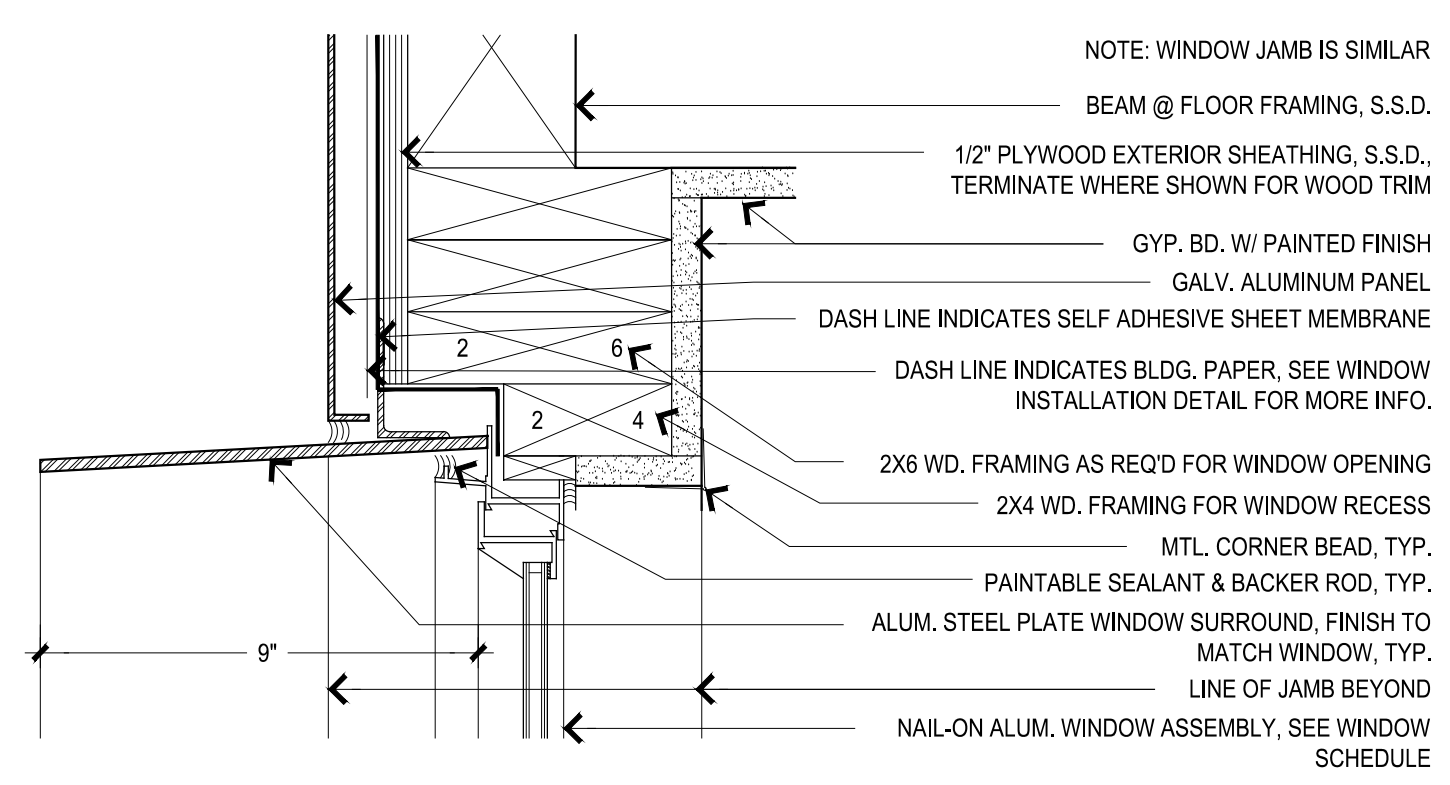
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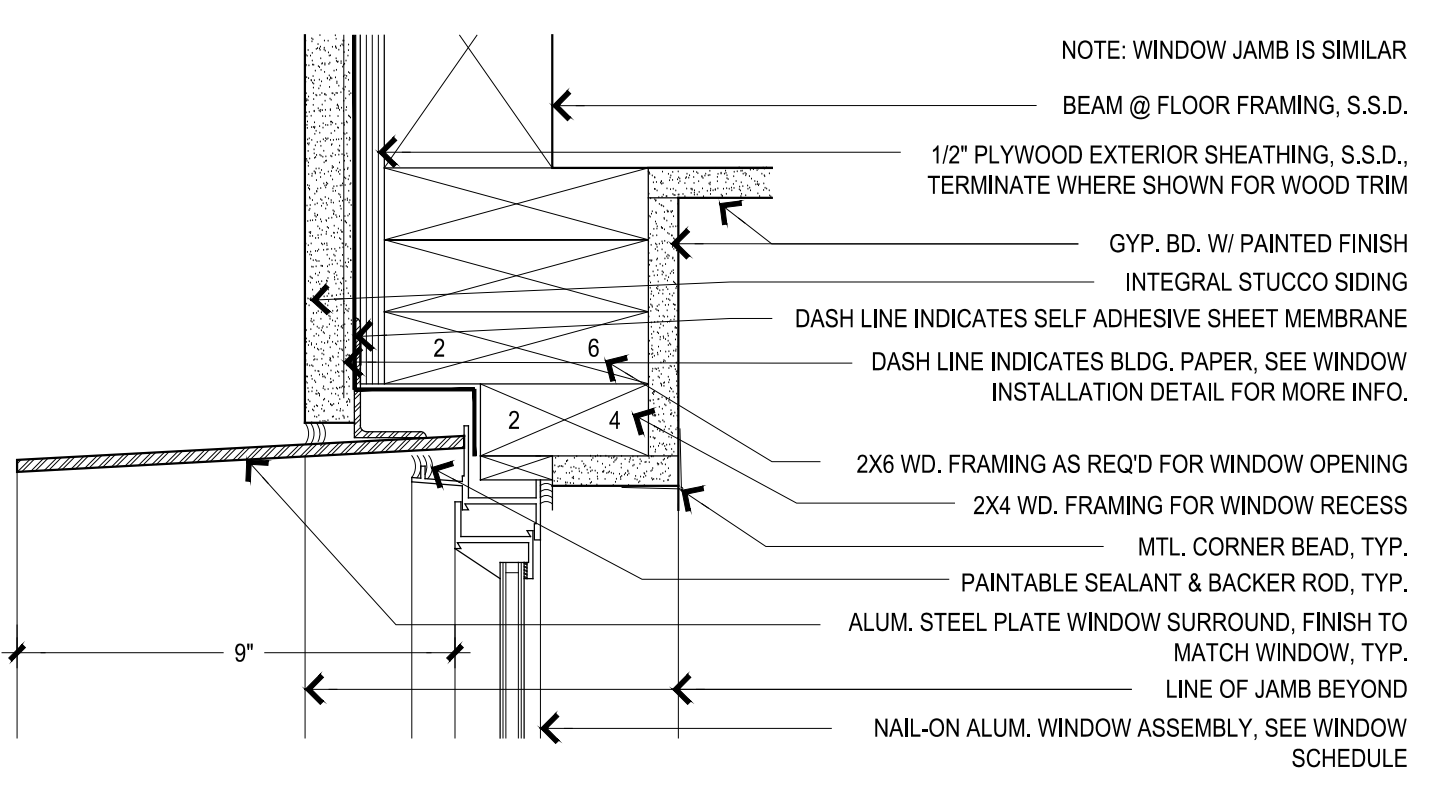
SHEET:

WALL SECTIONS & DETAILS

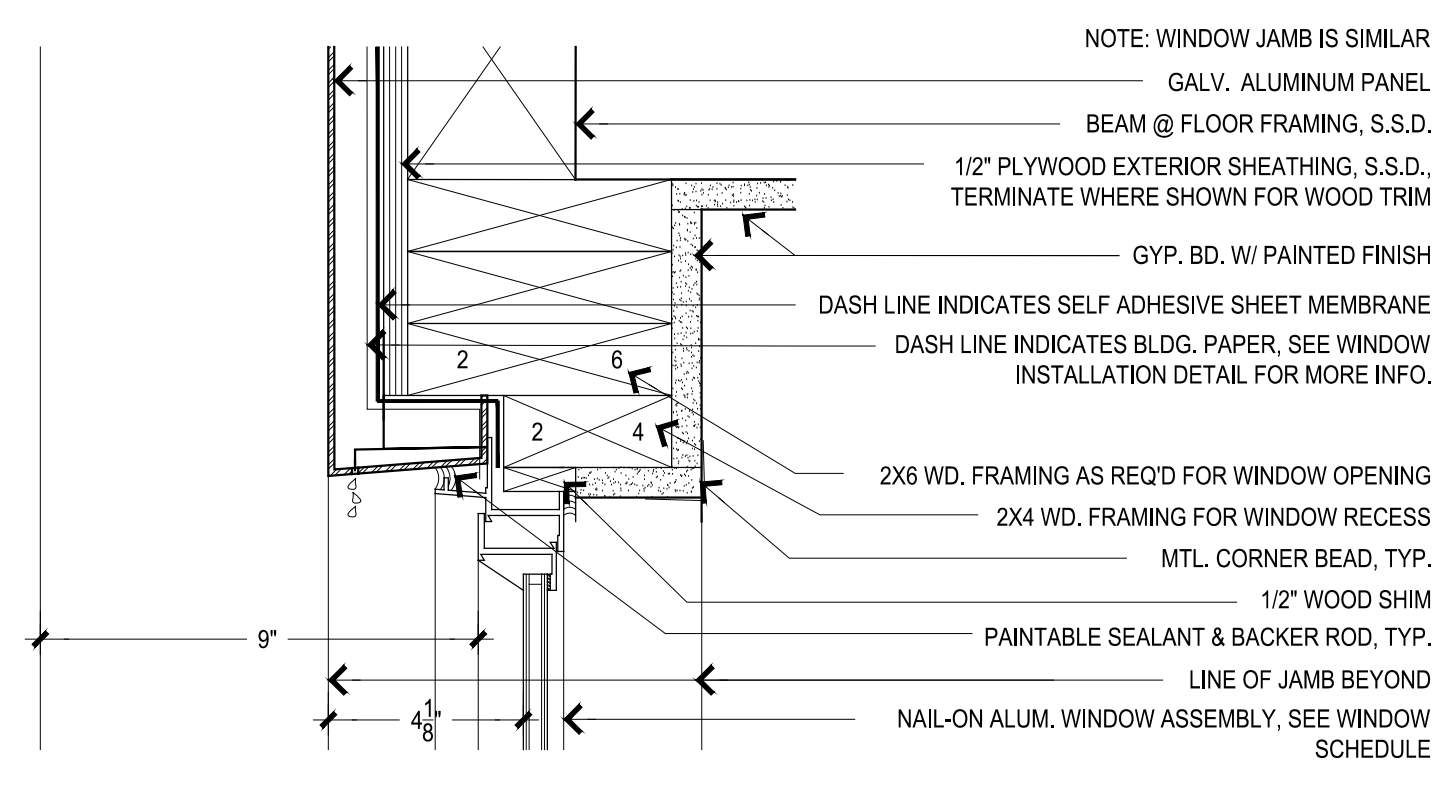
A4.2



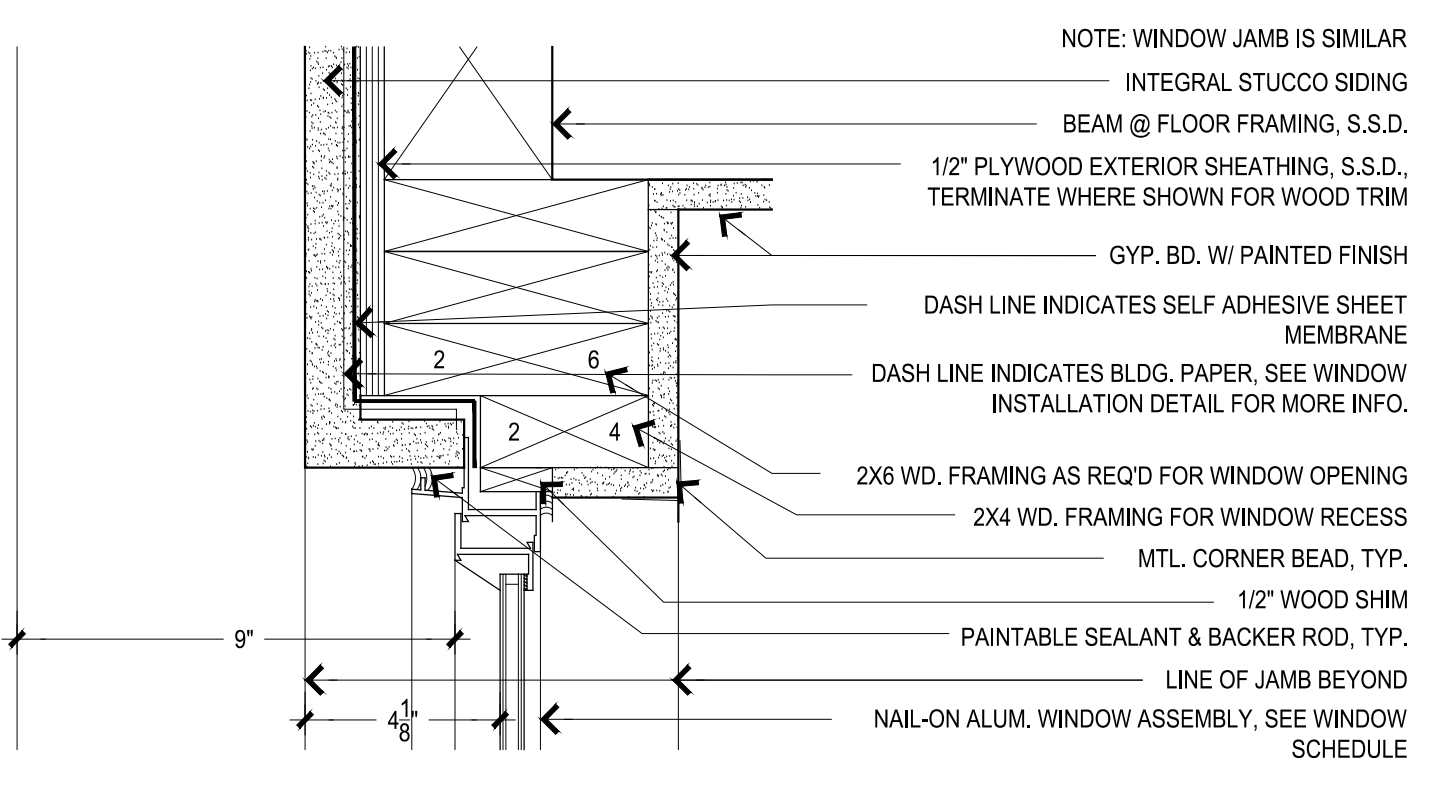
5 MTL. HEAD @ SURROUND
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



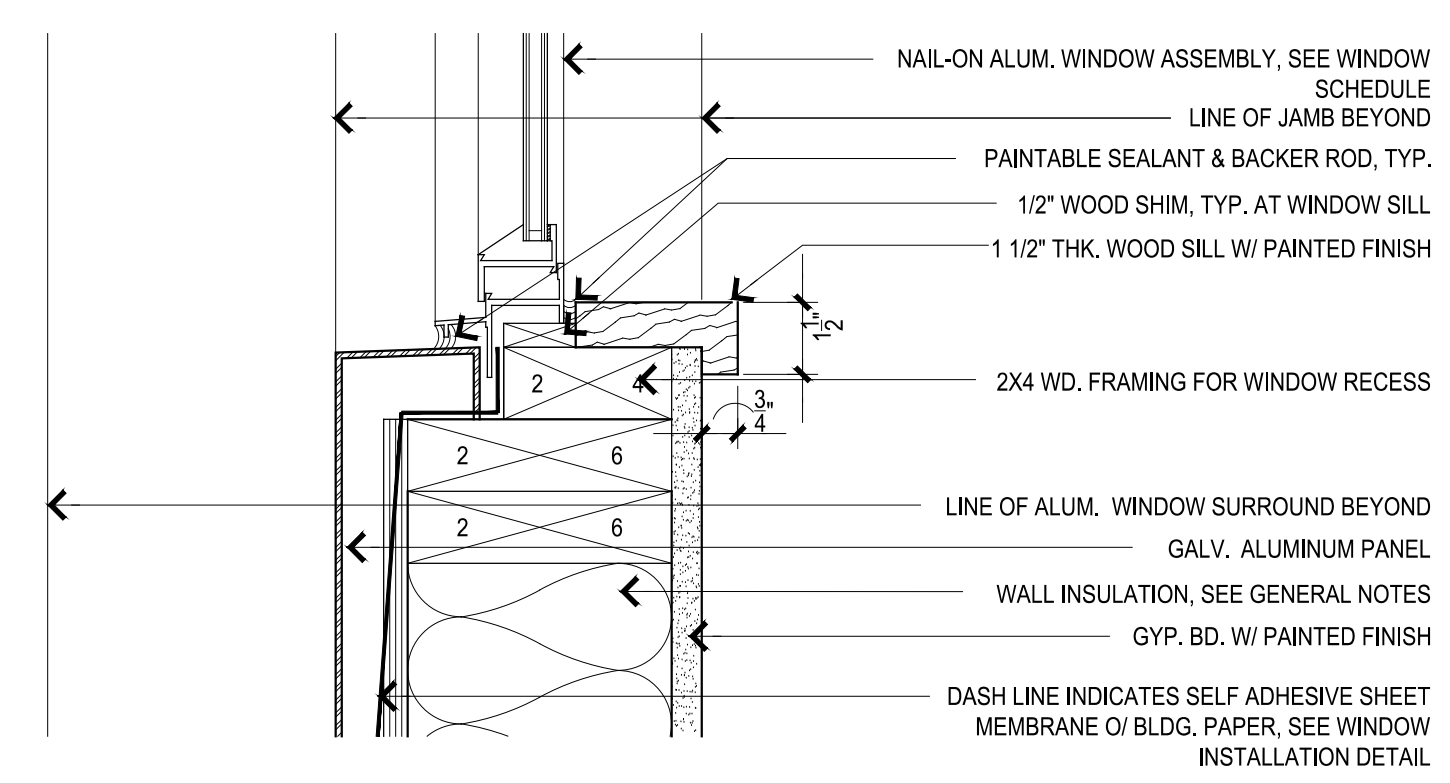
1 STUCCO HEAD @ SURROUND
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



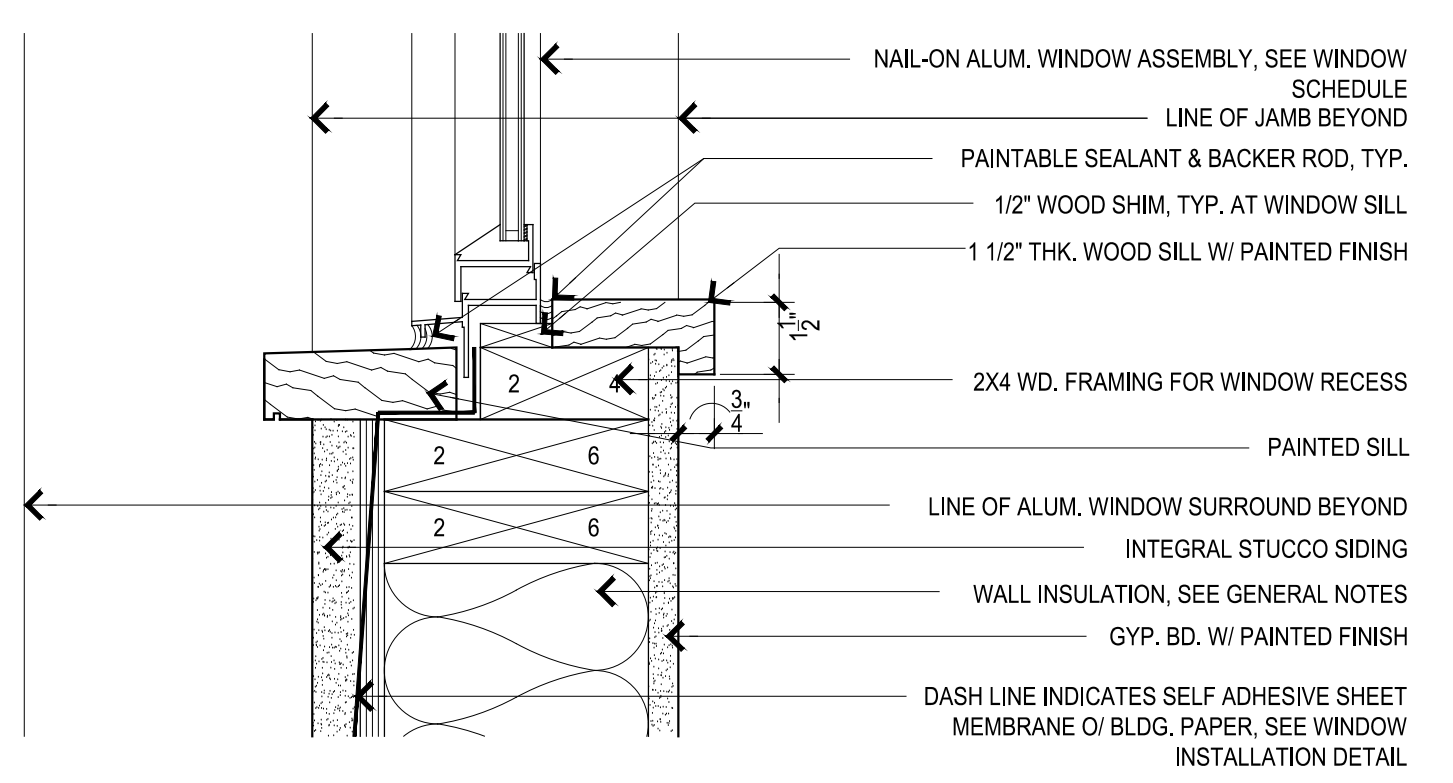
6 TYP. MTL. HEAD / JAMB
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



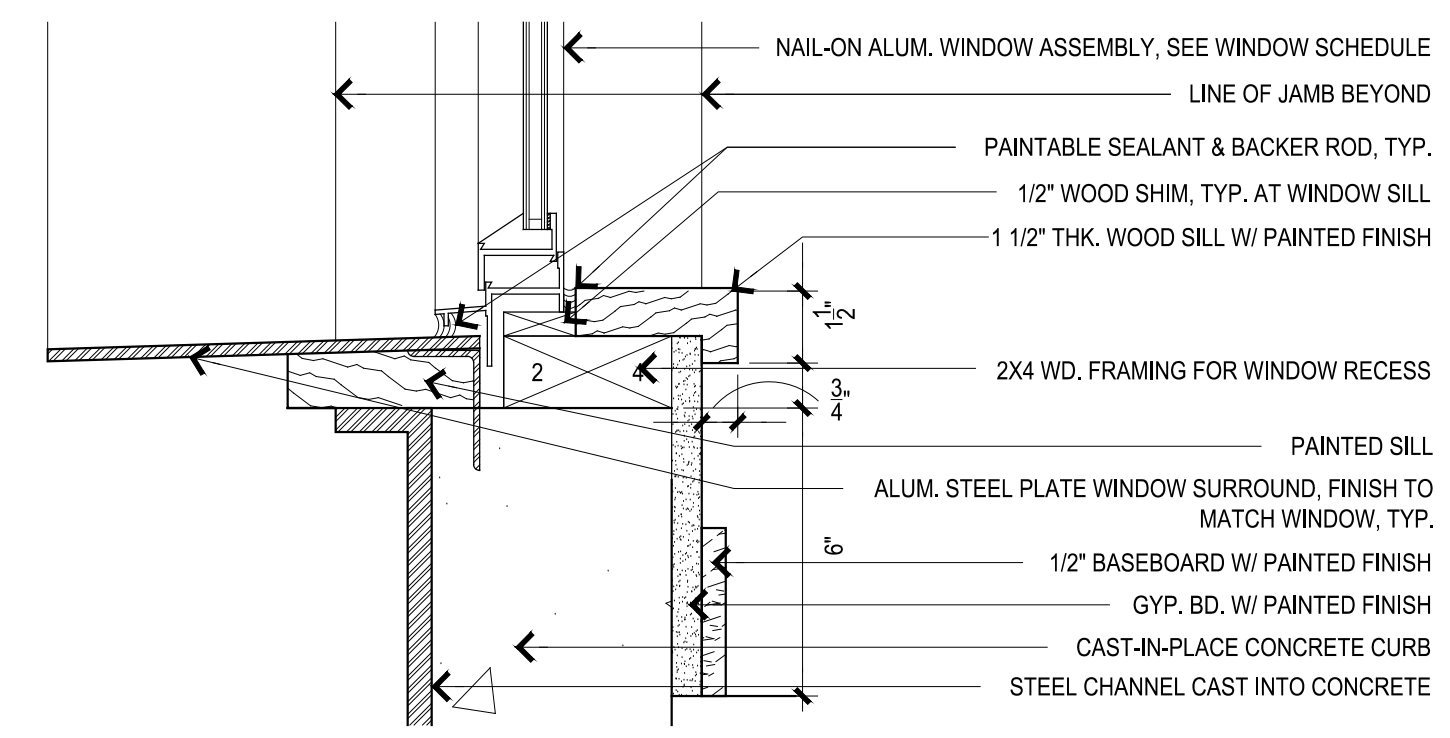
2 TYP. STUCCO HEAD / JAMB
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



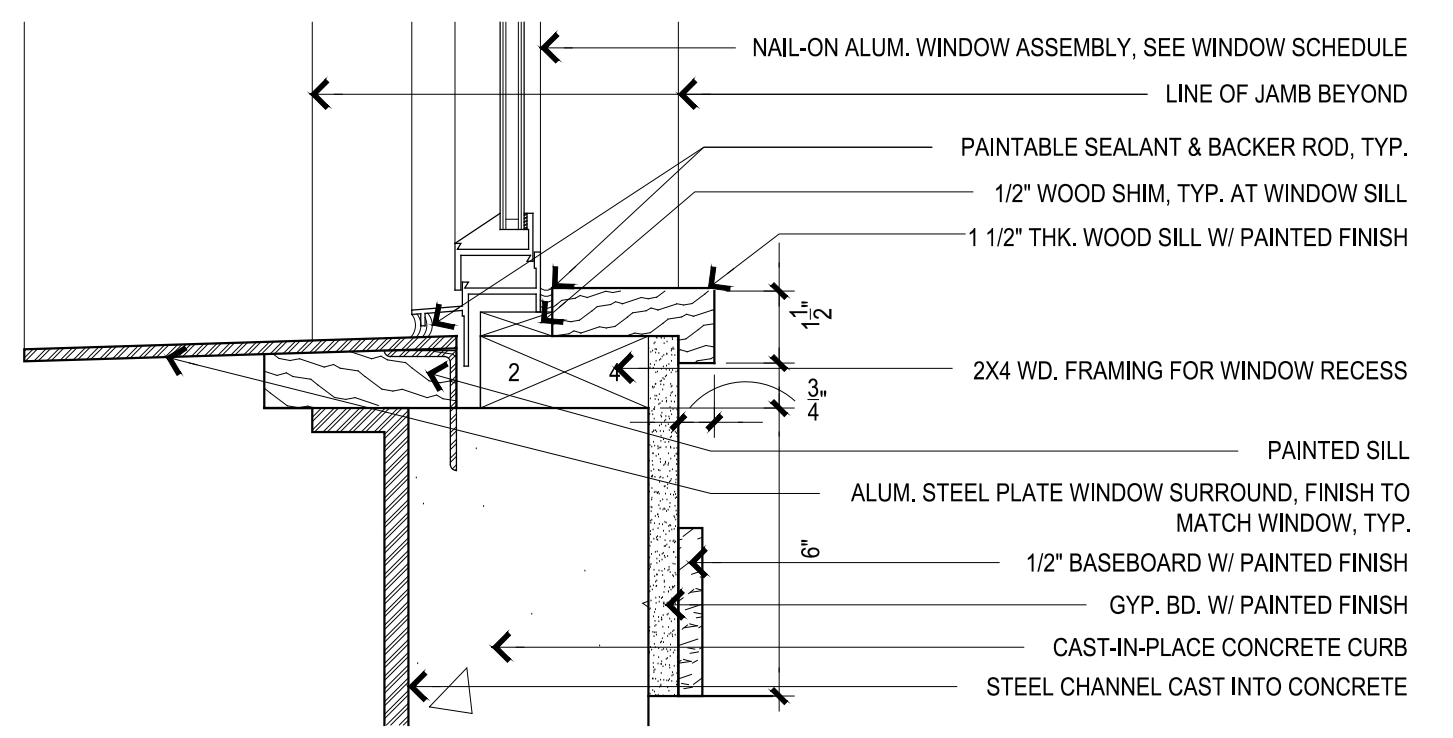
7 TYP. MTL. SILL
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



3 TYP. STUCCO SILL
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



8 MTL. SILL @ CONC. CURB
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



4 STUCCO SILL @ CONC. CURB
1 1/2"=1'-0" @ 11X17 3"=1'-0" @ 24X36



2 ELEVATION DETAIL
1/8"=1'-0" @ 11X17 1/4"=1'-0" @ 24X36

1 SECTION
1/8"=1'-0" @ 11X17 1/4"=1'-0" @ 24X36



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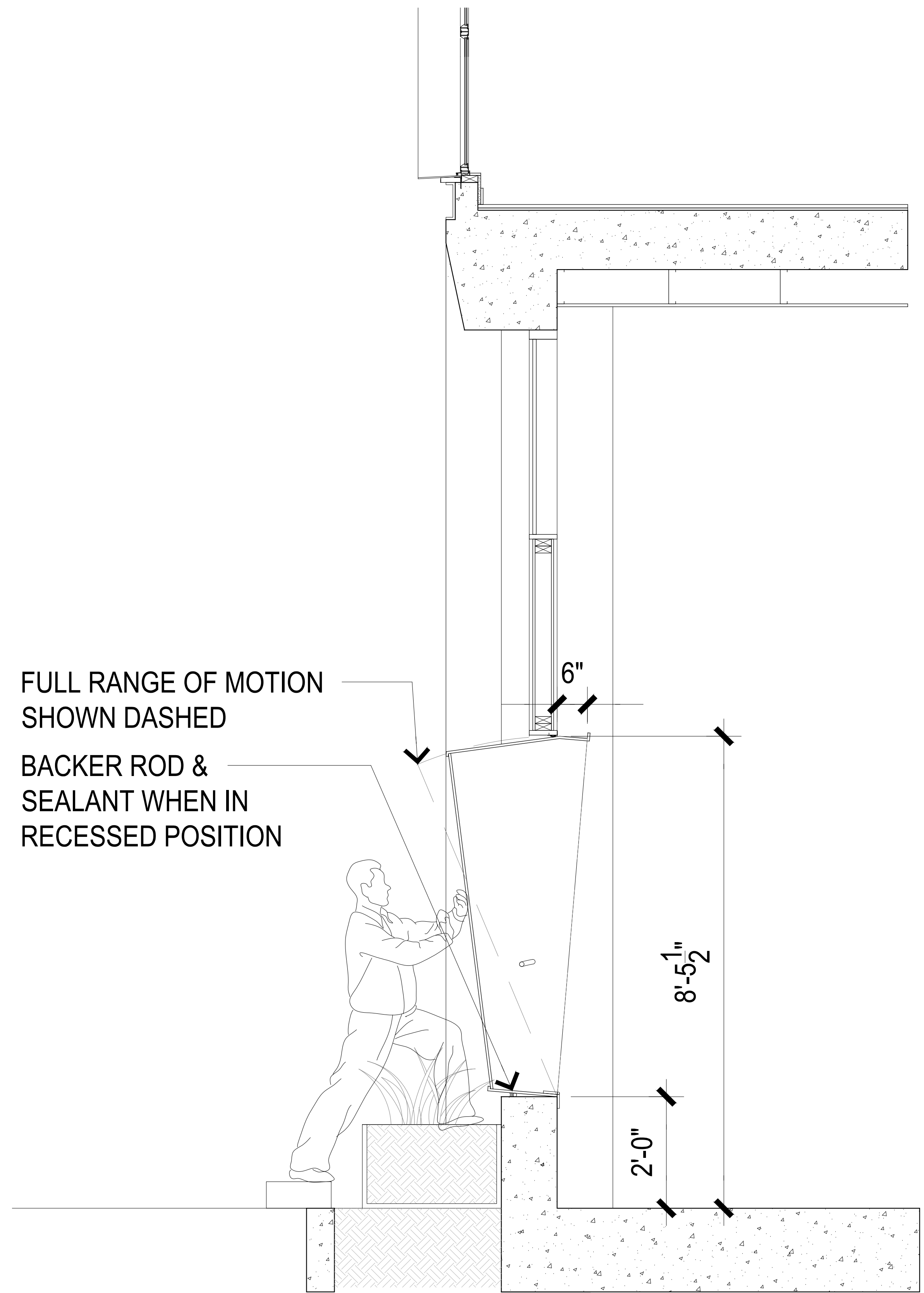
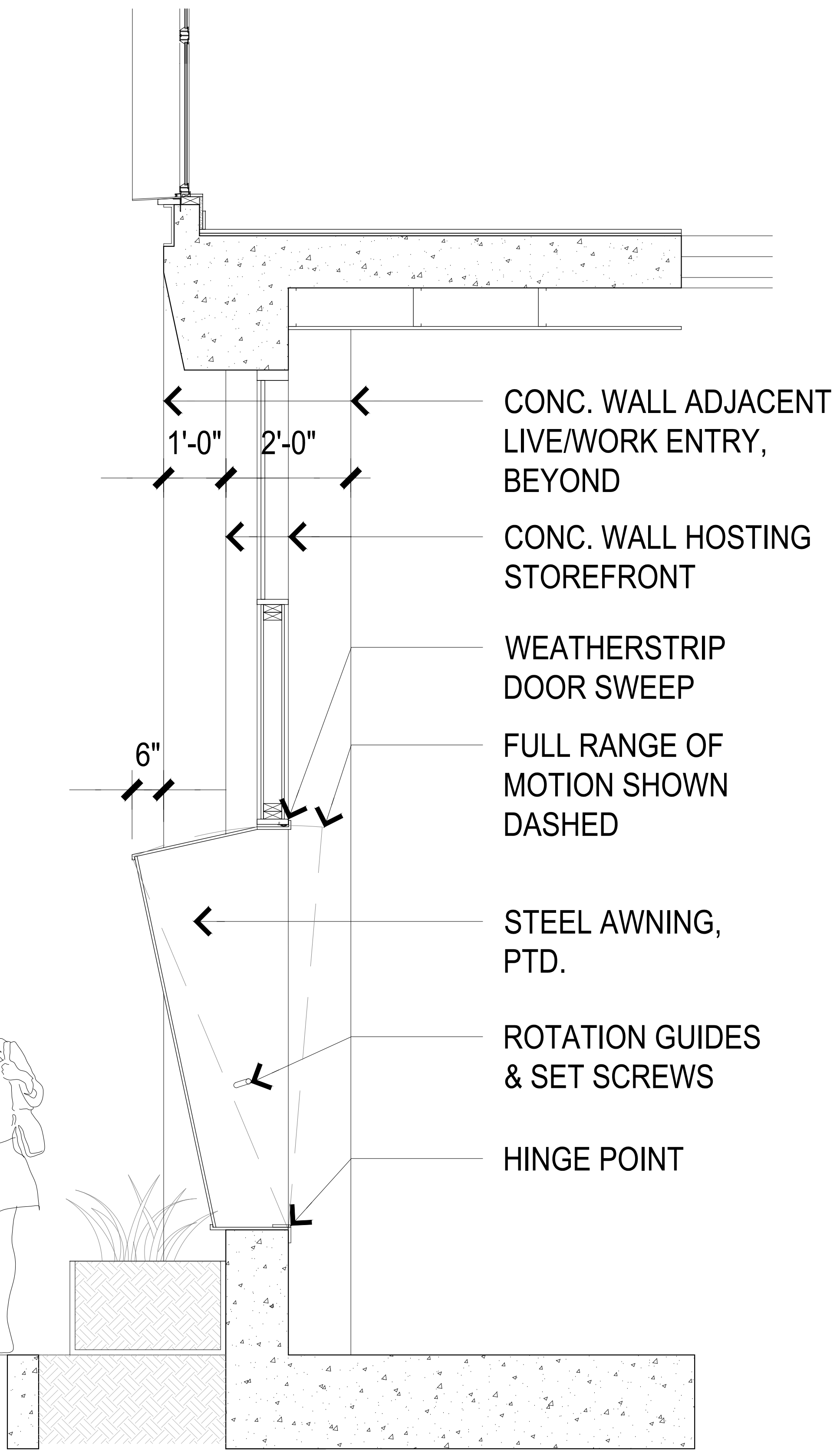
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SHEET:
**STOREFRONT
AWNING SECTION**

A4.3



1
SECTION THRU STOREFRONT (OPEN)
3/8"=1'-0" @ 11X17 3/4"=1'-0" @ 24X36

2
SECTION THRU STOREFRONT (RECESSED)
3/8"=1'-0" @ 11X17 3/4"=1'-0" @ 24X36

TRACHTENBERG
ARCHITECTS

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Berkeley, California 94710
510.649.1414
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ALLSTON EXTENSION

2136 - 2154 San Pablo Ave.
Berkeley, CA

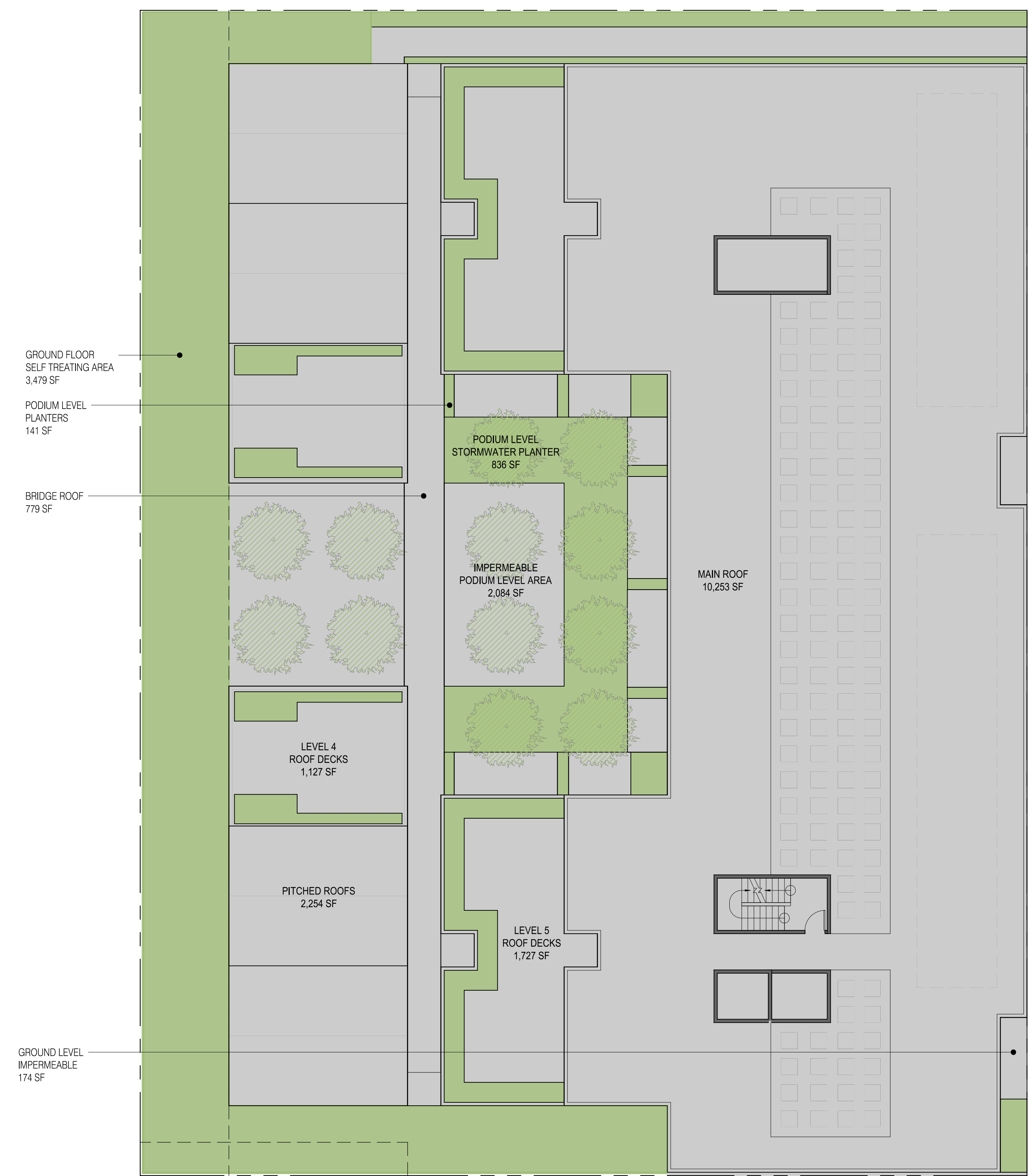
- 03.12.2021 SB-330 ZONING APPLICATION
- 06.08.2021 ZONING COMPLETENESS
- 08.03.2021 ZONING COMPLETENESS
- 05.23.2023 REVISED CONTEXT PHOTOS
- 02.15.2024 DRC MEETING DRAWING SET
- 03.28.2024 ZAB HEARING DRAWING SET

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JOB: 1831

SHEET:
**PRELIMINARY
STORMWATER
MANAGEMENT
PLAN**

SW-1



2 PRELIMINARY STORMWATER MANAGEMENT PLAN
1/16"=1'-0" @ 11x17 1/8"=1'-0" @ 24x36
0 4 8 16

STORMWATER CALCULATIONS

C3 APPLICABILITY

TOTAL SITE AREA	23,301
C3 THRESHOLD	10,000
C3 REGULATED PROJECT	YES

REQUIRED FLOW-THROUGH PLANTERS

LOCATION	GROSS SF	SELF-TREATING AREA	TREATMENT AREA	%	TOTAL TREATMENT AREA	TOTAL PROVIDED PLANTER AREA	PERVIOUS PAVING	FILTER VAULT
ROOFS	13286	0	13286	4%	531			
ROOF DECKS	2854	780	2074	4%	83			
PODIUM	3060	977	2083	4%	83	836		
GROUND LEVEL	4101	3479	622	4%	25			
TOTAL	23301	5236	18065	4%	723	836	0	0

PROVIDED TREATMENT PLANTERS

LEVEL	PLANTER	PLANTER AREA
PODIUM LEVEL	P1	836
TOTAL PLANTERS		836

SPECIAL PROJECTS (Appendix K)

CRITERIA FOR CATEGORY C (TRANSIT ORIENTED DEVELOPMENT) SPECIAL PROJECTS

1. Be characterized as a non auto-related land use project. That is, Category C specifically excludes any Regulated Project that is a stand-alone surface parking lot; car dealership; auto and truck rental facility with onsite surface storage; fast-food restaurant, bank or pharmacy with drive-through lanes; gas station, car wash, auto repair and service facility; or other auto-related project unrelated to the concept of Transit-Oriented Development.	Yes
2. If a commercial, achieve at least an FAR of 2:1.	N/A
3. If a residential development project, achieve at least a density of 25 DU/Ac.	N/A
4. If a mixed use development project, achieve at least an FAR of 2:1 or a gross density of 25 DU/Ac.	Yes

LOCATION CREDITS

% of the C.3.d Amount of Runoff that MayReceive Non-LID	Project Site Location	QUALIFIES
50%	50% or more of the site is located within a ¼ mile radius of an existing or planned transit hub	N/A
25%	50% or more of the site is located within a ½ mile radius of an existing or planned transit hub	YES
25%	100% of the site is located within a PDA	N/A

DENSITY CREDITS

% of the C.3.d Amount of Runoff that MayReceive Non-LID	Land Use Type	Density Required to Obtain the Density Credit	PROPOSED	QUALIFIES
10%	Commercial	2 FAR		N/A
10%	Residential or Mixed Use	30 DU/Acre	217	YES
20%	Commercial	4 FAR		N/A
20%	Residential or Mixed Use	60 DU/Acre	217	YES
30%	Commercial	6.1 FAR		N/A
30%	Residential or Mixed Use	100 DU/Acre	217	YES

MINIMIZED SURFACE PARKING CREDITS

To qualify for any Minimized Surface Parking Credits, a Category C Special Project must first qualify for one of the Location Credits listed in Provision C.3.e.ii.(5)(c) above. (i) A Category C Special

% of the C.3.d Amount of Runoff that MayReceive Non-LID	Percentage of the Total Post-Project Impervious Surface Dedicated to At-Grade, Surface Parking	PROPOSED	QUALIFIES
10%	10% or less	0	YES
20%	0% (except for emergency vehicle access, ADA accessibility and passenger and freight loading zones)	0	YES

TOTAL CREDITS 75%
LOCATION CREDITS 25%
DENSITY CREDITS 30%
MINIMIZED SURFACE PARKING CREDITS 20%

1 STORMWATER MANAGEMENT DATA

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JOB: 1831

SHEET:

CONCEPTUAL GRADING PLAN

G-1

ESTIMATED QUANTITIES AND LOCATIONS OF FOUNDATION CUTS

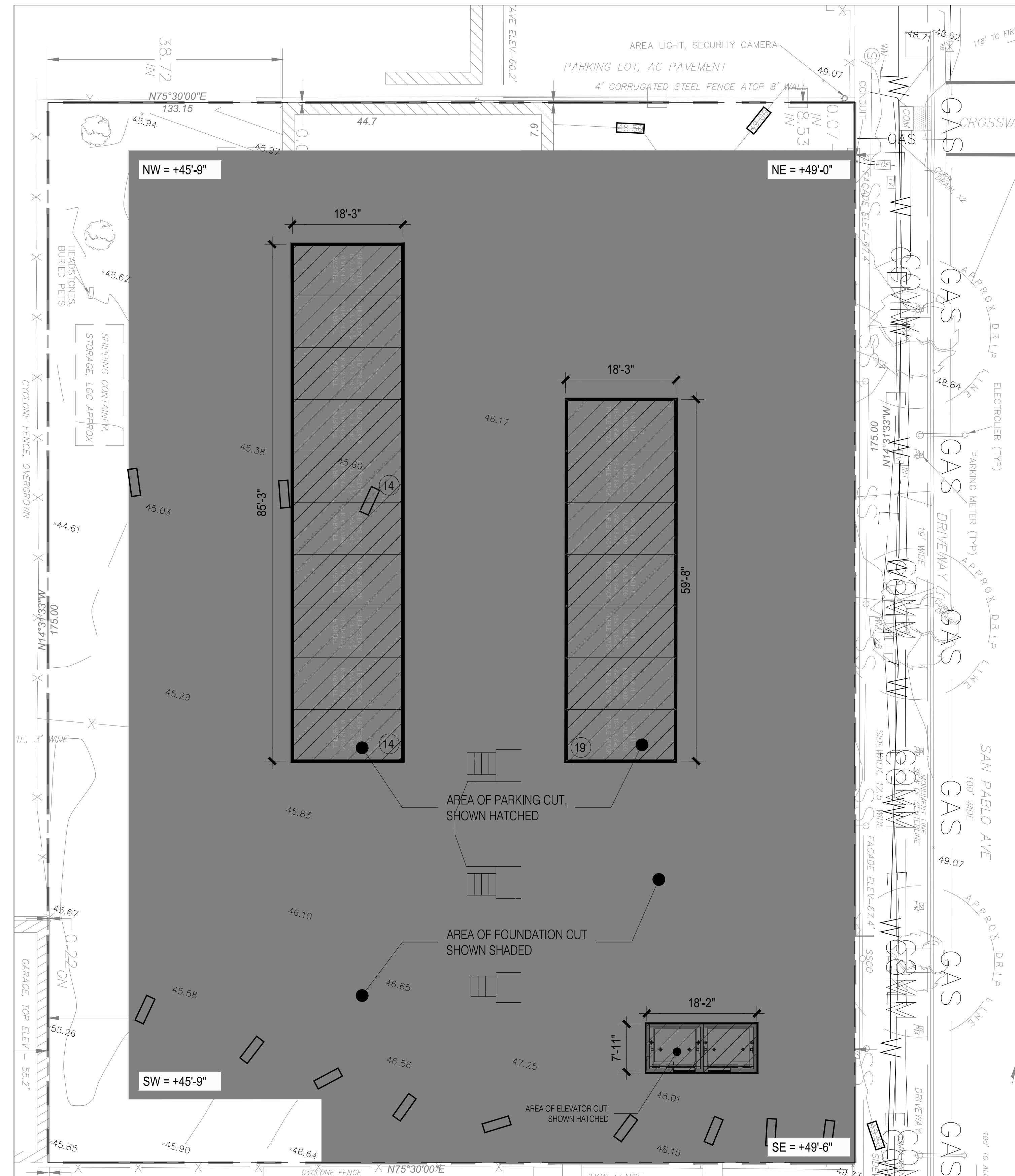
	FEET	YARDS
TOTAL CUBIC YARDS OF CUT		-364 (CUBIC YARDS)
TOTAL AREA OF CUT	19678	2186 (SQUARE YARDS)
AVERAGE DEPTH OF CUT	EXISTING ELEVATION (FT)	FINAL ELEVATION (FT)
	-0.5	-0.17 (YARDS)
CORNER 1 - NW	45.75	48
	-2.25	-0.75 (YARDS)
CORNER 2 - NE	49	48
	1	0.333333 (YARDS)
CORNER 3 - SE	49.5	48
	1.5	0.50 (YARDS)
CORNER 4 - SW	45.75	48
	-2.25	-0.75 (YARDS)

ESTIMATED QUANTITIES AND LOCATIONS OF PARKING & ELEVATOR PIT CUTS

	FEET	YARDS
TOTAL CUBIC YARDS OF CUT		695 (CUBIC YARDS)
TOTAL AREA OF CUT	2779	309 (SQUARE YARDS)
LOCATION OF CUT	EXISTING ELEVATION (FT)	FINAL ELEVATION (FT)
	6.75	2.25 (YARDS)
PARKING PIT	48	41.25
	6.75	2.25 (YARDS)
ELEVATOR PIT	48	43
	5	1.666667 (YARDS)

CUMULATIVE EXCAVATED QUANTITIES

	FEET	YARDS
TOTAL CUBIC YARDS OF CUT		330 (CUBIC YARDS)



2 ESTIMATED CUT/FILL DATA

1 CONCEPTUAL GRADING PLAN

1/16" = 1'-0" @ 11X17 1/8" = 1'-0" @ 24X36

0 4 8 16

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JOB: 1831

SHEET:

MATERIAL
BOARD

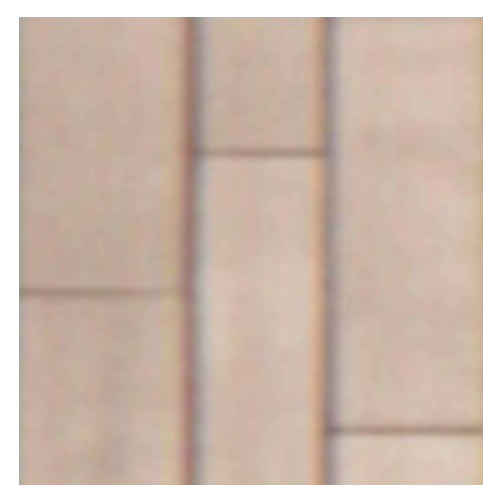
MAT



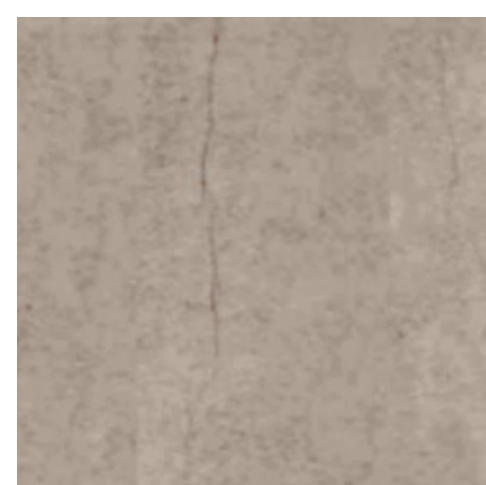
2 WEST ELEVATION
3/64" = 1'-0" @ 11X17 3/32" = 1'-0" @ 24X36



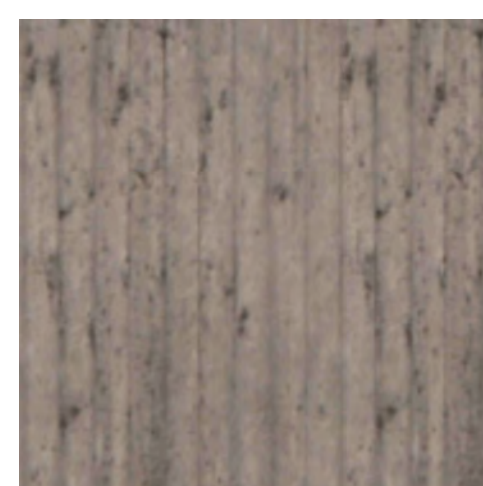
1 EAST ELEVATION
3/64" = 1'-0" @ 11X17 3/32" = 1'-0" @ 24X36



STANDING SEAM METAL SIDING



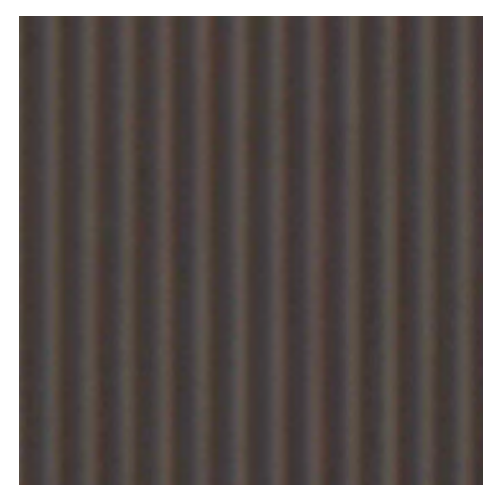
INTEGRAL COLOR STUCCO
STEEL HARD TROWEL FINISH



CAST-IN-PLACE CONCRETE



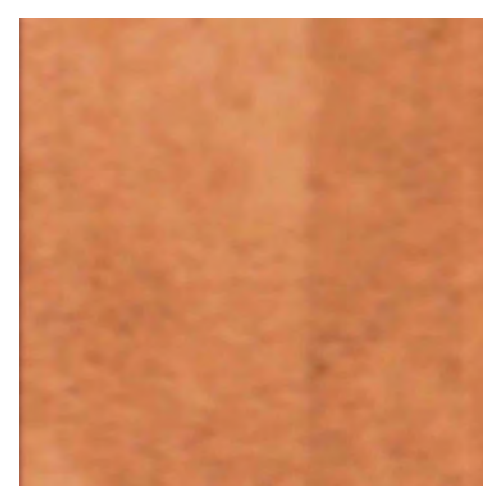
INTEGRAL COLOR STUCCO
STEEL HARD TROWEL FINISH



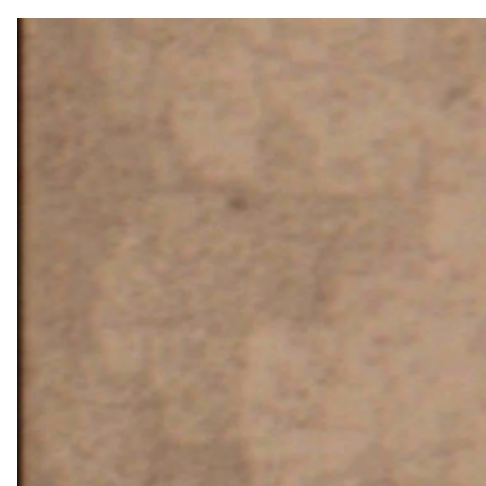
CORRUGATED METAL PANELS



INTEGRAL COLOR STUCCO
STEEL HARD TROWEL FINISH



INTEGRAL COLOR STUCCO
STEEL HARD TROWEL FINISH



INTEGRAL COLOR STUCCO
STEEL HARD TROWEL FINISH

SECONDARY ACCENT TREES (WESTERN REDBUD)
SCREEN HEDGE PLANTING ALONG NORTH PROPERTY LINE

PRIMARY ACCENT TREES ALONG WEST PROPERTY LINE (CHINESE PISTACHE)

6 FT. HEIGHT DECORATIVE METAL FENCE PARTITIONS AT PRIVATE GARDEN AREAS.

PRIVATE REAR YARDS WITH 11'x16' PERVIOUS PAVER PATIOS AND PRIVATE GARDENS (PAVER #1)

BROADLEAF EVERGREEN TREES (MARINA STRAWBERRY TREE)

PERVIOUS PAVER PATIO AT COMMUNITY ROOM (PAVER #2).

MEDIUM HEIGHT PLANTING ALONG COMMUNITY ROOM PATIO AREAS.

PRIMARY ACCENT TREES (CHINESE PISTACHE)

PERVIOUS PAVERS (NO GAPS) (PAVER #1)

6 FT. HEIGHT DECORATIVE METAL FENCE WITH ACCESS GATE

LOW ACCENT PLANTING AT ACCESS GATE PLANTERS

GARAGE APPROACH AND ENTRY

GROUND LEVEL ZONING QUALIFIED PRIVATE PATIO AND COMMUNITY ROOM LANDSCAPE AREA: 716 SQ. FT.
GROUND LEVEL IRRIGATED TOTAL LANDSCAPE AREA: 1537 SQ. FT.

STREET LIGHT STANDARD (TYPICAL OF 2)

STAMPED CONCRETE WITH RUNNING BAND BRICK PATTERN AND INTEGRAL COLOR (TO BE SELECTED).

BIKE RACK LOCATIONS ALONG STAMPED CONCRETE PAVING (TYPICAL OF 4).

5'x10' TREE WELL WITH DECOMPOSED GRANITE SURFACE (TYPICAL OF 3).

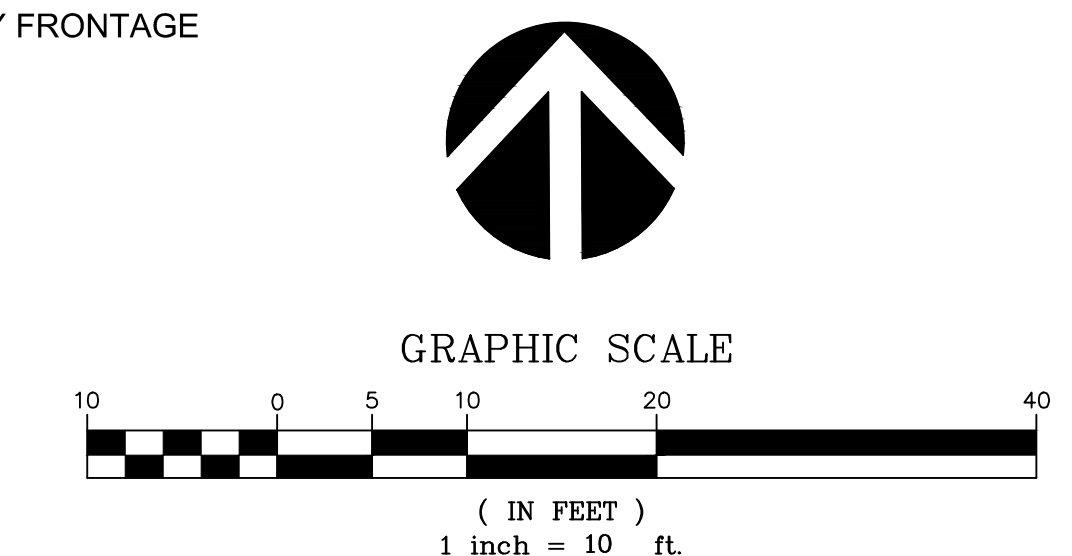
12" WIDE x 18" HT. CORTEN STEEL PLANTERS W/ ACCENT PLANTING ALONG LIVE/WORK UNITS.

16" WIDE x 24" HT. CORTEN STEEL PLANTERS W/ ACCENT PLANTING OUTSIDE OF WINDOWS.

CITY STANDARD CONCRETE SIDEWALK.

REMOVE AND REPLACE EXISTING STREET TREES (PROPOSED ROBERTS WESTERN SYCAMORE)

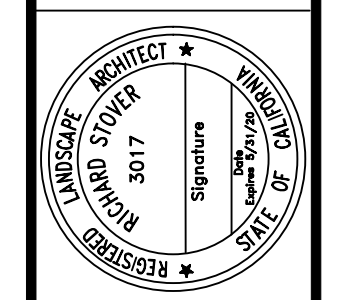
LOW ACCENT PLANTING AT LOBBY FRONTAGE



REFER TO SHEET L1.5 FOR IMAGES AND RECOMMENDED PLANT LIST.

NO.	REVISIONS

Thomas Brink & Associates, L.L.P.
Landscape Architects
1520 North Main Street, Suite 4
Walnut Creek, CA 94596
PH: 925.951.2283



ALLSTON EXTENSION
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BERKELEY, CALIFORNIA

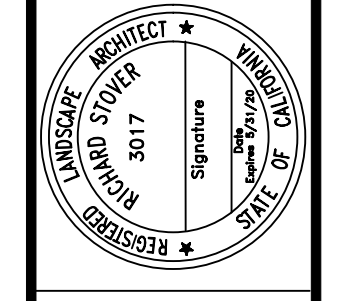
GROUND LEVEL
PRELIMINARY
LANDSCAPE PLAN

DESIGNED:	DRAWN:
CHECKED:	JOB NO.:
DATE	
1-23-20	
SCALE	

SHEET
L1.1
OF X SHEETS

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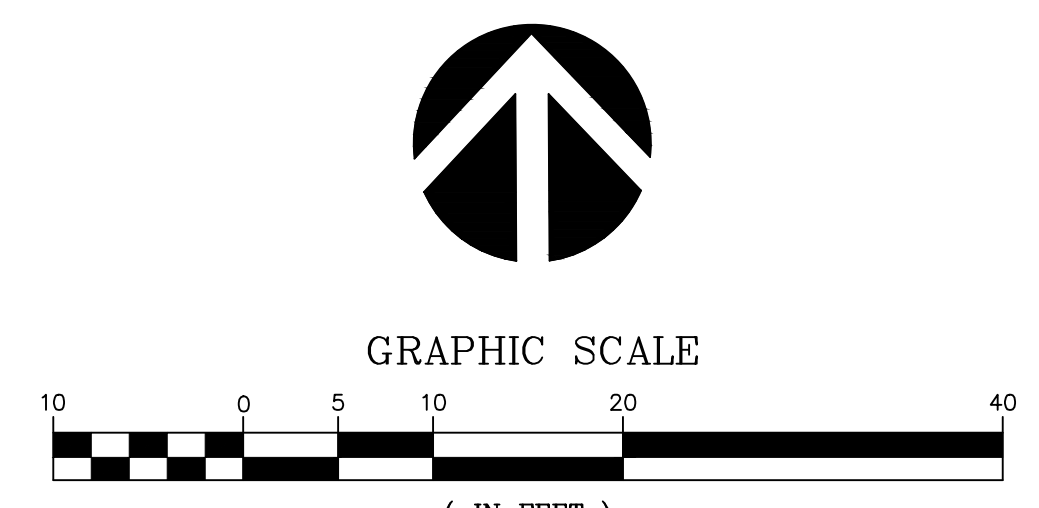
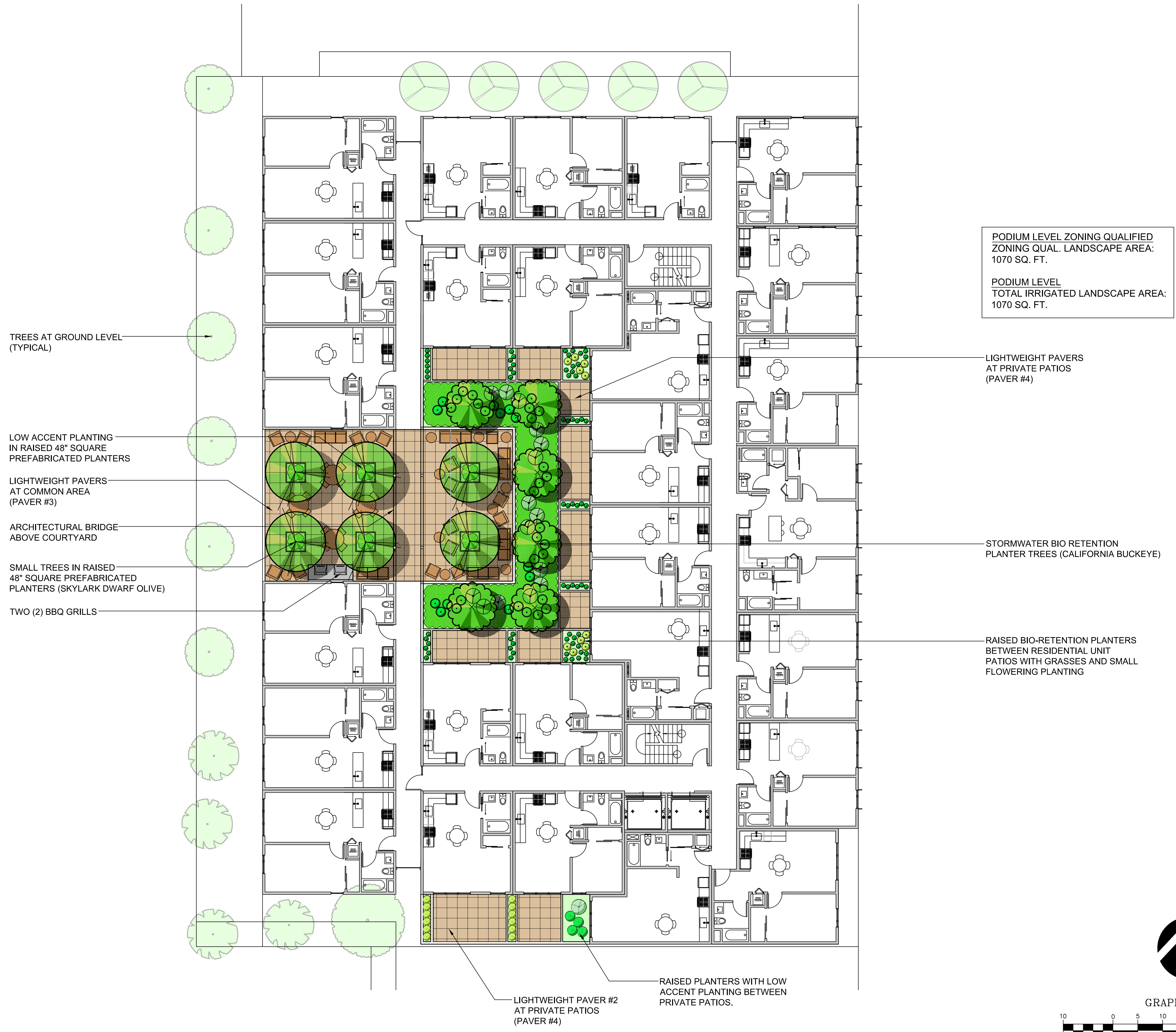


ALLSTON EXTENSION
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 BERKELEY, CALIFORNIA

PODIUM LEVEL
PRELIMINARY
LANDSCAPE PLAN

DESIGNED:	DRAWN:
CHECKED:	JOB NO.:
DATE	
1-23-20	
SCALE	

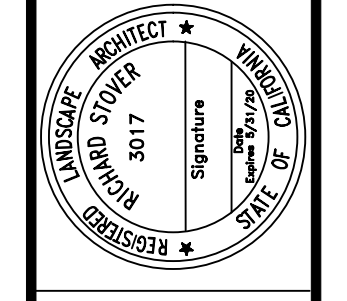
SHEET
L1.2
 OF X SHEETS



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ALLSTON EXTENSION
2136-2154 SAN PABLO AVE
 BERKELEY, CALIFORNIA

4TH FLOOR
PRELIMINARY
LANDSCAPE PLAN

DESIGNED:	DRAWN:
CHECKED:	JOB NO.:
DATE	
1-23-20	
SCALE	

SHEET
L1.3
 OF X SHEETS

42" HT. PREFABRICATED
 PLANTER WITH ACCENT
 PLANTING.

OUTDOOR PATIOS FOR
 RESIDENTIAL UNITS
 WITH ACCENT PAVER #5.

COVERED PATIO WITH TABLE
 AND COUCH SEATING
 (ACCENT PAVER #5).

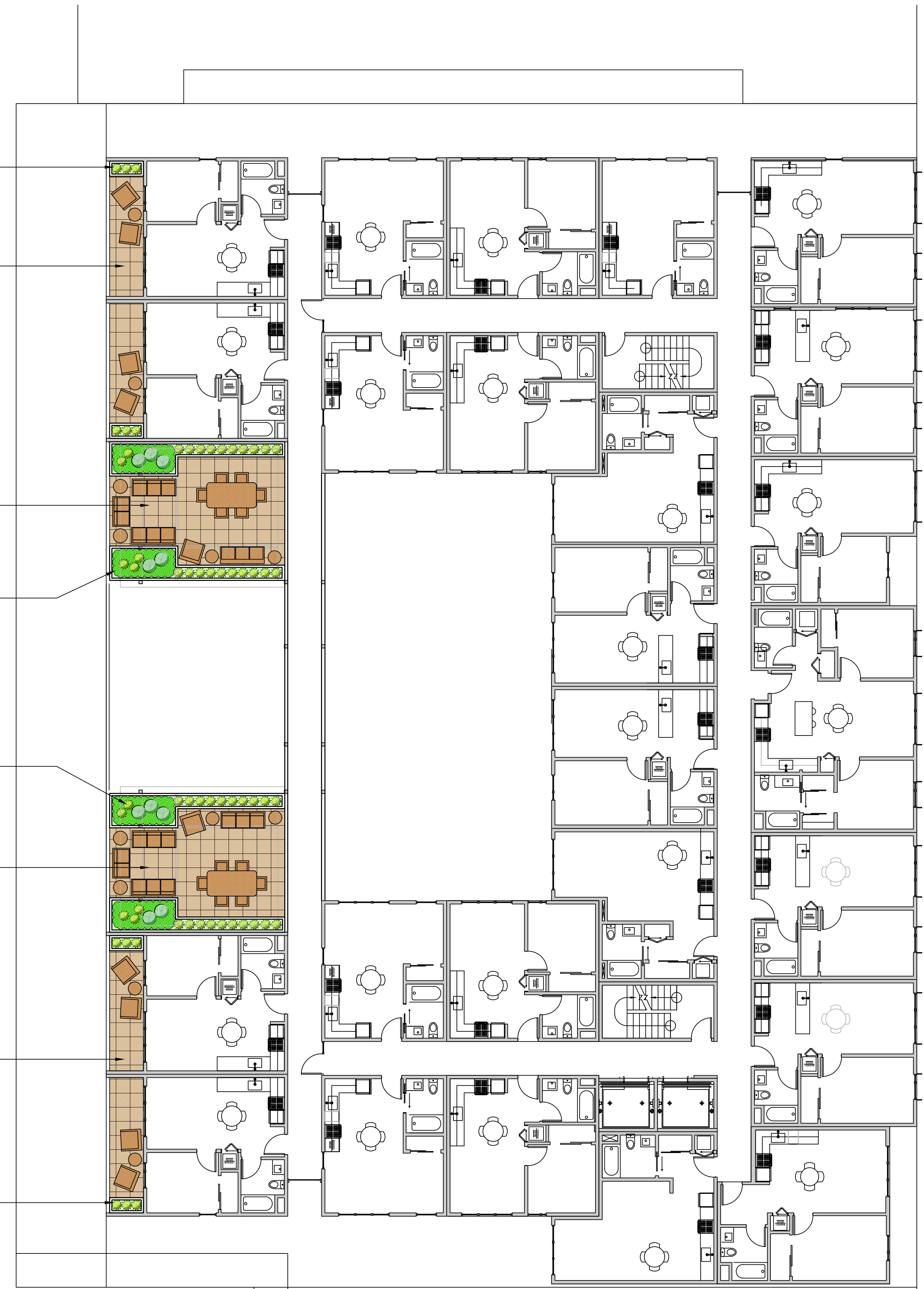
42" HT. PRECAST PLANTERS
 WITH LOW ACCENT PLANTING.

42" HT. PRECAST PLANTERS
 WITH LOW ACCENT PLANTING.

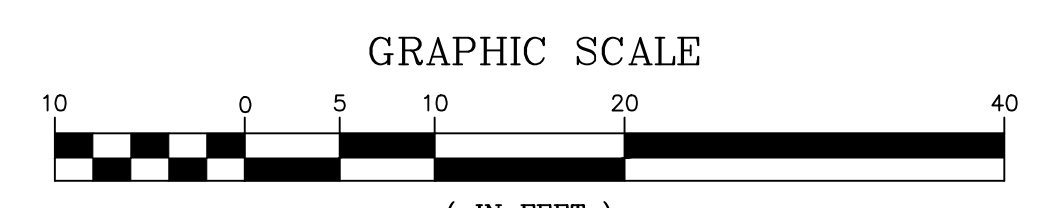
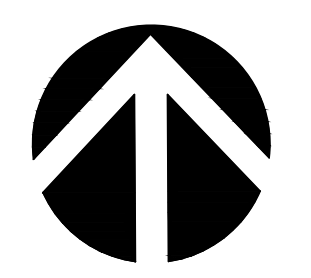
COVERED PATIO WITH TABLE
 AND COUCH SEATING
 (ACCENT PAVER #5).

OUTDOOR PATIOS FOR
 RESIDENTIAL UNITS
 WITH ACCENT PAVER #5.

42" HT. PREFABRICATED
 PLANTER WITH ACCENT
 PLANTING.



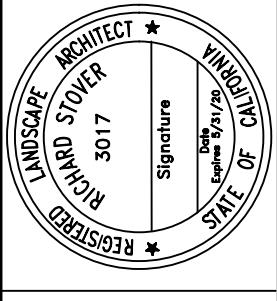
FOURTH FLOOR LEVEL ZONING QUALIFIED
 ZONING QUALIFIED LANDSCAPE AREA:
 266 SQ. FT.
 FOURTH FLOOR LEVEL
 TOTAL IRRIGATED LANDSCAPE AREA:
 294 SQ. FT.



REFER TO SHEET L1.5 FOR IMAGES AND
 RECOMMENDED PLANT LIST.

REVISIONS

Thomas Brink & Associates, LLP.
Landscape Architects
1520 North Main Street, Suite 4
Walnut Creek, CA 94596
PH: 925.931.2800



ALLSTON EXTENSION
2136-2154 SAN PABLO AVE
BERKELEY, CALIFORNIA

IMAGES AND
RECOMMENDED
PLANT LIST

DESIGNED: DRAWN:
CHECKED: JOB NO:
DATE
1-23-20
SCALE

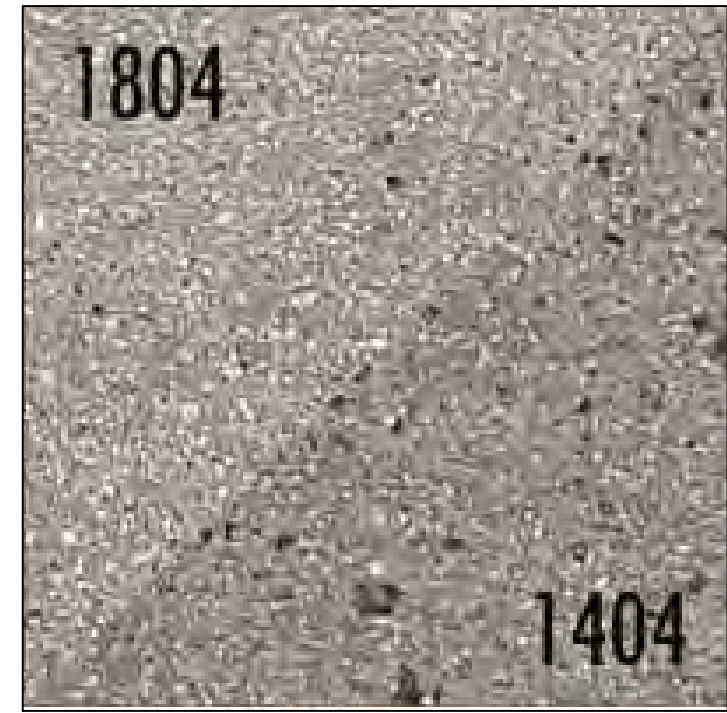
SHEET
L1.5
OF X SHEETS



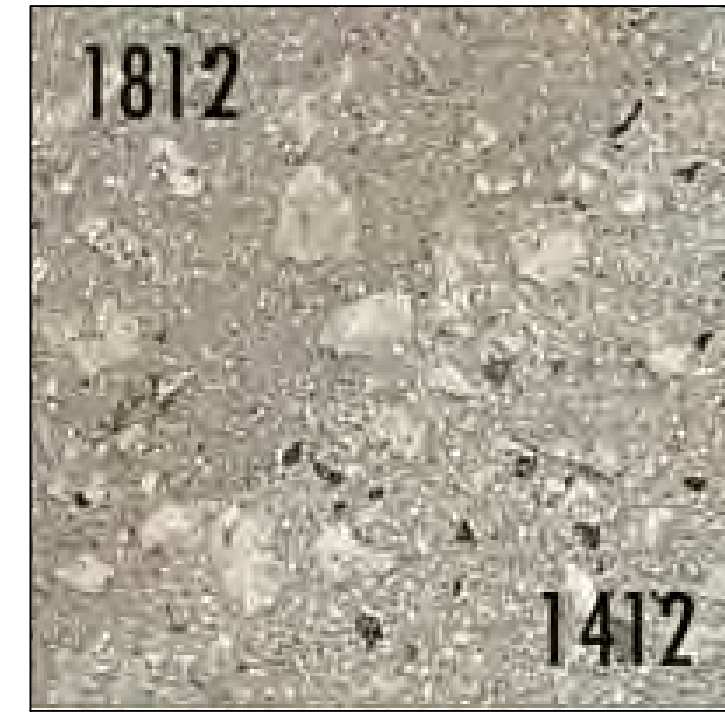
ACCENT PAVER #1:
PRIVATE PATIOS AND WALKWAY AT GROUND LEVEL
PACIFIC INTERLOCK
HYDROFLO 8"x16" PAVER



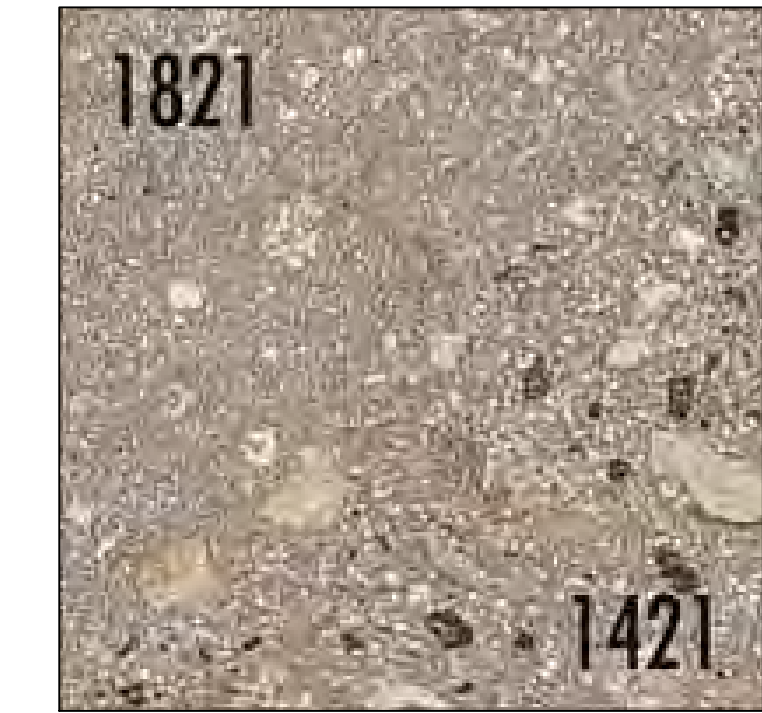
ACCENT PAVER #2:
COMMON AREA PATIO ON GROUND LEVEL
PACIFIC INTERLOCK
HYDROFLO 12" SQUARE PAVER



ACCENT PAVER #3:
COMMON AREA COURTYARD ON PODIUM LEVEL
STEPSTONE LIGHTWEIGHT PAVERS (12 PSF)
24" SQ. 'FRENCH GRAY' COLOR, LIGHT SANDBLAST #1404



ACCENT PAVER #4:
PRIVATE PATIO AREAS ON PODIUM LEVEL
STEPSTONE LIGHTWEIGHT PAVERS (12 PSF)
24" SQ. 'AGAVE' COLOR, MEDIUM SANDBLAST FINISH #1412



ACCENT PAVER #5:
COURTYARDS ON FIFTH FLOOR LEVEL
STEPSTONE LIGHTWEIGHT PAVERS (12 PSF)
24" SQ. 'KONA' COLOR, MEDIUM SANDBLAST FINISH #1421

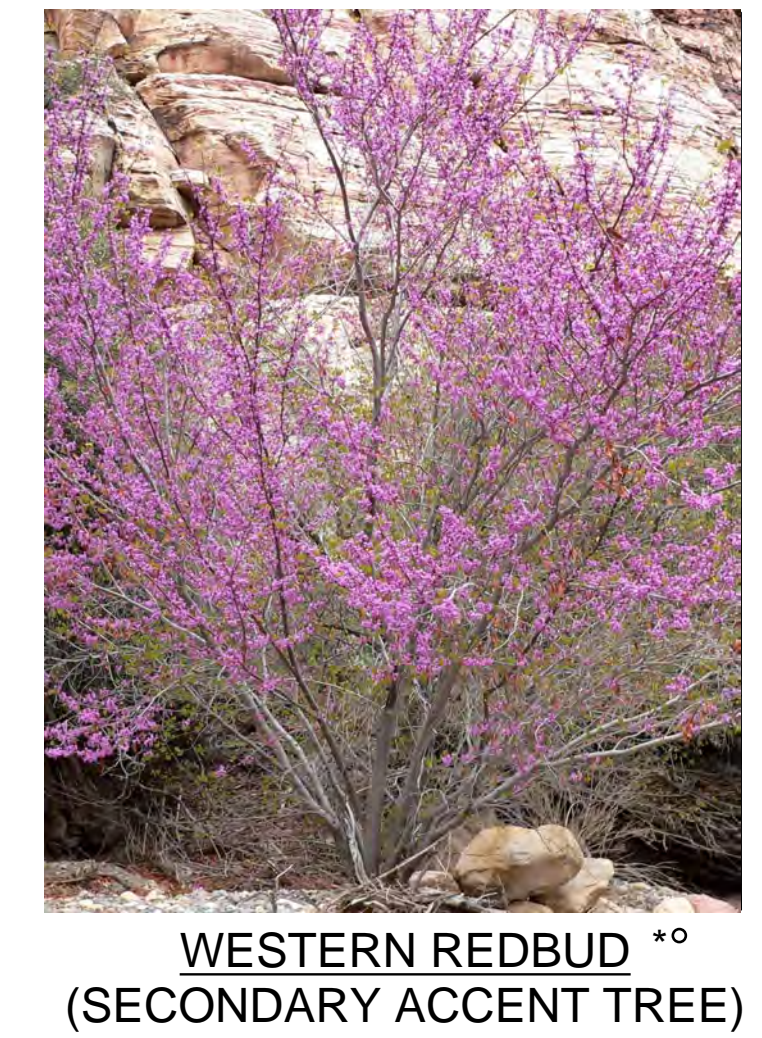


ROOF PAVER PEDESTAL SYSTEM

RECOMMENDED PLANT PALETTE:
BOTANICAL NAME: COMMON NAME: WUCOLS WATER USE

TREES: (15 GALLON SIZE)		
* Aesculus californica	CALIFORNIA BUCKEYE	VERY LOW
* Arbutus marina	MARINA STRAWBERRY TREE	LOW
* Cercis occidentalis	WESTERN REDBUD	VERY LOW
OLEA 'SKYLARK'	SKYLARK DWARF OLIVE	VERY LOW
* Pistacia chinensis 'Keith Davey'	CHINESE PISTACHE	LOW
* Platanus racemosa 'Roberts'	ROBERTS WESTERN SYCAMORE	MED
MEDIUM SIZE SHRUBS: (5 GALLON SIZE)		
AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	LOW
* Baccharis 'Pigeon Point'	DWARF COYOTE BUSH	LOW
* Ceanothus 'Anchor Bay'	CALIFORNIA LILAC	LOW
MYRTUS COMMUNIS 'COMPACTA'	DWARF MYRTLE	LOW
* Rhamnus cal. 'Mound San Bruno'	COFFEEBERRY	VERY LOW
* Rhampholepis indica 'Clara'	INDIAN HAWTHORN	LOW
* Salvia 'Allen Chickering'	CALIFORNIA BLUE SAGE	LOW
* Westringia 'Blue Gem'	COAST ROSEMARY	LOW
ACCENT PERENNIALS AND GRASSES: (ONE GALLON SIZE)		
ANIGOZANTHOS SPECIES	KANGAROO PAW	LOW
* Bouteloua 'Blonde Ambition'	BLUE GRAMMA GRASS	LOW
* Epilobium canum 'Marin Pink'	CALIFORNIA FUSHIA	LOW
ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	LOW
* Festuca 'Siskiyou Blue'	IDAHO FESCUE	LOW
* Iris douglasiana	DOUGLAS IRIS	LOW
LOMANDRA 'BREEZE'	DWARF MAT RUSH	LOW
* Mimulus aurantiacus	STICKY MONKEY FLOWER	LOW
* Penstemon 'Margarita Bop'	FOOTHILL PENSTEMON	LOW
STORMWATER TREATMENT FLOW THROUGH PLANTERS:		
* Achillea millefolium	COMMON YARROW	LOW
* Festuca californica	CALIFORNIA FESCUE	LOW
* Juncus patens	GRAY RUSH	LOW
* Mahonia 'Orange Flame'	MAHONIA	LOW
* Muhlenbergia rigens	DEER GRASS	LOW
* Salvia mexicana	MEXICAN SAGE	LOW
CLIMBING VINES (5 GALLON SIZE):		
Distictis buccinatoria	BLOOD-RED TRUMPET VINE	LOW
Gelsemium sempervirens	YELLOW JESSAMINE	LOW

* CA Native ○ Pollinator-Friendly



WATER EFFICIENT LANDSCAPE WORKSHEET										
REFERENCE EVAPOTRANSPIRATION (ET _o):										41.8
HYDROZONE #	HYDROZONE / PLANT WATER USE	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF / IE)	LANDSCAPE AREA (sq. ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)	% OF TOTAL LANDSCAPE AREA
REGULAR LANDSCAPE AREA:										
1	LOW WATER USE	SHRUBS	0.3	DRIP	0.81	0.37037037	2938	1088.148148	28200.4	92%
3	MEDIUM WATER USE	TREES	0.5	BUBBLER	0.81	0.61728395	270	166.666667	4319.3	8%
TOTALS:							3208	1255		100%
SPECIAL LANDSCAPE AREAS:										
REC. AREA							1	0	0	
POOL							1	0	0	
WATER FEATURE 2							1	0	0	
TOTALS:							0	0		
ETWU TOTAL:									32,520	
MAXIMUM ALLOWED WATER ALLOWANCE (MAWA):									37,412	
ETAF CALCULATIONS:										
REGULAR LANDSCAPE AREAS:										
TOTAL ETAF x AREA						1,255				
TOTAL LANDSCAPE AREA						3,208				
AVERAGE ETAF						0.39				
NOTE: AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS MUST BE 0.55 OR BELOW FOR RESIDENTIAL AREAS, AND 0.45 OR BELOW FOR NON-RESIDENTIAL AREAS.										
ALL LANDSCAPE AREAS:										
TOTAL ETAF x AREA						1,255				
TOTAL LANDSCAPE AREA						3,208				
SITEWIDE ETAF						0.39				

To: ZAB
From: Claudia Kawczynska
Re: 2136 San Pablo Ave and George Florence Mini-Park
Date: 3/20/2024

At the Feb 15, 2024, DRC meeting I learned about the 2136 San Pablo Ave. project. As a long-time D2 resident and a housing advocate, I welcomed the addition of more housing to that busy corridor. But then I learned that it would border George Florence Mini-Park on its west side. I have a specific affinity for that little park because while serving on the Parks & Waterfront Commission we had been charged with recommending park improvement projects for the T1 bond funding. I had specifically suggested that this mini park, established almost 50 years ago and the only mini park west of San Pablo Ave., as the perfect candidate for a complete renovation, and luckily that is what happened. This popular park is well used by the local community including families with small and young children, school groups, picnickers and dog walkers. Volunteers even planted the city's first native pollinator garden there.

So, when I learned that this development would not only *abut* the mini-park, but have 5 townhouses, and a community room (shared by all the residents) all with patios, and that the developer had wanted access gates into the park, that too came as quite the surprise. Not only that but the patios would be fenced off from the park with a barrier that was only 4 ft high! The architects' rendering not only distort the size of the park but seem to envision the park as an extension of the private development, with residents having direct access to it.

During the over 30 years I have lived in West Berkeley I have served on various commissions, advisory groups and task forces, and have been directly involved in projects like developing the Off Leash Dog Area in Cesar Chavez Park, assisting the development of the West Berkeley Bowl (that earned me the privilege of being welcomed as their first customer), and currently chairing the Parks, Recreation and Waterfront Commission (although I write here not as a representative of that body), I am pretty well acquainted with what Berkeley does right, and where it has glaring omissions. A couple of the latter come to mind, including that we do not charge property tax to parking lots, and we do not charge developers any impact fees (outside of the downtown area) to support our parks and to develop more public open space. I realize that for the development before you tonight, we can do little to alter that.

I have heard that a resolution has been reached with the PRW director, planning and the developer, about the direct access "gating" issue. But I am asking you to provide your guidance in adjusting the impacts that this project will have on the mini-park, including the height of the patio fencing. Also, arrange for the developer to meet with the volunteers who are responsible for the pollinator garden and resolve issues around its ongoing maintenance due to the differing of shade and shadowing and, importantly, insisting on bird-safe glass throughout but especially on the west side. Thank you for your consideration.

Respectfully,

Claudia Kawczynska

2810 8th St, Berkeley, CA 94710 claudia94710@gmail.com